



VILLAGE OF KIMBERLY BOARD MEETING AGENDA

**Monday, October 27, 2025 at 5:00pm
Rick J. Hermus Council Chambers
515 W. Kimberly Ave.
Kimberly, WI 54136**

- 1. Call to Order**
- 2. Roll Call**
- 3. Moment of Silent Reflection, Pledge of Allegiance**
- 4. President's Remarks**
- 5. Approval of October 20, 2025 Meeting Minutes**
- 6. Public Hearing**
 - a. Proposed Amendment to previously approved Planned Unit Development (PUD) for Lot 27 of Rivers Edge Subdivision
- 7. 2026 Budget Presentation- Discuss Proposed Fee Schedule & Estimated Tax Rate Summary**
- 8. Unfinished Business for Consideration or Action**
 - a. None
- 9. New Business for Consideration or Action**
 - a. Planned Unit Development Amendment for Lot 27 of Rivers Edge Subdivision
 - b. Change Order #4 in the amount of \$39,616.50 for the Municipal Salt Storage Building
 - c. Certificate for Payment #3 to Blue Sky Contractors, LLC in the amount of \$76,666.38 for the Municipal Salt Storage Building
 - d. Change Order #1 to Vinton Construction in the amount of \$95,948.34 for the Kennedy Ave. Street Patching project
 - e. Certificate for Payment #2 FINAL to Vinton Construction in the amount of \$259,827.19 for the Kennedy Ave. Street Patching project
 - f. Ordinance No. 10, Series of 2025 Amending Chapter 270, Fires and Fire Prevention Code related to Inspection Penalties and Fees
- 10. Public Participation**
- 11. Closed Session**

The village board will meet pursuant to State Statute 19.85(1)(e) to conduct specific public business in which competitive or bargaining reasons require a closed session related to police services and properties located in TID No. 6. The village board will also meet in closed session pursuant to 19.85(1)(b) to consider the appeal of Operator's License applications which were previously denied.

The board may reconvene into open session pursuant to section 19.85(2) of the Wisconsin Statutes for possible action on the closed session matters.

12. Action on Closed Session matters (if any)

13. Adjournment

Village Board Meeting Virtual Information

October 27, 2025, 5:00 – 5:30 PM

Please join my meeting from your computer, tablet or smartphone.

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You can also dial in using your phone.

Access Code: 412-985-181

United States (Toll Free): 1 877 309 2073

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Any person wishing to attend the meeting who because of their disability is unable to attend, is requested to contact the ADA Coordinator at 920-788-7500 at least 48 hours prior to the meeting so that reasonable accommodation may be made.

**VILLAGE OF KIMBERLY
BOARD MEETING MINUTES
10/20/2025**

A meeting of the Kimberly Village Board was called to order on Monday, October 20, 2025 at 5:00pm in the Rick J. Hermus Council Chambers, 515 W. Kimberly Ave by President Kuen.

Board Present: President Chuck Kuen, Trustees Tom Gaffney, Dave Hietpas, Mike Hruzek, Norb Karner, Lee Hammen and Marcia Trentlage
Board Excused: None
Staff Present: Clerk-Treasurer Jennifer Weyenberg, Administrator/Director of Public Works Danielle Block, Community Development Director Sam Schroeder, Community Enrichment Director Holly Femal, Library Director Holly Selwitschka, Fire Chief Chad Smith, and Interim Police Chief Slotke

President's Remarks

None

Approval of Minutes from the 10-13-2025 Meeting

Trustee Hammen moved, Trustee Trentlage seconded the motion to approve. Motion carried by unanimous vote of the board.

Appointments

Norb Karner to the Fox Cities Convention & Visitors Bureau, 3-year term

Trustee Hammen moved, Trustee Gaffney seconded the motion to appoint Trustee Norb Karner to the Fox Cities Convention & Visitor Bureau for another 3-year term. Motion carried by a 6-0 vote with Trustee Karner abstaining.

Unfinished Business

Clarification on Professional Contracted Services in 2026 Budget

Administrator Block gave the Board a brief overview of document and let them know if they had any questions, they could reach out to her. There was no discussion or action taken on this item.

New Business

Approve Bills & Claims from 09/12/2025-10/16/2025 in the amount of \$816,046.27

Trustee Hammen moved, Trustee Trentlage seconded the motion to approve. Motion carried by unanimous vote of the board.

Receive Minutes of Boards and Commissions

Water Commission minutes from 09/09/25, Library Board minutes from 08/18/25, Plan Commission minutes from 08/19/25, and Fire Commission minutes from 06/17/25. There was no discussion or action taken on this item, the minutes will be filed as presented.

Reports

The reports from the Interim Chief of Police, Fire Chief, Administrator-Director of Public Works, Community Development Director, Community Enrichment Director, Library Director, and Clerk-Treasurer were presented. The reports are on file with the Village Clerk's Office.

Public Participation

None

Adjournment

Trustee Hammen moved, Trustee Karner seconded the motion to adjourn. Motion carried by unanimous vote of the board at 6:17pm.

Jennifer Weyenberg
Village Clerk-Treasurer

Dated 10/21/25

Drafted by: ELZ

Approved by Village Board: _____



VILLAGE OF KIMBERLY

515 W. Kimberly Avenue

Kimberly, WI 54136

THE VILLAGE OF KIMBERLY NOTICE OF PUBLIC HEARING

TAKE NOTICE that the Village Board of the Village of Kimberly, Wisconsin (the “Board”) will hold a public hearing on a proposed amendment to the previously approved Planned Unit Development (PUD) for Lot 27 of the Rivers Edge Subdivision. The Board will be considering the amendment following a public hearing on Monday, October 27, 2025, at 5:00pm or shortly thereafter. An informal hearing will be considered as well at the Village Plan Commission meeting on Tuesday, October 21, 2025, at 5:00pm or shortly thereafter. Both hearings will take place at the Kimberly Municipal Complex, 515 W Kimberly Avenue, Kimberly, Wisconsin in the Council Chambers. Persons interested in this matter will be given an opportunity to comment and ask questions about the proposed determination.

THE VILLAGE OF KIMBERLY, WISCONSIN

Published: October 8th and October 15th, 2025

Village of Kimberly

Fee Schedule

<i>Effective January 1, 2026</i>					
Code Section	Fee Type	Description	2025 Fee	2026 Fee	Last Updated
Liquor License					
308-5 (A)	Class "A" Beer License		\$150.00	\$150.00	
308-5 (A)	"Class A" Liquor		\$250.00	\$250.00	
308-5 (A)	Class "B" Beer		\$100.00	\$100.00	
308-5 (A)	"Class B" Liquor		\$300.00	\$300.00	
308-5 (A)	"Class C" Wine		\$100.00	\$100.00	
308-5 (C)	6 month License		50% of regular cost	50% of regular cost	2024
308-16	Temporary Class "B"/per event		\$10.00	\$10.00	
308-4(F)(2)	Foreiture-Temporary Class "B" Beer License	Anyone fronting group other than applicant	\$200.00	\$200.00	
308-17 (E)	Outdoor Alcohol Beverage Permit				
		Initial Application	\$100.00	\$100.00	
		Yearly Renewal	\$25.00	\$25.00	
308-5 (A)	Publication Fee for Above				
		Initial Application	\$30.00	\$30.00	2022
		Yearly Renewal	\$15.00	\$15.00	2022
308-5	Inspection Fee for Above				
		Initial Application	\$0.00	\$100.00	2026
		Yearly Renewal	\$0.00	\$50.00	2026
Operators License					
308-20 (D)(1)	2 year		\$50.00	\$50.00	
308-20 (D)(1)	1 year		\$32.00	\$32.00	
308-20 (D)(1)	Renewal	Same as original license fee			
	Duplicate		\$5.00	\$5.00	
	Replacement		\$15.00	\$15.00	
308-20 (D)(2)	Provisional-60 day		\$15.00	\$15.00	
308-16 (E)	Temporary		\$15.00	\$15.00	2020
Cigarette License					
221-2	1 year-July 1 to June 29		\$25.00	\$25.00	
Public Entertainment License					
252-4(B)(1)	Carnivals		\$50.00	\$50.00	
252-4(B)(1)	Circuses		\$50.00	\$50.00	
252-4(B)(1)	Public entertainment:		\$10 per day, \$25 per week	\$10 per day, \$25 per week	
252-4(B)(2)	Non-profit		No Charge	No Charge	
Escort Service License Fee					
258-5	Application to Operate Service		\$100.00	\$100.00	
258-6	Annual renewal		\$100.00	\$100.00	

Village of Kimberly

Fee Schedule

<i>Effective January 1, 2026</i>					
Code Section	Fee Type	Description	2025 Fee	2026 Fee	Last Updated
Amusement Devices					
175-2 (B)	Per Device		\$10.00	\$10.00	
175-2 (B)	Operator's Fee (Bar Owner)		\$25.00	\$25.00	
175-2 (A)	Amusement Device Owner's License fee		\$25.00	\$25.00	
Solicitors/Direct Seller Permit					
233-4 (C)(1)	Registration	Valid for 6 months	\$50.00	\$50.00	
Flea Market					
277-1 (B)	Annual		\$50.00	\$50.00	2020
Farmer's Market					
277-3(C)	2-10 Vendors		\$120.00	\$120.00	
	11 or more Vendors		\$12.00/vendor	\$12.00/vendor	
Junk Dealers					
320-3			\$10.00	\$10.00	
Special Event Fee					
430-14	Special Event Fee - Resident Rate		\$50.00	\$50.00	2023
	Special Event Fee - Non Resident Rate		\$100.00	\$100.00	2023
Streets					
430-5	Sidewalk Installation/Replacement Permit	Right of Way Excavation Permit - Outside of Street	\$125.00	\$50.00	2026
430-5 C (1)	Re-staking Grade Fee		\$40.00	\$40.00	2026
430-29	Work in the Right of Way Permit		Varies- \$0, \$15, multipliers of \$15	Varies- \$0, \$15, multipliers of \$15	2024
	Culvert Permit		\$125.00	\$125.00	2024
430-29	Street Use Permit		\$250.00	\$250.00	2024
430-8 & 9, 29	Permit to Occupy the Right of Way	Street Use/Street Privilege	\$25.00	\$25.00	2026
Right of Way Excavation Permits					
430-6	Misc Excavation Permit-	One parcel frontage or less	\$20.00	\$20.00	2024
	Small Utility Project	<750' of roadway	\$50.00	\$50.00	2024
	Medium Utility Project	Greater than 750' up to 2000' of roadway	\$75.00	\$75.00	2024
	Large Utility Project	Greater than 2000' of roadway	\$100 + \$0.05/ft beyond 2000ft	\$100 + \$0.05/ft beyond 2000ft	2024
	Utility Project			\$100 + Boring and/or Excavation Fees	2026
	Excavation in ROW outside of street		\$50.00	\$50.00	2021
	Excavation in ROW inside of street		\$250.00	\$250.00	2021
	Boring in ROW	Parallel to street	\$0.10/ft	\$0.10/ft	2021
	Boring under street	Perpendicular to street	\$100.00	\$100.00	2021

Village of Kimberly

Fee Schedule

<i>Effective January 1, 2026</i>					
Code Section	Fee Type	Description	2025 Fee	2026 Fee	Last Updated
Snow Removal					
430-10	Administrative Fee		\$25.00	\$25.00	
	Labor		\$75.00/hr	\$75.00/hr	
	Plus equipment rental		Varies on equipment used	Varies on equipment used	
Water Department Fees					
	Water on at the Curb		\$30.00	\$30.00	
	Meter Install and Water on at the Curb		\$40.00	\$40.00	
	Broken Meter		\$48.00	\$48.00	
Clerk's Fees					
50-28(G)	Initial Room Operator Permit		\$20.00	\$20.00	
50-11	Real Estate Inquiry - Regular		\$25.00	\$25.00	
		REI - Rush	\$35.00	\$35.00	
128-4(F)(4)	Locating a Record/Records Search	Per hour (charged only if \$50.00 or more)	\$20/hr	\$20/hr	2020
128-4(F)	Copies		\$0.02/BW page & \$0.06/Color page	\$0.02/BW page & \$0.06/Color page	2022
	Fax		\$2.00/1st page	\$2.00/1st page	
			\$1.00 each addl	\$1.00 each addl	
7-12(B)	Transcript	Per hour or actual cost, whichever is greater	\$10/hr	\$10/hr	2020
	Non-Sufficient Fund Fee (NSF)		\$35.00	\$35.00	
Chicken License					
180-19.1(B)	Application	Up to 6 Chickens per property	\$15.00	\$15.00	2019
Weights and Measures					
476-18(C)	Base Licensing Processing Fee		\$50.00	\$50.00	2023
	Portion Scale - Low Capacity		\$11.00	\$11.00	2020
	Scales 0-30lbs		\$30.00	\$30.00	2023
	Scales 31-1000lbs		\$40.00	\$40.00	2023
	Scales 1001 - 10,000lbs		\$60.00	\$60.00	2023
	Scales 10,001 - 20,000lbs		\$85.00	\$85.00	2023
	Point of Sale Systems		\$20.00	\$20.00	2020
	Prepack Scale		\$100.00	\$100.00	2023
	Person Weighing Scale		\$50.00	\$50.00	2023
	High Accuracy Scale with Weights or Pill Counter System		\$60.00	\$60.00	2023
	Hopper Scales		\$150.00	\$150.00	2023
	Linear Meter		\$15.00	\$15.00	
	Rules		\$3.00	\$3.00	
	Timing Device		\$10.00	\$10.00	2023
	Petroleum Pump		\$40.00	\$40.00	2025

Village of Kimberly

Fee Schedule

<i>Effective January 1, 2026</i>					
Code Section	Fee Type	Description	2025 Fee	2026 Fee	Last Updated
	High Speed Pump		\$55.00	\$55.00	2023
	Vehicle Tank and Bulk Meter		\$55.00	\$55.00	2023
	Postal Scales		\$11.00	\$11.00	2020
	Estimating Dough Scale and Weights		\$14.00	\$14.00	2020
	Firewood Dealer		\$20.00	\$20.00	
	Retail Price Scanner		1-8 \$100.00 9 or more \$12.50 each	1-8 \$100.00 9 or more \$12.50 each	2023
	Unclassified Devices and Consultations to Government and Industry		\$52.00/Hr	\$52.00/Hr	
	Penalty Fee for Nonregistration		Triple the Per Device Fee	Triple the Per Device Fee	
	Taxi Meters		\$19.00	\$19.00	
	Farm Market Scale		\$19.00	\$19.00	2020
	Reinspection Fee		\$58.00	\$58.00	2020
	Reinspection Fee 2nd Visit		\$100.00	\$100.00	2020
	Reinspection Fee 3rd Visit		\$150.00	\$150.00	2020
476-18(L)	Late Payment Fee (after December 31)		\$60.00	\$60.00	2020
Dog License					
180-3(A)	Intact Female		\$12.00	\$12.00	
	Intact Male		\$12.00	\$12.00	
	Spayed Female		\$7.00	\$7.00	
	Neutered Male		\$7.00	\$7.00	
180-4	Late fee (as of April 1st)		\$5.00	\$5.00	
	Half year licenses as of July for new dogs		half-price	half-price	
180-B	Kennel License	Up to 12 dogs	\$35.00	\$35.00	2020
		Additional fee for each dog in excess of 12	\$3.00	\$3.00	2024
180-21 B	Annual Registration- Dangerous animal	Register with Fox Valley Metro Police before Apr. 1	\$75.00	\$75.00	
Civic Room Rental (Not including tax)					
	Evergreen Room	Resident	\$100.00	\$100.00	2024
		Non-Resident	\$225.00	\$225.00	2024
	Cedar Room	Resident	\$70.00	\$70.00	2024
		Non-Resident	\$140.00	\$140.00	2024
	Aspen or Birch Room	Resident	\$30.00	\$30.00	2024
		Non-Resident	\$60.00	\$60.00	2024
	Aspen and Birch Room	Resident	\$60.00	\$60.00	2024
		Non-Resident	\$120.00	\$120.00	2024
Yard Waste					
	Tags		\$1.00/tag	\$1.00/tag	
	Bags		\$.50/bag	\$.50/bag	

Village of Kimberly

Fee Schedule

<i>Effective January 1, 2026</i>					
Code Section	Fee Type	Description	2025 Fee	2026 Fee	Last Updated
	Annual Permit		\$5.00/yr.	\$5.00/yr.	
Metal/ Rubbish Pickup "White Goods"					
418-6 F	Non-freon appliance/metal		\$10.00	\$10.00	
	Freon appliance		\$15.00	\$15.00	
	Rubbish Cart Additional/Replacement	Cost Varies by Year based on freight	\$73.50/Cart (Village Cost)	\$73.50/Cart (Village Cost)	
	Additional Rubbish Pick Up		\$120.00	\$120.00	
	Recycle Cart Size Upgrade (65G to 95G)		\$38.50	\$38.50	2021
	Recycle Cart Additional/Replacement		\$77/Cart (Village Cost)	\$77/Cart (Village Cost)	
	Tires		\$15.00 per tire	\$15.00 per tire	2024
Grass Cutting/Weed Removal					
	Administrative Fee		\$25.00	\$25.00	
	Labor		\$75.00/hr	\$75.00/hr	
	Plus equipment rental		Varies on equipment used	Varies on equipment used	
Boat Launch Fees (Not including tax)					
372-7	Daily - Resident & Non-Resident		\$5.00	\$5.00	
	Annual - Resident		\$15.00	\$15.00	
	Annual - Non-Resident		\$25.00	\$25.00	
	Replacement Permit		\$10.00	\$10.00	
	Penalty for Violation		\$35.00/incident	\$35.00/incident	
Park Shelter Rentals (Not including tax)					
372-5	Sunset Park Shelter #1				
		Resident	\$75.00	\$75.00	2023
		Non-Resident	\$95.00	\$95.00	2023
	Sunset Park Shelter #2				
		Resident	\$60.00	\$60.00	2023
		Non-Resident	\$80.00	\$80.00	2023
	Roosevelt Park				
		Resident	\$55.00	\$55.00	2023
		Non-Resident	\$75.00	\$75.00	2023
	Verhagen Park				
		Resident	\$55.00	\$65.00	2026
		Non-Resident	\$75.00	\$85.00	2026
	Sunset Beach Shelter				
		Resident	\$30.00	\$30.00	2023
		Non-Resident	\$35.00	\$35.00	2023

Village of Kimberly

Fee Schedule

Effective January 1, 2026				
Code Section	Fee Type	Description	2025 Fee	2026 Fee Last Updated
	Memorial Park Gazebo	Resident	\$30.00	\$30.00 2023
		Non-Resident	\$35.00	\$35.00 2023
	Treaty Park Gazebo	Resident	\$30.00	\$30.00 2023
		Non-Resident	\$35.00	\$35.00 2023
	Cedars Historic Overlook	Resident	N/A	\$100.00 2026
		Non-Resident	N/A	\$225.00 2026
	Amphitheater		See Amphitheater Inc. Fee Schedule	See Amphitheater Inc. Fee Schedule 2020
Ballfield Rentals				
	Ball Diamond (Sunset Upper, Lower, Youth, Baseball and Roosevelt Field)			
		Tournament Play - Revenue Generating		\$150/day/diamond 2025
		Tournament Play - Service Group/Non-Revenue Generating		\$100/day/diamond 2025
		Day Use - Non-Tournament - Revenue Generating		\$100/day/diamond 2025
		Day Use - Non-Tournament - Service Group/Non-Revenue Generating		\$50/day/diamond 2025
	Concession Stand Rental			
		Tournament Play - Revenue Generating		\$100/day/concession stand 2025
		Tournament Play - Service Group/Non-Revenue Generating		\$50/day/concession stand 2025
	Concession Stand - Restroom Access			
		Tournament Play - Revenue Generating		\$50/day/restroom building 2025
		Tournament Play - Service Group/Non-Revenue Generating		\$25/day/restroom building 2025
		Day Use - Non-Tournament - Service Group/Non-Revenue Generating		\$25/season/restroom building 2025
	Soccer Field	Resident	\$35.00/occurrence	\$35.00/occurrence 2023
		Non-Resident	\$45.00	\$45.00 2023
Pool/Beach Fees				
	Daily Admission Fees			
		Infant (0-2 yrs.)	Free	Free
		Youth (3-17 yrs.)	\$3.50	\$3.50 2023
		Adult (18-61 yrs.)	\$4.50	\$4.50 2023
		Senior(62 yrs. & over)	Free	Free

Village of Kimberly

Fee Schedule

<i>Effective January 1, 2026</i>					
Code Section	Fee Type	Description	2025 Fee	2026 Fee	Last Updated
	Season Passes	Bark at the Beach	\$5.00	\$5.00	2023
		Bark at the Beach - Early Season	\$50.00	\$50.00	2025
		Bark at the Beach - Late Season	\$50.00	\$50.00	2025
		Resident Youth	\$40.00	\$40.00	2025
		Non-Resident Youth	\$65.00	\$65.00	2025
		Resident Adult	\$50.00	\$50.00	2025
		Non-Resident Adult	\$70.00	\$70.00	2025
		Resident Family	\$120.00	\$120.00	2025
		Non-Resident Family	\$165.00	\$165.00	2025
Building Permits - fees may vary depending on amount of work to be provided					
207-36	HVAC- New		\$0.07 per sq. ft. (\$125.00 min)	\$0.07 per sq. ft. (\$125.00 min)	2025
	HVAC - Heating Replacement				
		Residential	\$100.00	\$100.00	2025
		Commercial	\$150.00	\$150.00	2025
207-36	HVAC- Air Conditioning Replacement				
		Residential	\$100.00	\$100.00	2025
		Commercial	\$150.00	\$150.00	2025
	Miscellaneous Replacements: including HVAC, Roof Top Units,		\$150.00	\$150.00	2024
207-46	Electrical Permit - New/Addition		\$0.10 per sq. ft. (\$125.00 min)	\$0.10 per sq. ft. (\$125.00 min)	2025
	Electrical - Alteration/Remodel		\$10 per thousand of estimated costs (\$125 min)	\$10 per thousand of estimated costs (\$125 min)	2025
	Electrical Permit - Commercial Service Upgrade, Temporary &		\$250.00	\$250.00	2024
	Electrical Permit - Residential Service Upgrade, Temporary &		\$125.00	\$150.00	2026
207-27 G	Penalty-stormwater discharge	Failure to disconnect clear water into sanitary	\$500.00	\$500.00	
	Penalty -cumulative forfeiture	Cont'd failure to disconnect- per each inspector visit	\$500.00	\$500.00	
207-28	Plumbing Fee - New/Addition		\$0.10 per sq. ft. (\$125.00 min)	\$0.10 per sq. ft. (\$125.00 min)	2025
	Plumbing - Alteration/Remodel		\$10 per thousand of estimated costs (\$125 min)	\$10 per thousand of estimated costs (\$125 min)	2025
	Water Heaters		\$50.00	\$50.00	2024
207	Residential Remodeling		\$10 per thousand of estimated costs (\$125 min)	\$13 per thousand of estimated costs (\$125 min)	2026
	Detached Garage or Accessory Structure		\$150.00	\$150.00	2025
	Utility/Accessory Structures (less than 150SF)		\$50.00	\$50.00	2025

Village of Kimberly

Fee Schedule

<i>Effective January 1, 2026</i>				
Code Section	Fee Type	Description	2025 Fee	2026 Fee Last Updated
	Deck		\$0.06 per sq. ft. (\$125.00 min)	\$0.06 per sq. ft. (\$150.00 min w/o footing and \$250 w/ footings) 2026
	Fence Permit		\$50.00	\$50.00 2024
	Pool/Hot Tub Permit - Inspection Required		\$50 + Elec. Permit	\$50 + Elec. Permit 2025
	Sign Permit			
		Lighted	\$75.00	\$75.00 2024
		Lighted-Face Change Only	\$20.00	\$20.00 2024
		Unlighted	\$40.00	\$40.00 2024
240-1C	Driveway Permit		\$50.00	\$50.00 2025
	Parking Lot Permit		\$125.00	\$125.00 2025
207-10	Razing Permit		\$150 plus \$.12/per sq. ft.	\$150 plus \$.12/per sq. ft. 2024
	Moving a Building		\$125.00	\$125.00 2024
207-12	Transfer of fill		\$15 application permit plus \$10 per truck	\$15 application permit plus \$10 per truck
196-6(A)	Blasting Permit-Quarry		\$10/per blasting period	\$10/per blasting period
196-6(B)	Gravel-crushing operations		\$100/per year	\$100/per year 2024
Alarm Permit				
170-11(A)	Alarm Permit	Permit for each private alarm	\$10.00	\$10.00
170-9(C)(1)(a)	Fees for False Alarms Responded to by FVMPD	First 2 false alarms in a calendar year	\$0.00	\$0.00
		3rd false alarm in a calendar year	\$25.00	\$25.00
		4th false alarm in a calendar year	\$35.00	\$35.00
		5th false alarm in a calendar year	\$45.00	\$45.00
		6th and subsequent false alarm in a calendar year	\$65.00	\$65.00
170-9(C)(1)(b)	Fees for False Alarms Responded to by KFD	First 2 false alarms in a calendar year	\$0.00	\$0.00
		3rd and subsequent false alarm in a calendar year	\$100.00	\$100.00
Fire Inspections				
270-12	Initial Inspection		\$0.00	\$0.00 2026
	Reinspection		\$0.00	\$50.00 2026
	Reinspection Fee 2nd Visit		\$0.00	\$100.00 2026
	Reinspection Fee 3rd Visit		\$0.00	\$150.00 2026
	Per Day Fee of Non-Compliance (Following 3rd Reinspection)		\$0.00	\$200/day 2026
295-4	Historic Structure/Site			
295-8	Certificate of Appropriateness		\$125.00	\$125.00 2024
	Certificate of Minor Change		\$125.00	\$125.00 2024
Building Construction Fees New Construction - fees may vary depending on amount of work to be provided				

Village of Kimberly

Fee Schedule

<i>Effective January 1, 2026</i>					
Code Section	Fee Type	Description	2025 Fee	2026 Fee	Last Updated
207	Building Permit - New Construction	Single Family Home	\$0.15 per sq. ft. (\$185.00 min)	\$0.15 per sq. ft. (\$185.00 min)	2024
		Duplex Permit	\$0.15 per sq. ft. (\$370.00 min)	\$0.15 per sq. ft. (\$370.00 min)	2024
		Each Garage	\$0.15 per sq. ft. (\$125.00 min)	\$0.15 per sq. ft. (\$125.00 min)	2024
		State Seal	\$40.00	\$40.00	2024
		Grade Fee	\$500.00	\$500.00	2024
		Single Family Home Park Impact Fee	\$500.00	\$500.00	
		Duplex Park Impact Fee	\$1,000.00	\$1,000.00	
		Single Family Village Sewer Fee*	\$1,000.00	\$1,000.00	2024
		Duplex Village Sewer Fee*	\$1,200.00	\$1,200.00	2024
	Call Street Department Heart of the Valley Sewer District Fee	*In addition to Heart of Valley Sewer District Fee			
		Residential (SF/TF Family) Early Start	\$150.00	\$150.00	2025
Commercial/Industrial Building Permit - fees may vary depending on amount of work to be provided					
207	Building Permits	Multi-Family Housing	\$0.18 per sq. ft (\$175.00 min)	\$0.18 per sq. ft (\$175.00 min)	2024
		Commercial/Industrial	\$0.18 per sq. ft (\$175.00 min)	\$0.18 per sq. ft (\$175.00 min)	2024
		Commercial/Industrial Remodeling	\$15.00 per thousand of estimated cost (\$175.00 min) plus mechanicals	\$15.00 per thousand of estimated cost (\$175.00 min) plus mechanicals	2024
		Comm/Industrial Early Start	\$150.00	\$150.00	2025
		Commercial and Industrial Bld. Plan Review < 50,000cu. Ft.	\$0.00	See Table 302.31-2 on State form SBD-118(R09/12) (Min. fee is \$250)	2026
		Commercial and Industrial Plumbing Plan Review < 50,000cu. ft.	\$0.00	See DSPS 32.64-1	2026
Erosion Control and Stormwater Management					
425	Erosion Control/Stormwater Management Fees	Erosion Control Compliance and Management	Fees calculated by square footage and duration of land disturbance. (\$250.00 min)	Fees calculated by square footage and duration of land disturbance. (\$250.00 min)	2024
Planning & Zoning					
525	Site Plan Review				
		Commercial	\$300.00	\$300.00	2024
		Industrial	\$500.00	\$500.00	2024
	Zoning Permits				
		Residential	\$100.00	\$100.00	2025
		Commercial	\$250.00	\$250.00	2024
		Industrial	\$300.00	\$300.00	2024

Village of Kimberly Fee Schedule					
		<i>Effective January 1, 2026</i>			
Code Section	Fee Type	Description	2025 Fee	2026 Fee	Last Updated
525-46	Conditional Use Permit		\$350.00	\$350.00	2025
525-40 B.	Planned Unit Development		\$450.00	\$450.00	2025
	Certified Survey Map		\$75.00	\$75.00	2024
	Plat (Subdivision)				
	Preliminary Plat Review		\$200 + \$5/lot	\$200 + \$5/lot	2024
	Final Plat Review		\$100 + \$5/lot	\$100 + \$5/lot	2024
	Condominium Plat Review		\$300 + \$5/unit	\$300 + \$5/unit	2024
	Reapplication each (Preliminary & Final)		\$50.00	\$50.00	
525-126 E.	Zoning Amendment, Rezoning		\$350.00	\$350.00	2025
525-129 F.	Variance-Board of Appeals		\$500.00	\$500.00	2025

VILLAGE OF KIMBERLY - TAX RATE SUMMARY
2026 OPERATING BUDGET - 2025 TAXABLE YEAR
(ALL FIGURES ARE LESS TAX INCREMENT DISTRICT #4 & #5 & #6)
Administrator's Analysis of ESTIMATED TAX RATE

	2024	2025
Assessed valuation as of January 1	560,794,725	557,581,040
State equalized ratio FINAL	0.766983832	0.694821485
Equalized valuation	<u>731,168,900</u>	<u>802,481,000</u>

This is a **-0.57%** decrease in the assessed valuation.

This is a **9.75%** increase in the equalized valuation.

Levy dollar change	2024		3,963,450
General Fund levy	2025	Max	<u>4,040,000</u>
This is a 1.93% increase in the dollar levy.			76,550
Debt Service Levy dollar change	2024		661,448
Debt Service Fund Levy	2025	Max	<u>656,084</u>
This is a -0.81% increase in the debt service dollar levy.			-5,364

Assessed rate difference

Levy	2024	7.0675593462	
Debt Service Levy	2024	1.1794832771	
Total Levy	2024		<u>8.2470426233</u>
Levy	2025	7.2455835285	
Debt Service Levy	2025	1.1766612435	
Total Levy	2025		<u>8.4222447720</u>
Increase in assessed rate			0.1752

This is a **2.12%** increase in the assessed rate for Village purposes.

Equalized rate difference

Levy	2024	5.4207037526	
Debt Service Levy	2024	0.9046446040	
Total Levy	2024		<u>6.3253483566</u>
Levy	2025	5.0343871070	
Debt Service Levy	2025	0.8175695125	
Total Levy	2025		<u>5.8519566195</u>
Decrease in the equalized rate			-0.4734

This is a **-7.48%** decrease in the equalized rate.

HISTORICAL COMPARISON OF TAX RATES

2015	Assessed	6.8534	Equalized	7.0687
2025	Assessed	<u>8.4222</u>	Equalized	<u>5.8520</u>
		1.5688		-1.2167

INCREASE	22.89%	DECREASE	-17.21%
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NET EFFECT ON AN AVERAGE HOME IN KIMBERLY

Ave. Assessed Value	198,500	X Village rate of	8.2470	=	1637.04	2024
Ave. Assessed Value	198,500	X Village rate of	8.4222	=	1671.82	2025

A homeowner would pay **\$ 34.78** or **2.1%** More in Village taxes in 2025 than 2024.



Village of Kimberly Request for Board Consideration

ITEM DESCRIPTION: Planned Unit Development Amendment – Lot 27 of Rivers Edge Subdivision

REPORT PREPARED BY: Sam Schroeder, Community Development Director

REPORT DATE: October 27, 2025

ADMINISTRATOR'S REVIEW / COMMENTS:

No additional comments to this report _____

See additional comments attached _____ STS _____

EXPLANATION: In 2019, the Village approved the rezoning and a Planned Unit Development (PUD) plan for the development of Lot 27 within the Rivers Edge Subdivision to include 4 – two unit, zero-lot line structures (8 total dwelling units). The purpose of a PUD is to encourage and promote improved environmental design in the Village of Kimberly by allowing for greater freedom, imagination and flexibility in the development of land while ensuring substantial compliance with the basic intent of the zoning ordinance and the general plan for community development.

In principle, the design and layout met the intent and primary regulations of a residential development. The few differences included the use of a private drive, shared common areas, and a reduced setback for amenities such as patios and decks. The design concept that was originally approved for this site was similar to the development of Lot 43, along Papermill Circle, just east of the WE Energies substation. This also included a zero-lot line condo development along a private drive.

Due to the market demand of these original spec units or lack thereof, the original developer is pivoting from a develop and sell portfolio, to selling the entire Lot 27 to a separate developer. In order to align with market demands, the prospective buyer and new developer is requesting approval for a split-level home. The intent will be to lease some of the units and potentially sell units in the future. Attached is the building concept. This layout is slightly longer than the previous unit. In order to maintain the rear 25 foot setback, the internal driveway and/or roadway width may be slightly reduced. These units will be included in a HOA and professionally managed for lawn care, landscaping and snow removal.

Since the time of the original approval, most of the infrastructure was reviewed and constructed. No condominium plat has been reviewed or recorded to date.

ADDITIONAL COMMENTS

At the Village Plan Commission meeting on 10/21/2025, many neighbors came and spoke against certain elements of the proposal including: concern over rental vs owner-occupied, the need for the development as a whole, the two story versus one story, landscaping, setbacks, and parking. The following breaks down each element.

1. **Rental vs. Owner-Occupied.** As noted in the memo and the narrative, the new developer is anticipating renting out at minimum the initial units that would be constructed. They would estimate that rents for these units would be roughly \$2,500/mo. There were several concerns brought forward by the neighbors in this regard including the covenant restrictions, upkeep and property values. These properties will be professionally managed, which would include lawn care, snow removal, landscaping, as well as private enforcement above Village prevue. As this is a condo area, there would have to be some sort of concessions with common management whether they are rented or are all sold. The units will, however, be built as single family dwellings and not as a standard duplex which allows for a better product and for the development to be split in the future. In terms of the property values, the rent for these units is well above average market value in the Fox Cities and we would expect tenants to reflect that. Lastly, as it relates to the covenants, these currently state Lot 27 and Lot 43 shall be owner occupied. However, the developer, provided they own at least one lot within the subdivision, has the complete authority to amend, waive, or remove any one or more restrictions. Further, the enforcement of the covenants would fall to parties of interest being property owners and/or occupant of any dwelling. This is not something the Village would actively have a hand in enforcement.
2. **Development as a Whole.** It was brought up why the Village would block the neighbors from collectively acquiring the property to remain vacant. While the Village isn't directly blocking this, the Village did originally purchase the former mill and executed agreements with certain developers to spur urban renewal and add tax base. As part of that, the Village did execute development agreements identifying projects, including the one under discussion, and expected increases in property values. The Village took a substantial risk in acquiring the mill property, moving forward with demolition, site prep and installing infrastructure. This is all done with the support of new increment or tax base being generated. If no project would be completed, the developer would have to propose, and the Village would have to agree to an amendment to the development agreement. That said, if these eight units are completed at an estimated individual value of \$330,000 or \$2.64M in total value, it is true that the Village would lose roughly \$52,000 in annual revenue to pay down debt, continue to provide services and combat rise in inflation.
3. **Two story vs One story.** In terms of these units being two stories versus one story, from a zoning perspective, this is something that the Village typically would not review. On any typical residential lot, the Village has height restrictions and setback restrictions. Provided a developer or home builder stayed within those parameters along with other elements not relevant here, it would be of no concern to the Village. In a PUD situation, greater flexibility can be given whereas there may be the need to add greater restrictions elsewhere. In this case, however, the principal buildings will still meet the standard principal building setback of 25 feet and height of 25 feet.
4. **Landscaping.** Per the original approval, there was a plan that showed a row of landscaping all around the property, however, a specific landscaping plan would have to be approved by the Village prior to permits being issued. Lengthy discussion was had at the Plan Commission due to the concerns brought forward to the exact materials, maturity at planting and the overall height. The Plan Commission went through several rounds of amendments including adding "taller" plantings, amending to "10 foot trees", and then landed on staff reviewed and approved with minimum of 5 foot tall landscaping at the time of planting. Staff is acceptable to this, however, the planting plan could also go through Plan Commission should that provide greater comfort and flexibility.
5. **Setbacks.** Under the original approval, all principal buildings were to meet the 25 foot rear setback with exceptions granted to decks, patios, pergolas, and four seasons rooms. Since the buildings would be taller in scale to the adjacent properties, the Plan Commission removed the four seasons room being allowed within the setback areas at the request of the neighbors. A 25 foot rear setback is a standard minimum in all residential districts.

6. **Parking.** Concerns were brought forward during and after the Plan Commission meeting in terms of on-street parking. While Plan Commission did not add any restrictions, staff did converse with emergency services. Through those discussions, we are requesting a condition be added to not allow for parking on the private street along the curve or along the west side of the road from Rivers Edge Drive to the curve as shown in red below.



Attached to this staff report you will find the Plan Commission staff report from 10/21/2025 which includes an updated PUD Narrative, the proposed Split Level Building Concept, a Marketing Site Plan and the 2019 Village Board Memorandum and Packet. Please note the rendering at the end of the packet is the original drawings.

RECOMMENDED ACTION: The Plan Commission and staff recommend approval of the planned unit development amendment for Lot 27 of Rivers Edge Subdivision including all conditions and original approvals with the following:

1. Additional architectural elements such as stone, brick, board and batten or shake shall be added to the building in both the front and rear facades of the dwellings to better fit with the surrounding development.
2. Minor modifications to the principal building shall be permitted upon review by the Village staff.
3. The principal building shall be setback a minimum of 25 feet from the adjacent properties.
4. Decks, patios, and pergolas extended no more than 12 feet from the home, may be permitted along the north and south property lines and within the 25-foot setback as originally approved.
5. Prior to permits being issued, a landscape and grading and drainage plan shall be reviewed and approved by the Village similar to what is provided in the plans attached and have a minimum of 5 feet planting to provide screening between the property and neighboring developments.

ADDED

6. Developer shall restrict and post no-parking on the private drive along the west access drive from Rivers Edge Drive to the curve and around the curve to ensure emergency service access.



Village of Kimberly Request for Plan Commission Recommendation

ITEM DESCRIPTION: Planned Unit Development Amendment – Lot 27 of Rivers Edge Subdivision
REPORT PREPARED BY: Sam Schroeder, Community Development Director
REPORT DATE: October 21, 2025
EXPLANATION: In 2019, the Village approved the rezoning and a Planned Unit Development (PUD) plan for the development of Lot 27 within the Rivers Edge Subdivision to include 4 – two unit, zero-lot line structures (8 total dwelling units). The purpose of a PUD is to encourage and promote improved environmental design in the Village of Kimberly by allowing for greater freedom, imagination and flexibility in the development of land while ensuring substantial compliance with the basic intent of the zoning ordinance and the general plan for community development. In principle, the design and layout met the intent and primary regulations of a residential development. The few differences included the use of a private drive, shared common areas, and a reduced setback for amenities such as patios and decks. The design concept that was originally approved for this site was similar to the development of Lot 43, along Papermill Circle, just east of the WE Energies substation. This also included a zero-lot line condo development along a private drive. Due to the market demand of these original spec units or lack thereof, the original developer is pivoting from a develop and sell portfolio, to selling the entire Lot 27 to a separate developer. In order to align with market demands, the prospective buyer and new developer is requesting approval for a split-level home. The intent will be to lease some of the units and potentially sell units in the future. Attached is the building concept. This layout is slightly longer than the previous unit. In order to maintain the rear 25 foot setback, the internal driveway and/or roadway width may be slightly reduced. These units will be included in a HOA and professionally managed for lawn care, landscaping and snow removal. Since the time of the original approval, most of the infrastructure was reviewed and constructed. No condominium plat has been reviewed or recorded to date. Attached to this staff report includes: 1. PUD Narrative 2. Split Level Building Concept 3. Marketing Site Plan 4. 2019 Village Board Memorandum and Packet
RECOMMENDED ACTION: Staff recommends approval of the planned unit development amendment for Lot 27 of Rivers Edge Subdivision including all conditions and original approvals with the following: 1. Additional architectural elements such as stone, brick, board and batten or shake shall be added to the building in both the front and rear facades of the dwellings to better fit with the surrounding development. 2. Minor modifications to the principal building shall be permitted upon review by the Village staff. 3. The principal building shall be setback a minimum of 25 feet from the adjacent properties.

4. Decks, patios, pergolas, and four-season rooms extended no more than 12 feet from the home, may be permitted along the north and south property lines and within the 25 foot setback as originally approved.
5. Prior to permits being issued, a landscape and grading and drainage plan shall be reviewed and approved by the Village similar to what is provided in the plans attached.

Proposed Development: Rivers Edge Lot 27

All 8 units will be constructed as single-family attached condo dwellings with a zero lot line. The units will be built and marketed for sale as owner-occupied developments or for lease, with the developer holding the option to rent or sell.

The buyer developing these units will initially rent the first units and may sell some of the future units. They will be rented for \$2,500.00 per unit and will go through a screening process and management company.

The declaration on Papermill Circle is the same, stating that Papermill Circle condos are owner-occupied or can be leased for a minimum of six months. This would be similar to how the 10 current condos on Papermill Circle for sale would be handled if rented.

Market Information

Lot 43 Papermill Circle does not cash flow. We reduced the price again this week by \$10,000 per unit. At this time, we are below the break-even price and lose money on each sale. The intent of ownership status for Lot 27 is the same as Lot 43: owner-occupied or available for lease for a minimum of 6 months.

The sale price for Lot 27 units will be \$330,000 to \$350,000 or leased for \$2,500.00 per month.

Development Details

- **Utilities:** Existing and storm water will be provided by a regional facility.
- **Landscaping:** Currently, there is a partial tree line. Additional landscaping treatments could be added if needed.
- **Construction Timeline/Staging:** Start 1-2 units as soon as approved, with completion of all units within 3 years.
- **Maintenance Plan:** Homeowners Association (HOA) for lawn care and snow removal.
- **Future Restrictions:** Declaration to be the same as Lot 43: no sheds, no fences, landscaping installed by developer, no pergolas on lawns. Patios or decks are allowed.
- **Building Plan/Design:** The builder is open to adding board and batten on areas and in roof gables with an appropriate color scheme to ensure the development is architecturally well-designed and fits the area.

Final Thoughts

This style of condo is projected to cash flow. It will cost less for construction and integrate well with the existing residential homes. The 10 current condos for sale are not selling because their price point is too high, even though construction costs are at that level. We need a development that costs less to build.

SIDE A FIRST FLOOR AREA	786 SF
SIDE A SECOND FLOOR AREA	515 SF
SIDE A LOWER LEVEL AREA	500 SF
SIDE A TOTAL AREA	1801 SF

SIDE A GARAGE AREA	625 SF
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SIDE B FIRST FLOOR AREA	786 SF
SIDE B SECOND FLOOR AREA	515 SF
SIDE B LOWER LEVEL AREA	500 SF
SIDE B TOTAL AREA	1801 SF

SIDE B GARAGE AREA	625 SF
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09/09/2025, 04:28:34 PM CDT



FRONT ELEVATION

1/4" = 1'-0"



LEFT ELEVATION

1/4" = 1'-0"



RIGHT ELEVATION

1/4" = 1'-0"

- 1/2 SECOND FLOOR WALLS
13'-5 3/8"

2ND FLOOR WALLS
8'-1 1/8"

SECOND FLOOR SUBFLR.
5'-4 1/4"

LOWER LEVEL PLAN
3'-9 1/2"

18" FLOOR TRUSS
1'-6 3/4"

4'-1 1/2" KNEE WALL

1/2 FOUNDATION WALLS
-4"

4'-0" FROST WALL

1/2 FOUNDATION SLAB
-4'-0"

1/2 FTGS
-4'-4"

- 1/2 FIRST FLOOR WALLS
7'-9 1/8"
- 8'-1 1/8" MAIN LEVEL WALLS
- 1/2 FOUNDATION WALLS
-4"

BID PLAN - FOR BIDDING PURPOSES ONLY

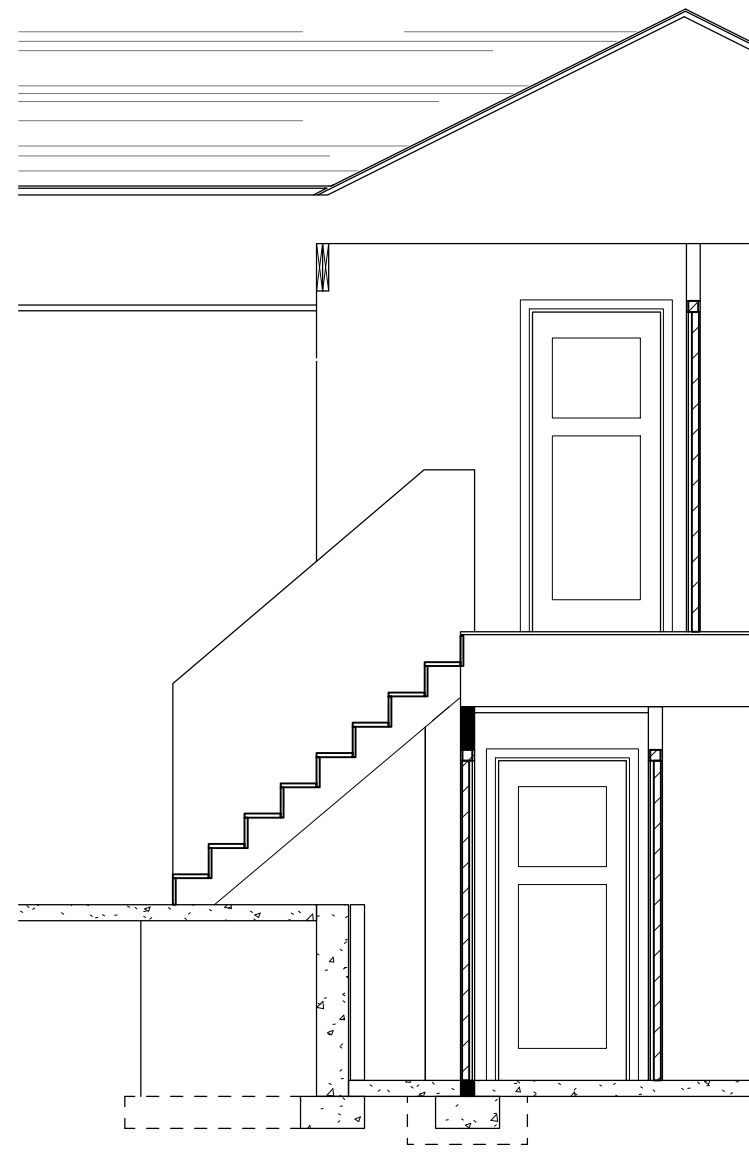
DESIGNER CARL PETERS	SCALE 1/4" = 1'-0"	SHEET NO. A1	PROJECT NO. M25-158-W
COPYRIGHT © 2025 CONTRACTOR'S BUILDING DEPARTMENT IS RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION CONTAINED HEREIN. THE BUILDING DEPARTMENT SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION CONTAINED HEREIN. ALTHOUGH EVERY EFFORT WILL BE MADE BY THE BUILDING DEPARTMENT TO ENSURE THE ACCURACY OF THE INFORMATION CONTAINED HEREIN, THE BUILDING DEPARTMENT SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION CONTAINED HEREIN.			
DEPERE DUPLEX		DEPERE, WI	
ROBERT PETERS CONSTRUCTION			
Drexel DrexelTeam.com			

SIDE A FIRST FLOOR AREA 786 SF
SIDE A SECOND FLOOR AREA 515 SF
SIDE A LOWER LEVEL AREA 500 SF
SIDE A TOTAL AREA 1801 SF

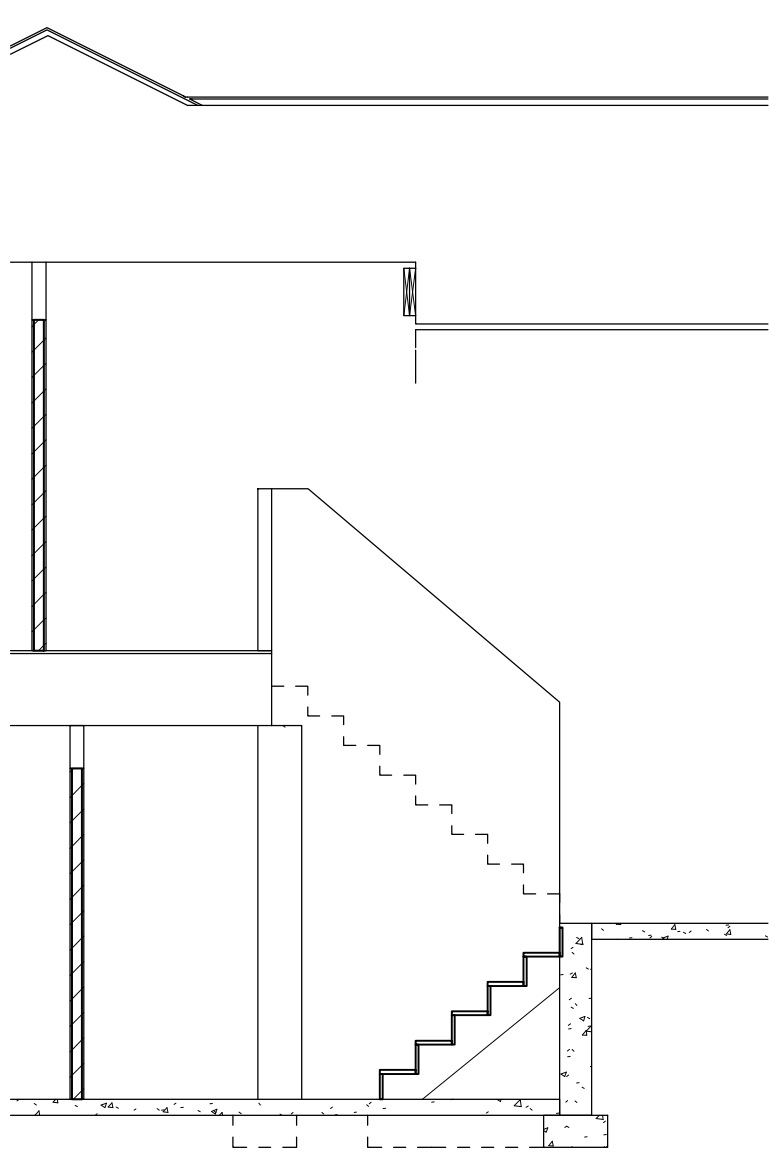
SIDE A GARAGE AREA 625 SF

SIDE B FIRST FLOOR AREA 786 SF
SIDE B SECOND FLOOR AREA 515 SF
SIDE B LOWER LEVEL AREA 500 SF
SIDE B TOTAL AREA 1801 SF

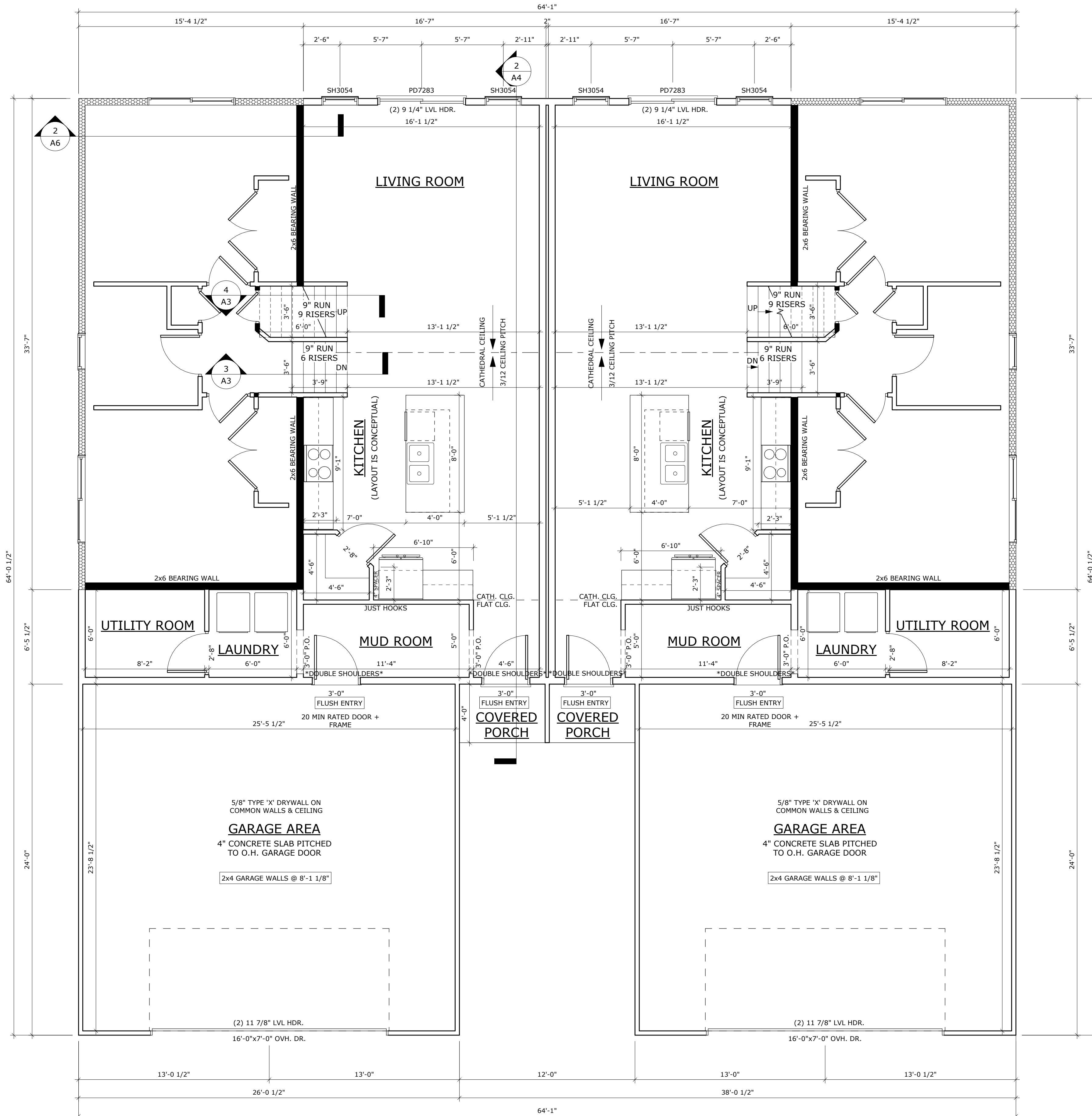
SIDE B GARAGE AREA 625 SF



4 SECOND FLOOR STAIRS
A3 1/4" = 1'-0"



3 LOWER LEVEL STAIRS
A3 1/4" = 1'-0"



FIRST FLOOR PLAN

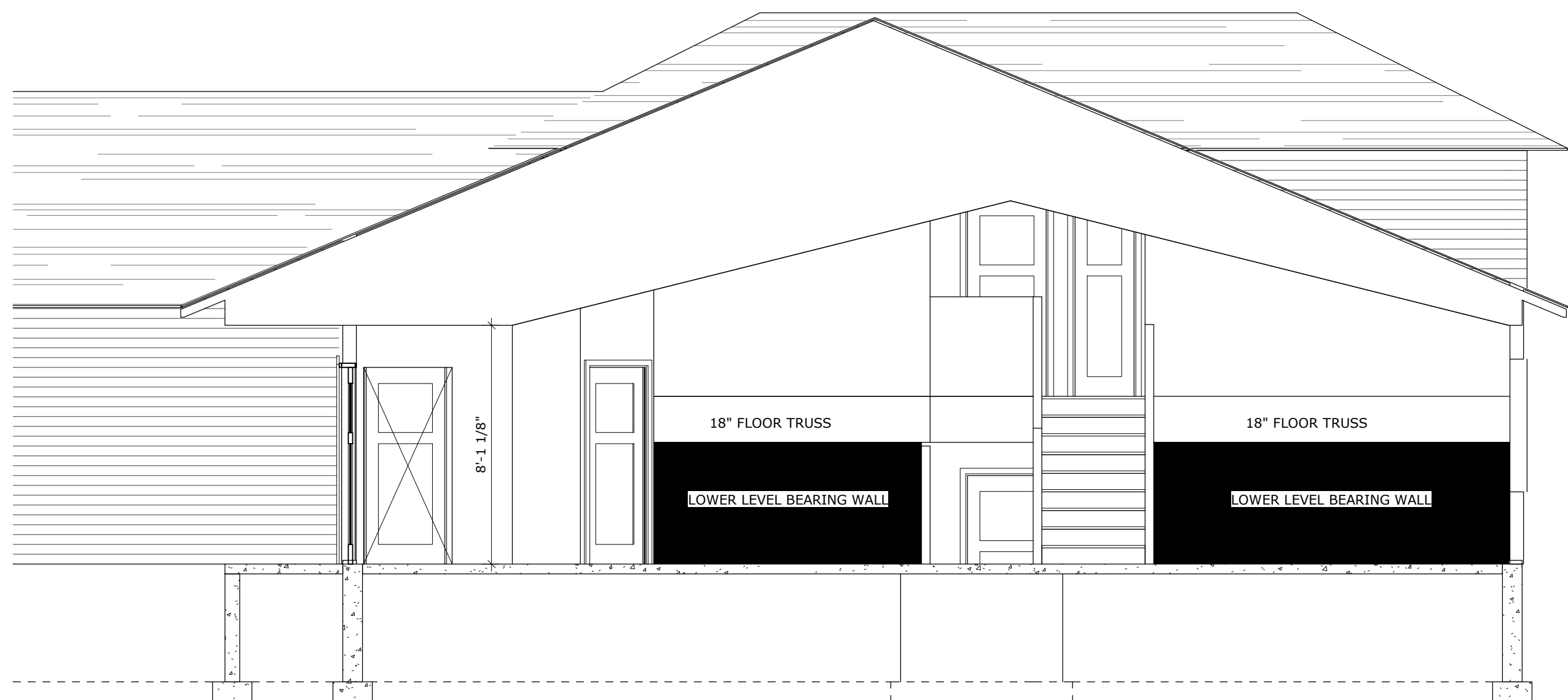
1/4" = 1'-0" WALL HEIGHT: 8'-1 1/8"

HOUSE FRAMED WALLS ADJUSTED
OUT .5" TO ACCOMMODATE FOR 1"
FOAM
(ADJ. AS NEEDED PER HEAT LOSS
CALC.)

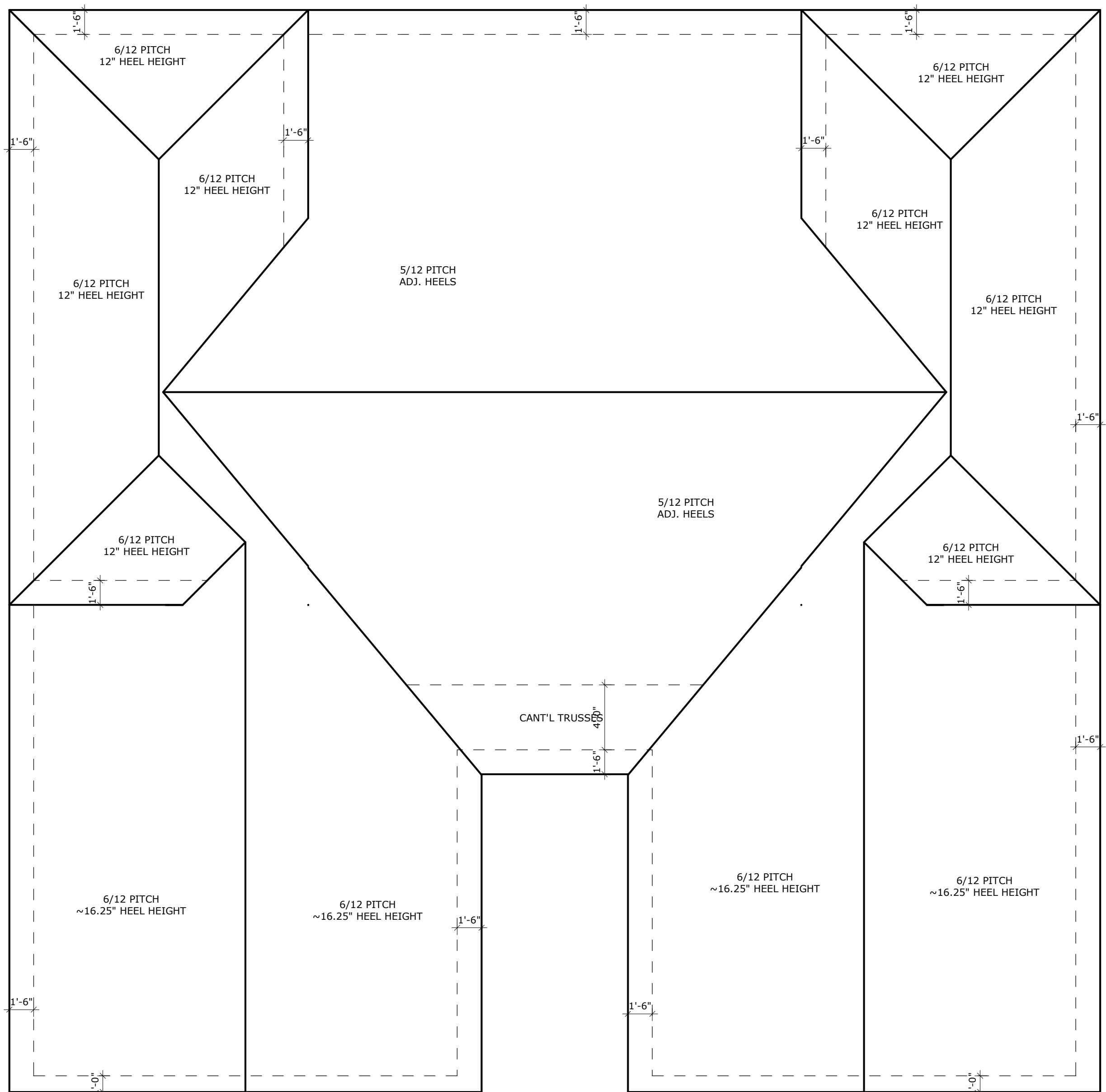
NEW HOME PLAN SPECIFICATIONS			
FOUNDATION INFORMATION			
• HOUSE FOUNDATION			
8" x 4'-0" POURED CONCRETE WALL			
• GARAGE FOUNDATION			
6" x 4'-0" POURED CONCRETE WALL			
• PORCH/PATIO FOUNDATION (UNEXCAVATED)			
6" x 4'-0" POURED CONCRETE WALL (MIN. 4'-0" TALL)			
• WALL THICKNESS FOR REPRESENTATION ONLY: FOUNDATION			
CONTACTOR/GENERAL CONTRACTOR TO VERIFY			
• FINAL FOOTING SIZE AND DEPTH DETERMINED BY FOUNDATION			
CONTACTOR/GENERAL CONTRACTOR			
• FOUNDATION CONTACTOR TO LOCATE PILASTERS AND SIZE			
FOOTINGS PER CODE AND SOIL CONDITIONS			
• WINDOWS/DOORS TO BE SET IN CONCRETE WALL- MAKE R.O. 3"			
BIGGER IN WIDTH AND HEIGHT			
• BEARING WALLS TO SIT ON MIN. 16" X 8" CONT. CONCRETE			
FOOTINGS, STUDS @ 16" O.C.			
WALL INFORMATION			
• STUDS @ 16" O.C. (UNLESS NOTED/SHOWN OTHERWISE)			
• HOUSE EXTERIOR			
FIRST FLOOR WALL HEIGHT: 2 x 6 x 8' 1 1/8"			
(UNLESS NOTED/SHOWN OTHERWISE)			
SECOND FLOOR WALL HEIGHT: 2 x 6 x 8' 1 1/8"			
(UNLESS NOTED/SHOWN OTHERWISE)			
• HOUSE INTERIOR			
FIRST FLOOR WALL HEIGHT: 2 x 4 x 8' 1 1/8"			
(UNLESS NOTED/SHOWN OTHERWISE)			
SECOND FLOOR WALL HEIGHT: 2 x 4 x 8' 1 1/8"			
(UNLESS NOTED/SHOWN OTHERWISE)			
• GARAGE			
WALL HEIGHT: 2 x 4 x 8' 8 1/8"			
(UNLESS NOTED/SHOWN OTHERWISE)			
FLOOR SYSTEMS			
• BASEMENT			
4" CONCRETE SLAB			
• FIRST FLOOR			
4" CONCRETE SLAB			
• SECOND FLOOR			
18" FLOOR TRUSS @ 19.2" O.C.			
• STANDARD LOADING (PER SQ. FT.)			
40" LL, 15" DL			
• ADDITIONAL LOADING (PER SQ. FT.) (WHEN APPLICABLE)			
10" DL FOR TILE FLOOR 13" DL FOR GYPCRETE (1.5" THICK)			
20" DL FOR FIREPLACE FACE 20" DL FOR FIREPLACE HEARTH			
25" DL FOR GRANITE/QUARTZ			
• DEFLECTION: LL=L/480, TL=L/360			
• DURATION OF LOAD: 1.00%			
ROOF SYSTEMS			
• ENGINEERED WOOD TRUSSES @ 24" O.C.			
DESIGNED FOR: ZONE 2			
• STD. LOADING (PER SQ. FT.)			
30" TCDL, 10" TCDL, 10" BCDL			
• DEFLECTION: LL=L/240, TL=L/180			
• DURATION OF LOAD: 1.15%			
HEADERS			
• STANDARD HEADER			
ALL HEADERS NOT LABELED AS LVL TO BE MIN. (2) 2X10'S			
HEADER FOR ON-SITE (UNLESS VALUE ENGINEERED FOR			
OFF-SITE CONSTRUCTION)			
• TOP OF WINDOW R.O.S.			
FIRST FLOOR @ 6'-11 3/8" ABOVE SUBFLOOR			
(UNLESS NOTED/SHOWN OTHERWISE)			
SECOND FLOOR @ 6'-11 3/8" ABOVE SUBFLOOR			
(UNLESS NOTED/SHOWN OTHERWISE)			
• MINIMUM OF (2) SHOULDER STUDS AT EACH END FOR ALL			
OPENINGS 6'-0" AND LARGER			
GENERAL INFORMATION			
• ALL DIMENSIONS ARE TO THE ROUGH STUD (UNLESS NOTED			
OTHERWISE)			
2X6 WALLS=5 1/2", 2X4 WALLS=3 1/2"			
• ALL DIMENSIONS ARE TO OUTSIDE OF FOUNDATION WALLS/BRICK			
LEDGES			
• GENERAL CONTRACTOR TO LOCATE THE FOLLOWING ITEMS IN THE			
FOUNDATION (WHEN APPLICABLE)			
FLOOR DRAINS, ELECTRIC SERVICES, WATER HEATER, SUMP			
PIT + PUMP, FURNACE, GAS/P LINE, BASEMENT WINDOWS, ETC.			
• ACTUAL STEPS IN FOUNDATION WALLS AND LOCATION OF WINDOW			
WELLS TO BE DETERMINED ON-SITE BY GENERAL CONTRACTOR			
• DECK FRAMING SPECIFICATION TO MEET OR EXCEED			
REQUIREMENTS DEFINED WITHIN "APPENDIX B" OF THE WI			
UNIFORM DWELLING			
• ALL CABINET LAYOUTS ARE CONCEPTUAL-CONSULT CABINET			
DESIGNER FOR EXACT SIZES AND LOCATIONS OF CABINETS,			
APPLIANCES, AND WINDOWS			
• ALL DOOR HEIGHTS ARE 6'-8" UNLESS NOTED/SHOWN OTHERWISE			

BID PLAN - FOR BIDDING PURPOSES ONLY

DESIGNER CARL PETERS		SCALE 1/4" = 1'-0"		SHEET NO. A3	PROJECT NO. M25-158-W		DEPERE, WI		ROBERT PETERS CONSTRUCTION		DEPERE DUPLEX		COPYRIGHT © 2025 COMPILED FROM BUILDING SURVEY OF THE PROPERTY OF THE CITY OF DEPERE, SD. THE BUILDING DATA AND PRELIMINARY LAYOUTS FOR PARTS OF THESE PLANS IS THE EVIDENCE OF THE CITY OF DEPERE, SD. THE CITY OF DEPERE, SD. IS NOT RESPONSIBLE FOR THE ACCURACY OF THE BUILDING DATA AND PRELIMINARY LAYOUTS FOR PARTS OF THESE PLANS. THE CITY OF DEPERE, SD. IS NOT RESPONSIBLE FOR THE ACCURACY OF THE BUILDING DATA AND PRELIMINARY LAYOUTS FOR PARTS OF THESE PLANS.		PRELIMINARY PLAN		03/05/2025		CJP	
													BID PLAN		03/17/2025		CJP			
															REVISED BID PLAN		03/24/2025		CJP	
																	08/08/2025		CJP	



2 CATHEDRAL SECTION
A4 1/4" = 1'-0"



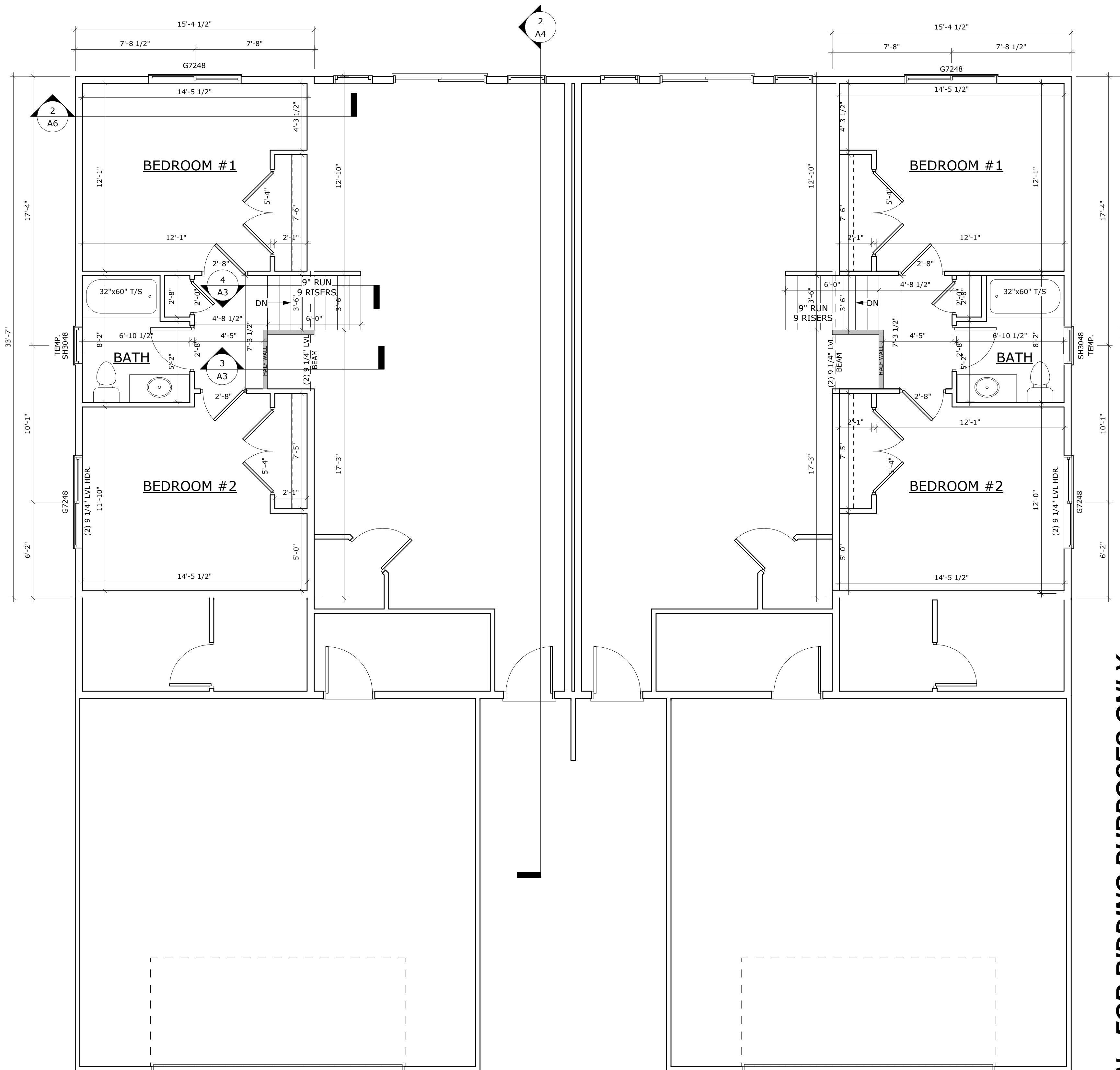
ROOF PLAN
3/16" = 1'-0"

SIDE A FIRST FLOOR AREA 786 SF
SIDE A SECOND FLOOR AREA 515 SF
SIDE A LOWER LEVEL AREA 500 SF
SIDE A TOTAL AREA 1801 SF

SIDE A GARAGE AREA 625 SF

SIDE B FIRST FLOOR AREA 786 SF
SIDE B SECOND FLOOR AREA 515 SF
SIDE B LOWER LEVEL AREA 500 SF
SIDE B TOTAL AREA 1801 SF

SIDE B GARAGE AREA 625 SF



SECOND FLOOR PLAN
1/4" = 1'-0"

HOUSE FRAMED WALLS ADJUSTED
OUT .5" TO ACCOMMODATE FOR 1"
FOAM
(ADJ. AS NEEDED PER HEAT LOSS
CALC.)

BID PLAN - FOR BIDDING PURPOSES ONLY

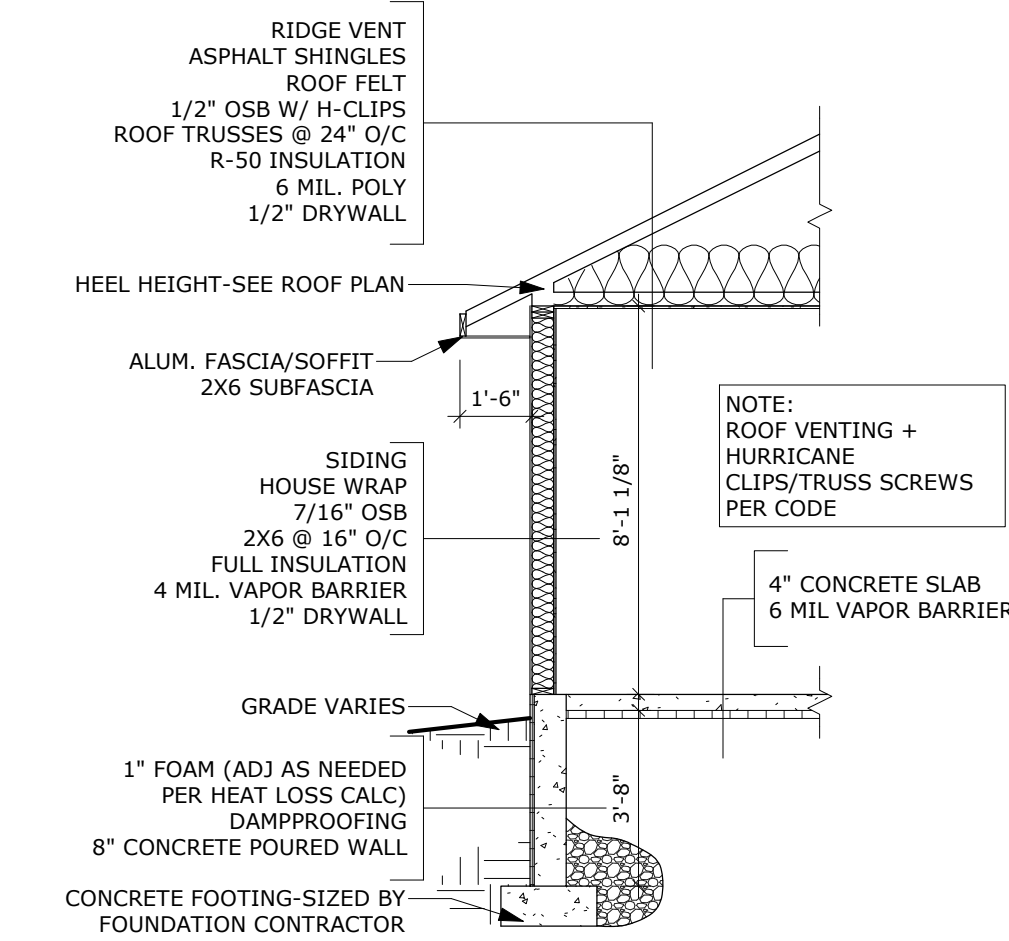
DESIGNER CARL PETERS	PRELIMINARY PLAN 03/05/2025	CJP
SCALE As indicated	BID PLAN 03/17/2025	CJP
SHEET NO. A4	REVISED BID PLAN 03/24/2025	CJP
PROJECT NO. M25-158-W		
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DEPERE DUPLEX		DEPERE, WI
ROBERT PETERS CONSTRUCTION		

SIDE A FIRST FLOOR AREA 786 SF
SIDE A SECOND FLOOR AREA 515 SF
SIDE A LOWER LEVEL AREA 500 SF
SIDE A TOTAL AREA 1801 SF

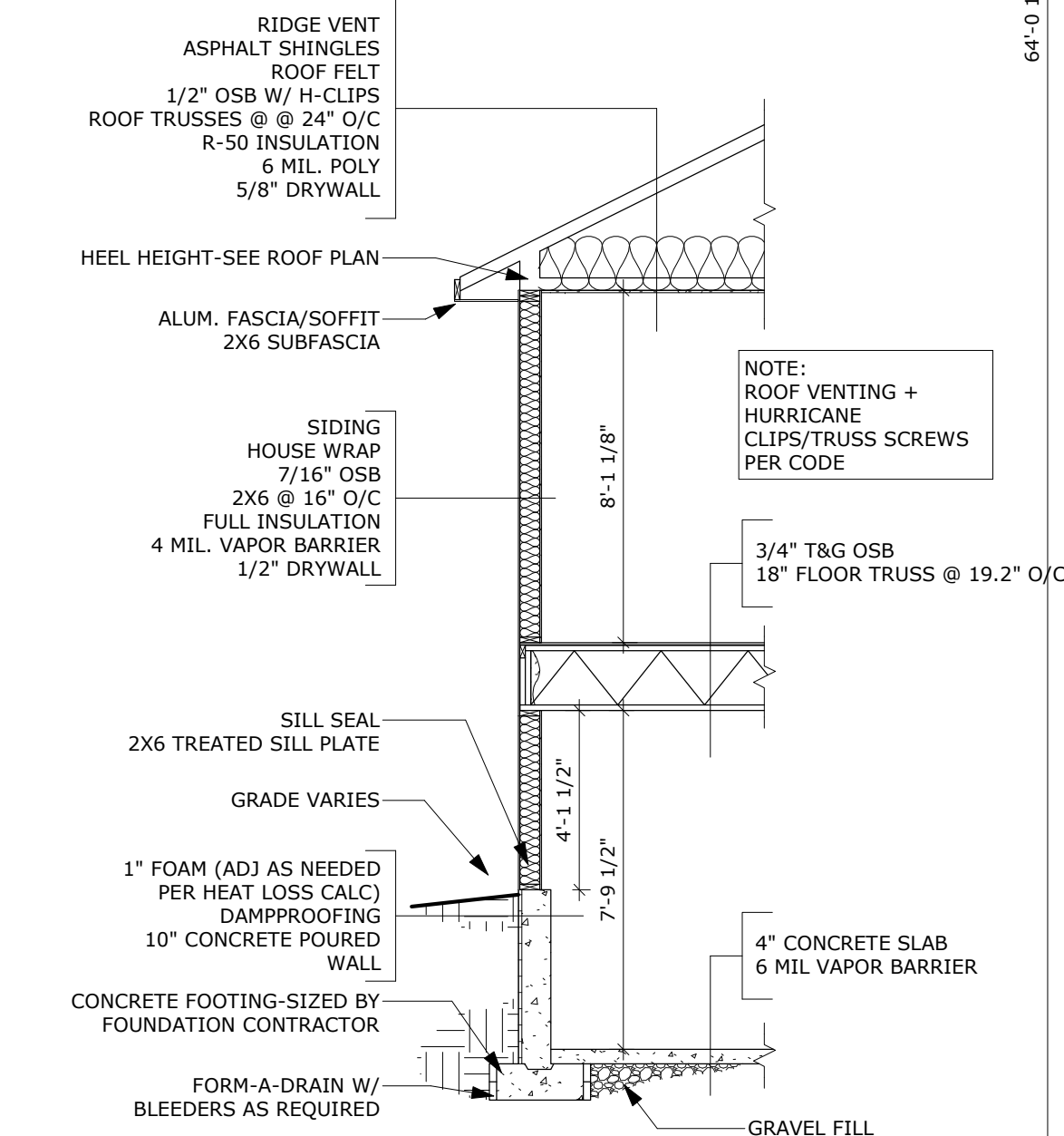
SIDE A GARAGE AREA 625 SF

SIDE B FIRST FLOOR AREA 786 SF
SIDE B SECOND FLOOR AREA 515 SF
SIDE B LOWER LEVEL AREA 500 SF
SIDE B TOTAL AREA 1801 SF

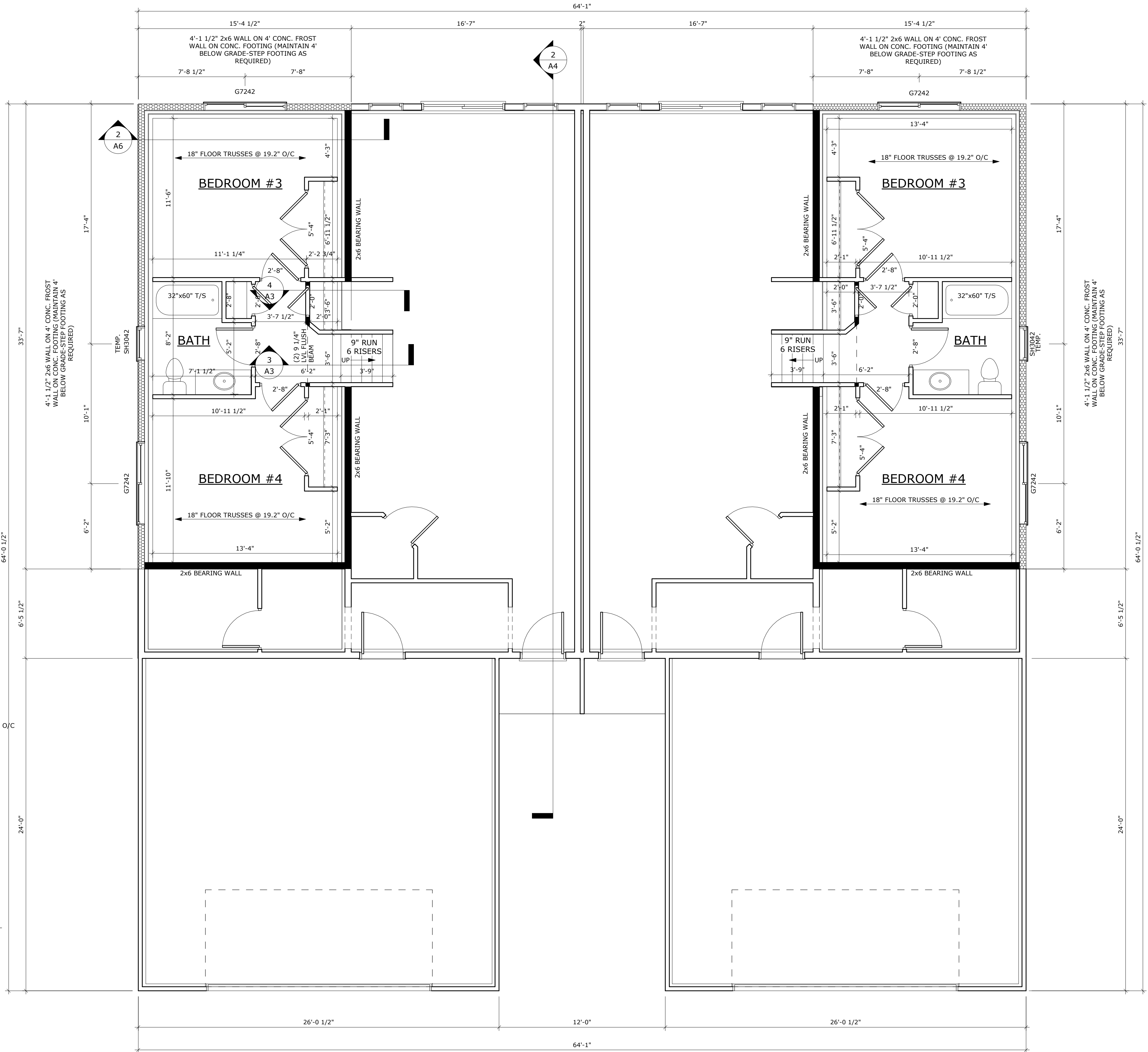
SIDE B GARAGE AREA 625 SF



MAIN LEVEL WALL SECTION
1/4" = 1'-0"



TYPICAL WALL SECTION
1/4" = 1'-0"



LOWER LEVEL PLAN
1/4" = 1'-0"

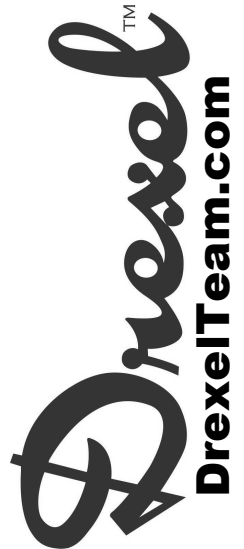
NEW HOME PLAN SPECIFICATIONS			
FOUNDATION INFORMATION			
• HOUSE FOUNDATION			
8" x 4'-0" POURED CONCRETE WALL			
• GARAGE FOUNDATION			
6" x 4'-0" POURED CONCRETE WALL			
• PORCH/PATIO FOUNDATION (UNEXCAVATED)			
5" x 4'-0" POURED CONCRETE WALL (MIN. 4'-0" TALL)			
• WALL THICKNESS FOR REPRESENTATION ONLY- FOUNDATION CONTRACTOR/GENERAL CONTRACTOR TO VERIFY			
• FINAL FOOTING SIZE AND DEPTH DETERMINED BY FOUNDATION CONTRACTOR/GENERAL CONTRACTOR			
• FOUNDATION CONTRACTOR TO LOCATE PILASTERS AND SIZE FOOTINGS PER CODE AND SOIL CONDITIONS			
• WINDOWS/DOORS TO BE SET IN CONCRETE WALL- MAKE R.O. 3" BIGGER IN WIDTH AND HEIGHT			
• BEARING WALLS TO SIT ON MIN. 16" X 8" CONT. CONCRETE FOOTINGS, STUDS @ 16" O.C.			
WALL INFORMATION			
• STUDS @ 16" O.C. (UNLESS NOTED/SHOWN OTHERWISE)			
• HOUSE EXTERIOR			
FIRST FLOOR WALL HEIGHT: 2 x 6 x 8' 1 1/8" (UNLESS NOTED/SHOWN OTHERWISE)			
SECOND FLOOR WALL HEIGHT: 2 x 6 x 8' 1 1/8" (UNLESS NOTED/SHOWN OTHERWISE)			
• HOUSE INTERIOR			
FIRST FLOOR WALL HEIGHT: 2 x 4 x 8' 1 1/8" (UNLESS NOTED/SHOWN OTHERWISE)			
SECOND FLOOR WALL HEIGHT: 2 x 4 x 8' 1 1/8" (UNLESS NOTED/SHOWN OTHERWISE)			
• GARAGE			
WALL HEIGHT: 2 x 4 x 8' 8 1/8" (UNLESS NOTED/SHOWN OTHERWISE)			
FLOOR SYSTEMS			
• BASEMENT			
4" CONCRETE SLAB			
• FIRST FLOOR			
4" CONCRETE SLAB			
• SECOND FLOOR			
18" FLOOR TRUSS @ 19.2" O.C.			
• STANDARD LOADING (PER SQ. FT.)			
40' LL, 15' DL			
• ADDITIONAL LOADING (PER SQ. FT.) (WHEN APPLICABLE)			
10' DL FOR TILE FLOOR 13' DL FOR GYPCRETE (1.5" THICK)			
20' DL FOR FIREPLACE FACE 20' DL FOR FIREPLACE HEARTH			
• DEFLECTION: LL=L/480, TL=L/360			
• DURATION OF LOAD: 1.00%			
ROOF SYSTEMS			
• ENGINEERED WOOD TRUSSES @ 24" O.C.			
DESIGNED FOR: ZONE 2			
• STD. LOADING (PER SQ. FT.)			
30# TCCL, 10# TCCL, 10# BCDL			
• DEFLECTION: LL=L/240, TL=L/180			
• DURATION OF LOAD: 1.15%			
HEADERS			
• STANDARD HEADER			
ALL HEADERS NOT LABELED AS LVL TO BE MIN. (2) 2X10'S			
HEADER FOR ON-SITE (UNLESS VALUE ENGINEERED FOR OFF-SITE CONSTRUCTION)			
• TOP OF WINDOW R.O.S.			
FIRST FLOOR @ 6'-11 3/8" ABOVE SUBFLOOR (UNLESS NOTED/SHOWN OTHERWISE)			
SECOND FLOOR @ 6'-11 3/8" ABOVE SUBFLOOR (UNLESS NOTED/SHOWN OTHERWISE)			
• MINIMUM OF (2) SHOULDER STUDS AT EACH END FOR ALL OPENINGS 6'-0" AND LARGER			
GENERAL INFORMATION			
• ALL DIMENSIONS ARE TO THE ROUGH STUD (UNLESS NOTED OTHERWISE)			
2X6 WALLS=5 1/2", 2X4 WALLS=3 1/2"			
• ALL DIMENSIONS ARE TO OUTSIDE OF FOUNDATION WALLS/BRICK LEDGES			
• GENERAL CONTRACTOR TO LOCATE THE FOLLOWING ITEMS IN THE FOUNDATION (WHEN APPLICABLE)			
FLOOR DRAINS, ELECTRIC SERVICES, WATER HEATER, SUMP PIT + PUMP, FURNACE, GAS/LP LINE, BASEMENT WINDOWS, ETC.			
• ACTUAL STEPS IN FOUNDATION WALLS AND LOCATION OF WINDOW WELLS TO BE DETERMINED ON-SITE BY GENERAL CONTRACTOR			
• DECK FRAMING SPECIFICATION TO MEET OR EXCEED REQUIREMENTS DEFINED WITHIN "APPENDIX B" OF THE WI UNIFORM DWELLING			
• ALL CABINET LAYOUTS ARE CONCEPTUAL-CONSULT CABINET DESIGNER FOR EXACT SIZES AND LOCATIONS OF CABINETS, APPLIANCES, AND WINDOWS			
• ALL DOOR HEIGHTS ARE 6'-8" UNLESS NOTED/SHOWN OTHERWISE			

BID PLAN - FOR BIDDING PURPOSES ONLY

PRELIMINARY PLAN		CJP	
BID PLAN	03/05/2025	CJP	03/05/2025
BID PLAN	03/17/2025	CJP	03/17/2025
REVISED BID PLAN	03/24/2025	CJP	03/24/2025
REVISED BID PLAN	08/08/2025	CJP	08/08/2025

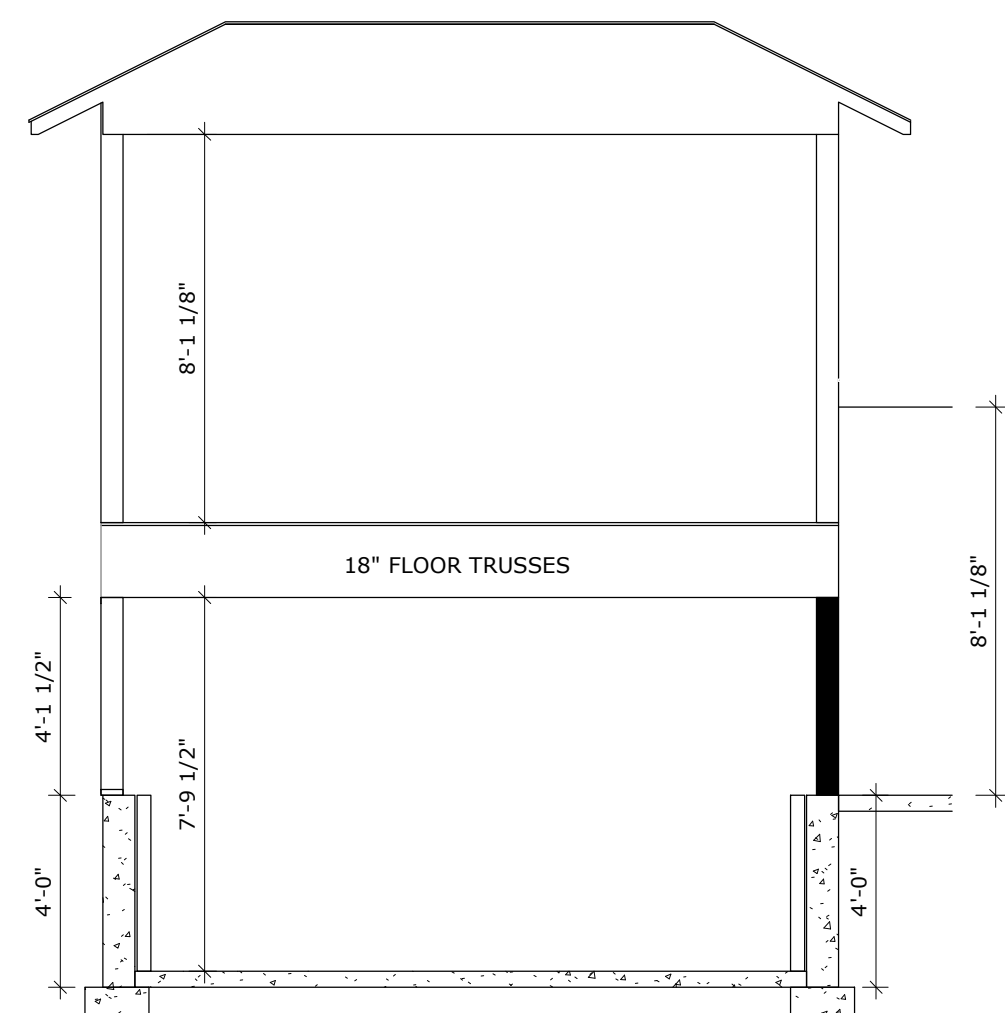
DEPERE DUPLEX		DEPERE, WI	
ROBERT PETERS CONSTRUCTION			

DESIGNER CARL PETERS	SCALE 1/4" = 1'-0"	SHEET NO. A5	PROJECT NO. M25-158-W
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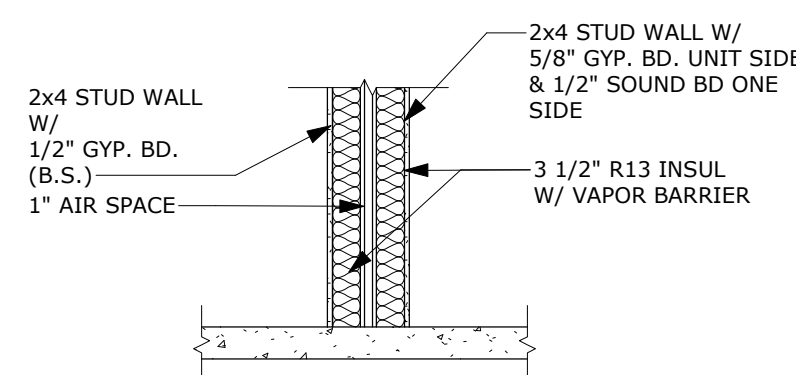


SIDE B FIRST FLOOR AREA	786 SF
SIDE B SECOND FLOOR AREA	515 SF
SIDE B LOWER LEVEL AREA	500 SF
<u>SIDE B TOTAL AREA</u>	<u>1801 SF</u>

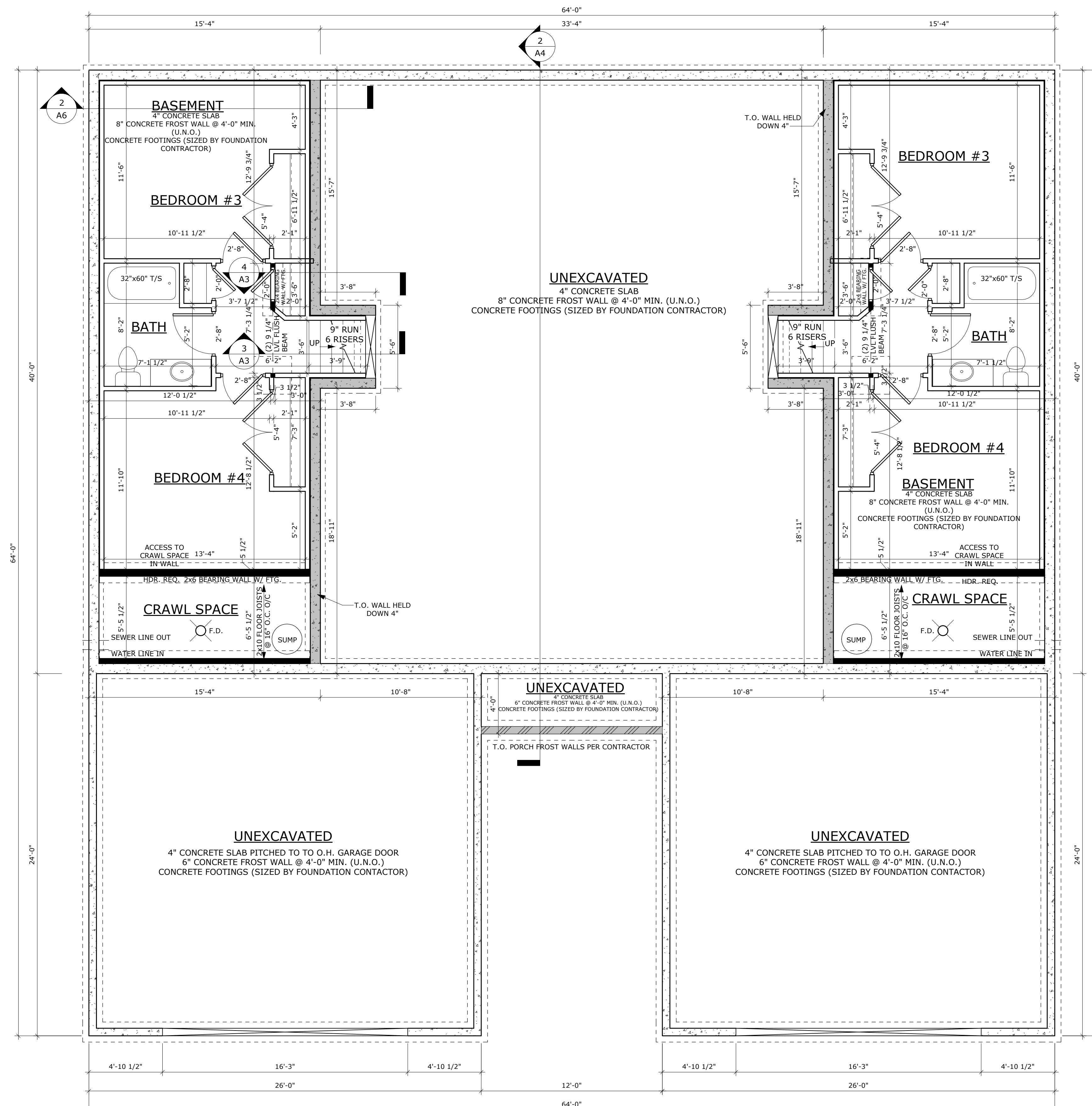
SIDE B GARAGE AREA 625 SF



2	WALL SECTION
A6	1/4" = 1'-0"



PARTY WALL DETAIL



FOUNDATION PLAN

NEW HOME PLAN SPECIFICATIONS

FOUNDATION INFORMATION

- **HOUSE FOUNDATION**
 - 6" x 4'-0" POURED CONCRETE WALL
- **GARAGE FOUNDATION**
 - 6" x 4'-0" POURED CONCRETE WALL
- **PORCH/PATIO FOUNDATION (UNEXCAVATED)**
 - 6" x 4'-0" POURED CONCRETE WALL (MIN. 4'-0" TALL)
- WALL THICKNESS FOR REPRESENTATION ONLY- FOUNDATION CONTRACTOR/GENERAL CONTRACTOR TO VERIFY
- FINAL FOOTING SIZE AND DEPTH DETERMINED BY FOUNDATION CONTRACTOR/GENERAL CONTRACTOR
- FOUNDATION CONTRACTOR TO LOCATE PILASTERS AND SET FOOTINGS PER CODE AND SOIL CONDITIONS
- WINDOWS/DOORS TO BE SET IN CONCRETE WALL- MAKE R.O. 3" BIGGER IN WIDTH AND HEIGHT
- BEAMS/WALLS TO SET IN MIN. 16" x 8" CONC. CONCRETE FOOTINGS, STUDS @ 16" O.C.

WALL INFORMATION

- STUDS @ 16" O.C. (UNLESS NOTED/SHOWN OTHERWISE)

- **HOUSE EXTERIOR**
FIRST FLOOR WALL

- FIRST FLOOR WALL HEIGHT: 2 x 6 x 8' 1 1/8"
(UNLESS NOTED/SHOWN OTHERWISE)
SECOND FLOOR WALL HEIGHT: 2 x 6 x 8' 1 1/8"
(UNLESS NOTED/SHOWN OTHERWISE)

- **HOUSE INTERIOR**
FIRST FLOOR WALL

- FIRST FLOOR WALL HEIGHT: 2 x 4 x 8' 1 1/8"
(UNLESS NOTED/SHOWN OTHERWISE)
SECOND FLOOR WALL HEIGHT: 2 x 4 x 8' 1 1/8"
(UNLESS NOTED/SHOWN OTHERWISE)

- **GARAGE**
WALL HEIGHT: 2 y

- WALL HEIGHT: 2 x 4 x 8 - 8 1/8
(UNLESS NOTED/SHOWN OTHERWISE)

FLOOR SYSTEMS

- **BASEMENT**
4" CONCRETE SLAB

- **FIRST FLOOR**
4" CONCRETE SLAB

- 4" CONCRETE SLAB
- **SECOND FLOOR**
 - 18" FLOOR TRUSS @ 19.2" O.C.
 - STANDARD LOADING (PER SQ. FT.)
 - 40" LL, 15" DL
 - ADDITIONAL LOADING (PER SQ. FT.) (WHEN APPLICABLE)
 - 10" DL. FOR TILE FLOOR 13" DL. FOR GYPSCRE (1.5" THICK)
 - 20" DL. FOR FIREPLACE FACE 20" DL. FOR FIREPLACE HEARTH
 - 25" DL. FOR GRANITE/QUARTZ
 - DEFLECTION: LL=L/480, TL=L/360
 - DURATION OF LOAD: 1.00%

ROOF SYSTEMS

- **ENGINEERED WOOD TRUSSES @24" O.C.**
DESIGNED FOR ZONE 2

DESIGNED FOR: Z
• STD. LOADING (PER

- 30# TCLL, 10# TCCL, 10# BCDL

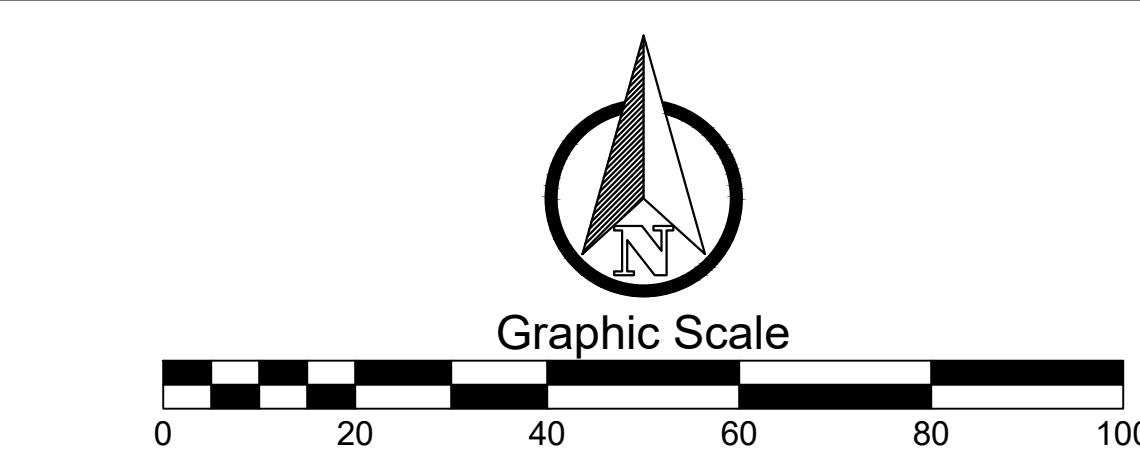
- DEFLECTION: $LL=L/$
- DURATION OF LOAD

- ## **HEADERS**
- STANDARD HEADER
 - ALL HEADERS NOT LABELED AS LVL TO BE MIN. (2) 2X10'S HEADER FOR ON-SITE (UNLESS VALUE ENGINEERED FOR OFF-SITE CONSTRUCTION)
 - TOP OF WINDOW R.O.S.
 - FIRST FLOOR @ 6'-11 3/8" ABOVE SUBFLOOR (UNLESS NOTED/SHOWN OTHERWISE)
 - SECOND FLOOR @ 6'-11 3/8" ABOVE SUBFLOOR (UNLESS NOTED/SHOWN OTHERWISE)
 - MINIMUM OF (2) SHOULDER STUDS AT EACH END FOR ALL OPENINGS 6'-0" AND LARGER

GENERAL INFORMATION

- ALL DIMENSIONS ARE TO THE ROUGH STUD (UNLESS NOTED OTHERWISE)
 - 2X6 WALLS=5 1/2", 2X4 WALLS=3 1/2"
- ALL DIMENSIONS ARE TO OUTSIDE OF FOUNDATION WALLS/BRICK LEDGES
- GENERAL CONTRACTOR TO LOCATE THE FOLLOWING ITEMS IN THE FOUNDATION (WHEN APPLICABLE)
 - FLOOR DRAINS, ELECTRIC SERVICES, WATER HEATER, SUMP PUMP, FURNACE, GAS PIPING, BASEMENT WINDOWS, ETC.
- ACTUAL STEPS IN FOUNDATION WALLS AND LOCATION OF WINDOW WELLS TO BE DETERMINED ON-SITE BY GENERAL CONTRACTOR
- REQUIREMENTS SPECIFICATION TO MEET OR EXCEED
- DECORATIONS DEFINED WITHIN "APPENDIX B" OF THE W1 UNIFORM DOWELLING
- ALL CABINET LAYOUTS ARE CONCEPTUAL-CONSULT CABINET DESIGNER FOR EXACT SIZES AND LOCATIONS OF CABINETS, APPLIANCES, AND WINDOWS
- ALL DOOR HEIGHTS ARE 6'-8" UNLESS NOTED/SHOWN OTHERWISE

DESIGNER: CARL PETERS			DEPERE DUPLEX ROBERT PETERS CONSTRUCTION DEPERE, WI	COPYRIGHT © 2025 COPYRIGHTED DESIGN. MATERIAL SUPPLY IS THE PROPERTY OF THE DESIGNER. THE LOCATION OF THESE DOCUMENTS SHALL BE THE PROPERTY OF THE DESIGNER. NO REPRODUCTION OR TRANSMISSION OF ANY PARTS OF THESE PLANS IS IN ORDER. ALL RIGHTS ARE RESERVED.		PRELIMINARY PLAN 03/05/2025 CJP
SIGNED BY: As indicated				BID PLAN 03/17/2025 CJP		
SHEET NO:				BID PLAN 03/24/2025 CJP		
				REVISED BID PLAN 08/09/2025 CJP		
				BID PLAN 03/05/2025 CJP		



NOTES:
1. PLANT SPECIES TO BE DETERMINED

DESIGNED BY
TJS

DATA FILE
B-3919.txt

DATE
05-29-20

Number	Date	Comments
-	-	-
-	-	-
-	-	-
-	-	-

Mau & Associates
LAND SURVEYING & PLANNING
CIVIL & WATER RESOURCE ENGINEERING
Phone: 920-434-9670 Fax: 920-434-9672

MARKETING
LOT 27
BOSTAD BUILDERS

File: B-3919Marketing Lot 27 052920.dwg

PROJECT NO.
B-3919

SHEET NO.
C2.0

DRAWING NO.
S-3172



Village of Kimberly REQUEST FOR BOARD CONSIDERATION

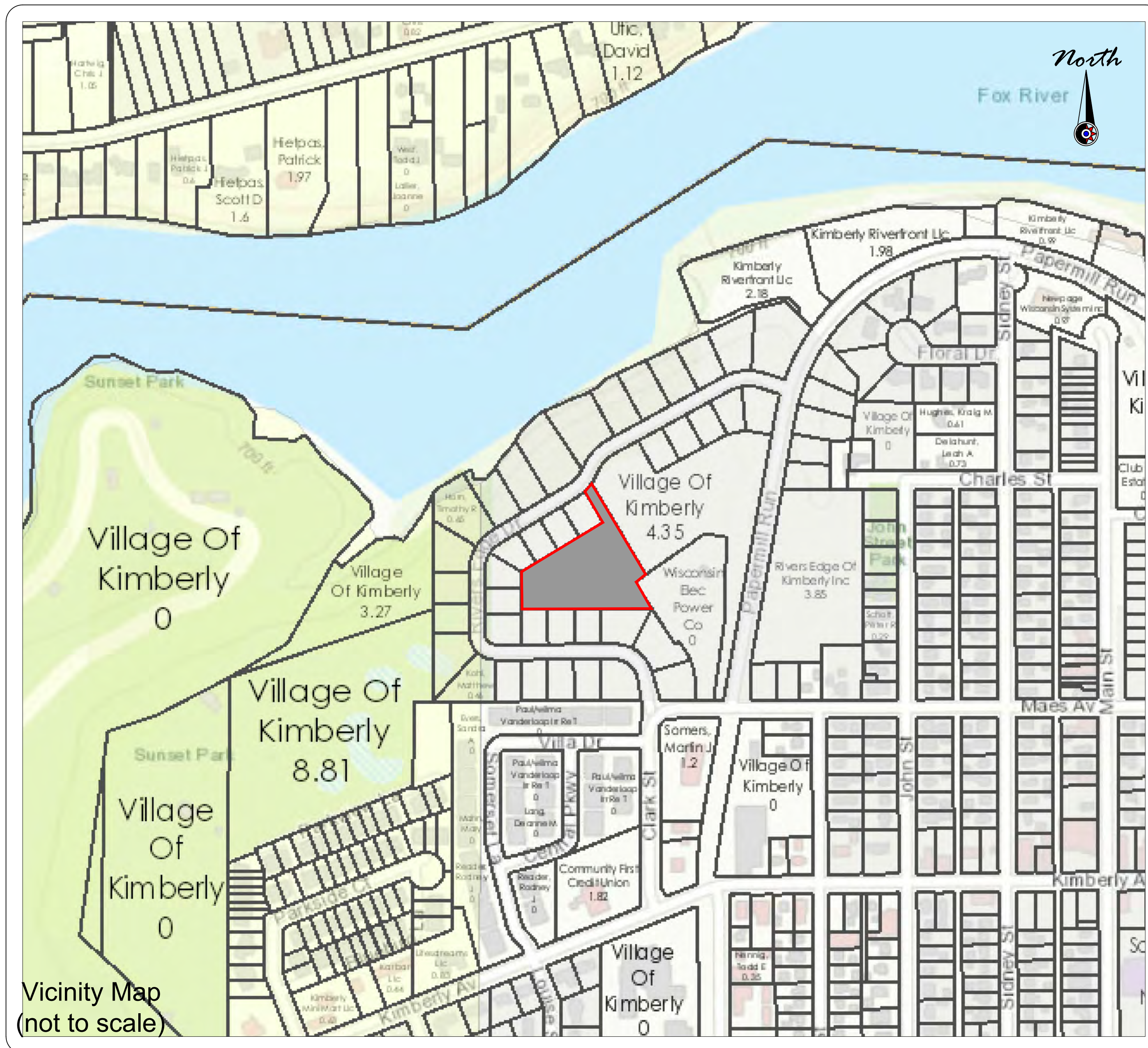
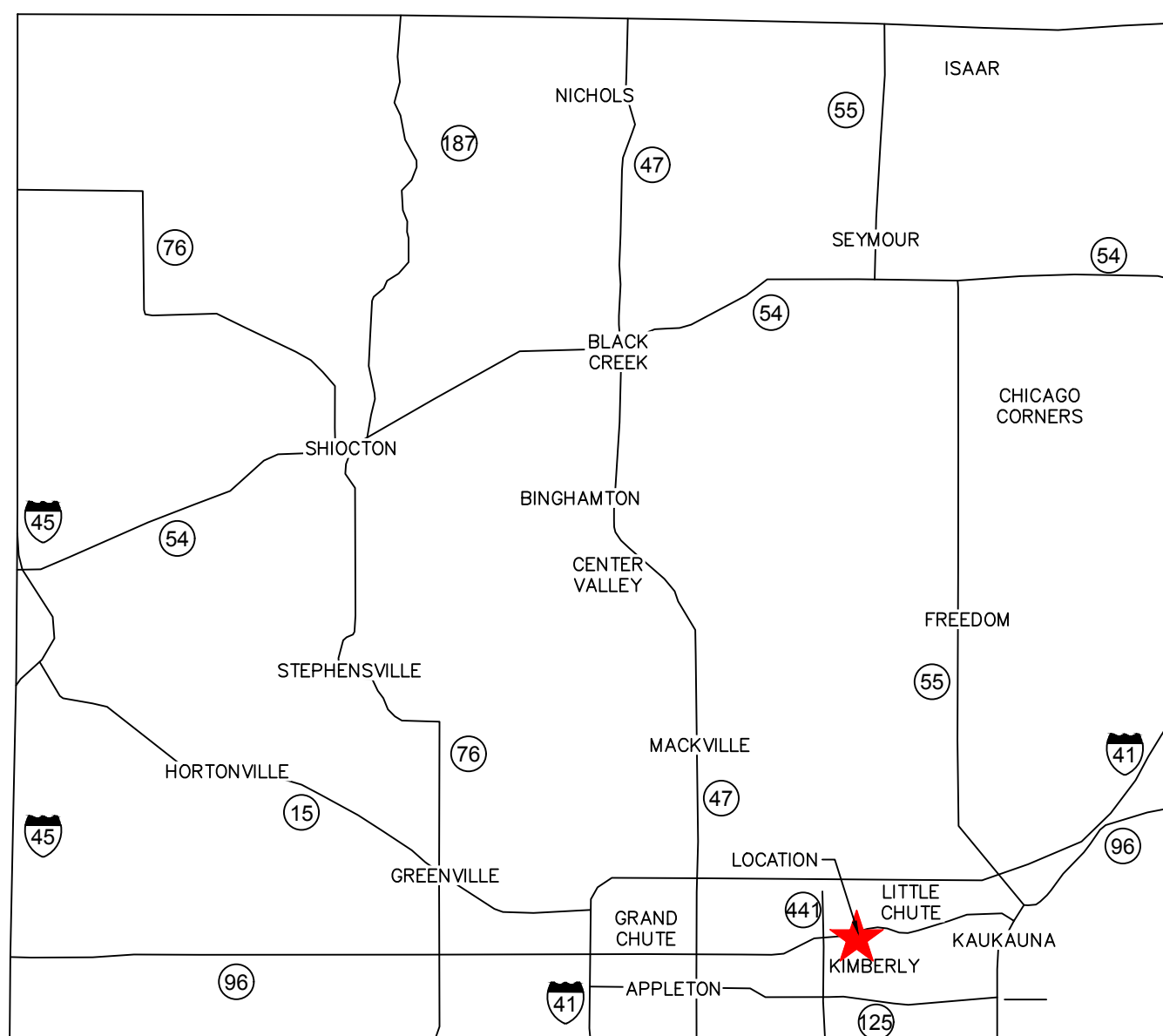
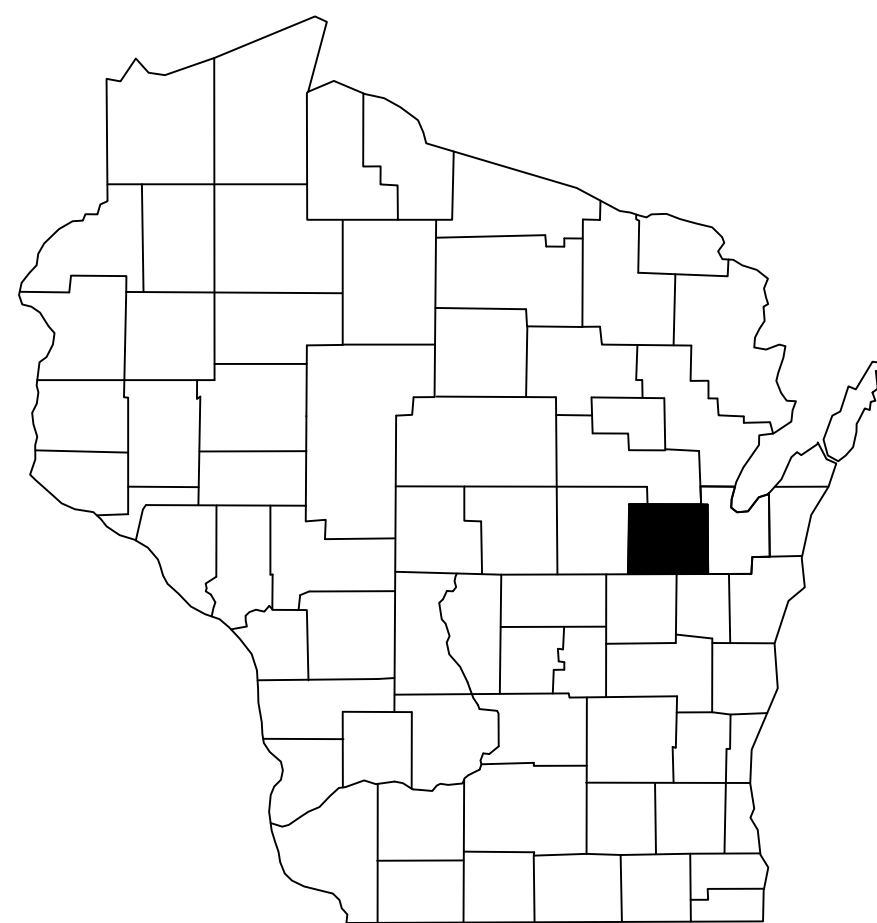
ITEM DESCRIPTION: Planned Unit Development, Lot 27, Rivers Edge Subdivision
REPORT PREPARED BY: Allyn Dannhoff
REPORT DATE: October 21, 2019
ADMINISTRATOR'S REVIEW / COMMENTS: No additional comments to this report _____ See additional comments attached _____
EXPLANATION: Rivers Edge Subdivision developer, Tom Juza, is seeking Planned Unit Development approval for Lot 27 consisting of 4 – 2 unit buildings. The zoning ordinance provides the ability to consider and approve Planned Unit Developments to encourage and promote improved environmental design, allowing greater freedom, imagination and flexibility in the development of land. The attached Plan Commission staff report and materials provides back ground.
RECOMMENDED ACTION: The Plan Commission recommends approval of the Planned Unit Development as presented and conditioned in the Plan Commission staff report, in addition to any conditions the Village Board may identify.

Village of Kimberly
Request of Planning Commission Recommendation

ITEM DESCRIPTION: Planned Unit Development, Lot 27, Rivers Edge Subdivision
REPORT PREPARED BY: Allyn Dannhoff
REPORT DATE: October 10, 2019
EXPLANATION: Rivers Edge Subdivision developer, Tom Juza, is seeking Planned Unit Development approval for Lot 27 consisting of 4 – two dwelling structures. The zoning ordinance provides the ability to consider and approve Planned Unit Developments to encourage and promote improved environmental design, allowing greater freedom, imagination and flexibility in the development of land. Mr. Juza is seeking approval for developing Lot 27 in accordance with the included civil and architectural plans. In considering this request, the plans and conditions attached to any approval establish the standards the development must employ and adhere. In addition to the PUD review and approval, this property must also be rezoned to R5 PUD to permit this development on this parcel. This is being addressed in a separate action. Staff zoning review identifies the proposed development meets the standard setback and density requirements except for the following areas where the developer is seeking approval of alternate standards: 1. 13 foot rear yard setbacks (vs. 25 feet) for the decks and patios along the north and south property lines. 2. Permit the small rear additions, such as Four Seasons rooms not to exceed 12 feet x 12 feet, to employ the same 13 foot rear yard setback along the east and south property lines. The plans as presented meet the requirements of the Fire Department for emergency response, refuse collection requirements, and in general the layout of the utilities and private road as discussed in the consultation meeting with the developer and his design team.
RECOMMENDED ACTION: Staff recommends approval of the development plan, civil and architectural plans, as proposed subject to the following conditions in addition to any Plan Commission might identify: Conditions: 1. Approval includes the reduced setbacks as shown on the plans. 2. Approval includes ability to employ 13 foot setback to the north and south property lines for additions not to exceed 12 feet x 12 feet. 3. Secure Village and state agency approval of water, sanitary and storm utility plans prior to the construction of each of these utilities. 4. Secure Village approval for the Water Main easement.

5. Secure Village approval of a standard construction detail for the private road.
6. The Site Layout plan shall include a summary of impervious square footage.
7. The developer shall provide a signed copy of the Garbage & Recycling Collection Waiver and Hold Harmless agreement.
8. Submit and secure approval of a detailed Landscaping Plan by (date or benchmark to be identified.)
9. Landscaping berms shall be installed in a manner to promote the flow of storm water along shared property lines with abutting properties.
10. Post addresses at the private drive entrance.
11. Submit and secure approval of any development signage prior to issuance of a building permit.

RIVER'S EDGE LOT 27 VILLAGE OF KIMBERLY



Vicinity Map
(not to scale)

Mau & Associates
LAND SURVEYING & PLANNING
CIVIL & WATER RESOURCE ENGINEERING
Phone: 920-434-9670 Fax: 920-434-9672

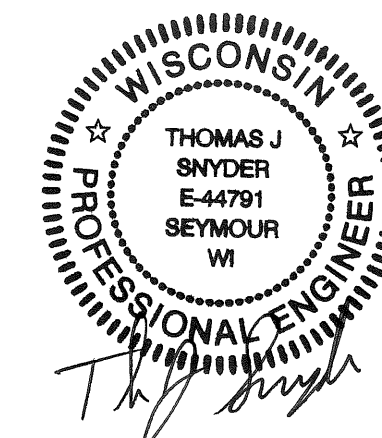
PROJECT INFORMATION

OWNER(S):	RIVERS EDGE OF KIMBERLY INC
PROJECT NAME:	RIVERS EDGE
PROJECT DESCRIPTION:	8 RESIDENTIAL CONDO UNITS
PROJECT LOCATION:	LOT 27 RIVER'S EDGE PLAT
PARCEL NUMBER(S):	250093927

CONTACT INFORMATION

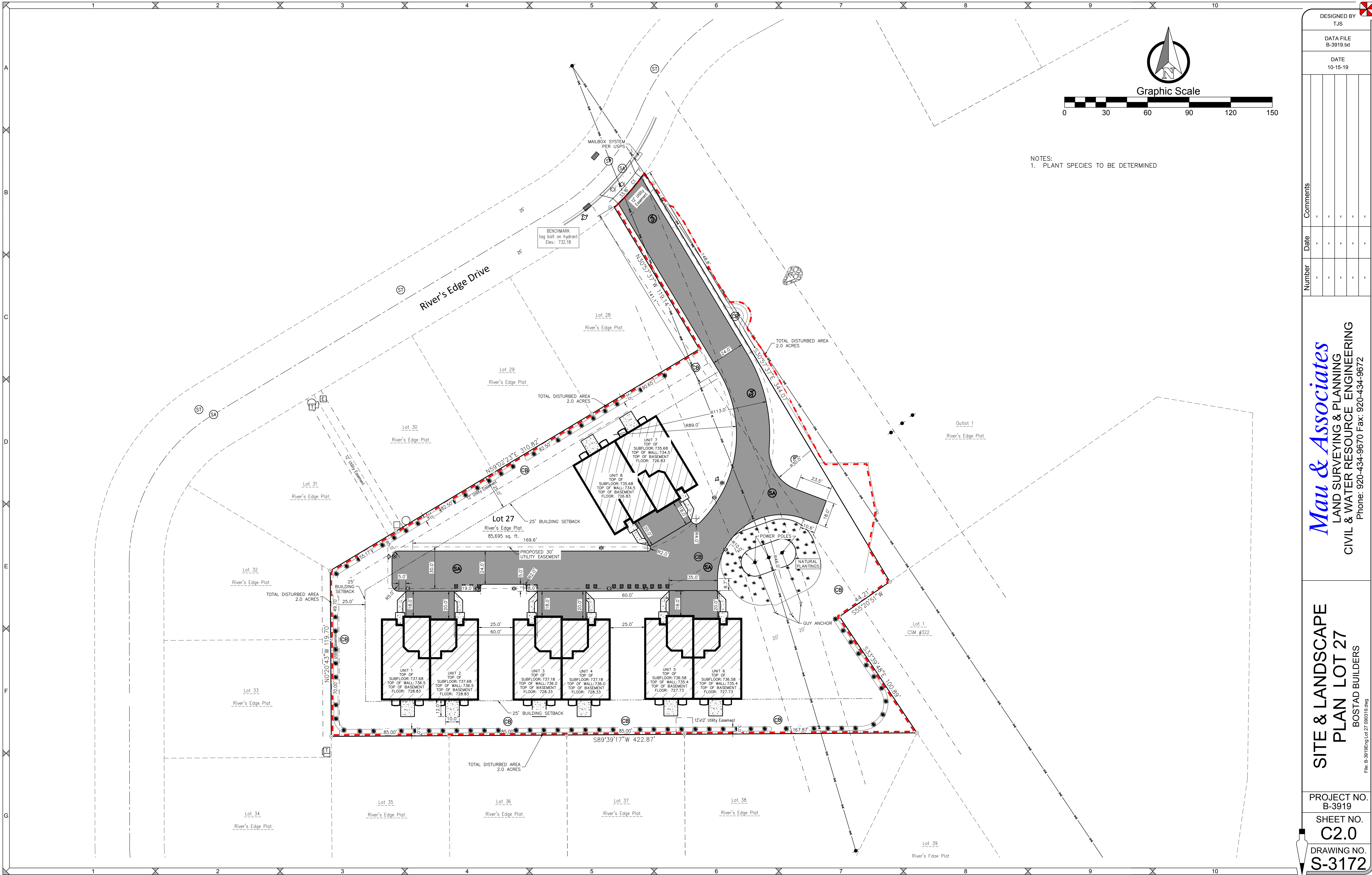
OWNER(S):	BOSTAD BUILDERS TOM JUZA 1297 SOUTH SEDONA CIRCLE HOBART, WI 54155 PH.: 920-406-9292
ENGINEER:	MAU & ASSOCIATES, LLP CONTACT: THOMAS J. SNYDER, P.E. 400 SECURITY BLVD. GREEN BAY, WI 54313 PH.: 920-434-9670

SHEET INDEX:	C1.0 TITLE SHEET C2.0 SITE PLAN C3.0 EROSION CONTROL PLAN C4.0 GRADING PLAN C5.0 STORM SEWER SITE UTILITY PLAN C5.1 WATER MAIN PLAN & PROFILE C5.2 SANITARY SEWER SITE UTILITY PLAN C6.0 NOTES C7.0 DETAILS C7.1 DETAILS C7.2 DETAILS
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10/15/2019

DATE:	10-15-19
PROJECT NO.	B-3919
SHEET NO.	C1.0
DRAWING NO.	S-3172



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LAND SURVEYING & PLANNING
CIVIL & WATER RESOURCE ENGINEERING
Phone: 920-434-9670 Fax: 920-434-9672

**SITE & LANDSCAPE
PLAN LOT 27**
BOSTAD BUILDERS

PROJECT NO.
B-3919

SHEET NO.
C2.0

DRAWING NO.
S-3172



DESIGNED BY
TJS

DATA FILE
B-3919.txt

DATE
10-15-19

Number	Date	Comments
-	-	-
-	-	-
-	-	-
-	-	-

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CIVIL & WATER RESOURCE ENGINEERING
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**EROSION CONTROL
PLAN LOT 27**
BOSTAD BUILDERS
File: B-3919Erg Lot 27 090319.dwg

PROJECT NO.
B-3919

SHEET NO.
C3.0

DRAWING NO.
S-3172



DESIGNED BY
TJS

DATA FILE
B-3919.txt

DATE
10-15-19

Number	Date	Comments
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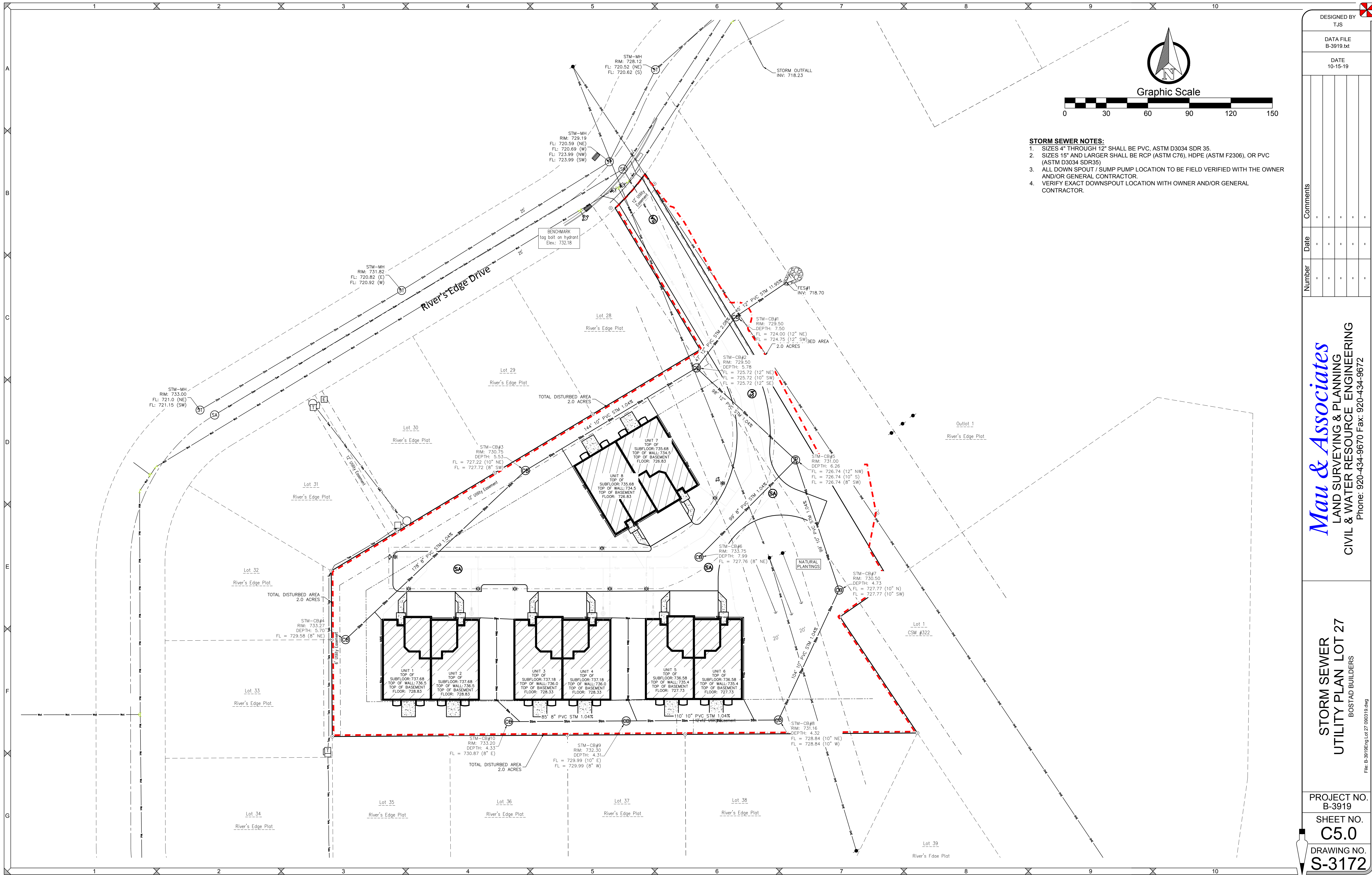
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CIVIL & WATER RESOURCE ENGINEERING
Phone: 920-434-9670 Fax: 920-434-9672

GRADING PLAN
LOT 27
BOSTAD BUILDERS

PROJECT NO.
B-3919

SHEET NO.
C4.0

DRAWING NO.
S-3172



- STORM SEWER NOTES:**
1. SIZES 4" THROUGH 12" SHALL BE PVC, ASTM D3034 SDR 35.
 2. SIZES 15" AND LARGER SHALL BE RCP (ASTM C76), HDPE (ASTM F2306), OR PVC (ASTM D3034 SDR35)
 3. ALL DOWN SPOUT / SUMP PUMP LOCATION TO BE FIELD VERIFIED WITH THE OWNER AND/OR GENERAL CONTRACTOR.
 4. VERIFY EXACT DOWNSPOUT LOCATION WITH OWNER AND/OR GENERAL CONTRACTOR.

DESIGNED BY
TJS

DATA FILE
B-3919.bxt

DATE
10-15-19

Number

Date

Comments

Mau & Associates

LAND SURVEYING & PLANNING

CIVIL & WATER RESOURCE ENGINEERING

Phone: 920-434-9670 Fax: 920-434-9672

STORM SEWER

UTILITY PLAN LOT 27

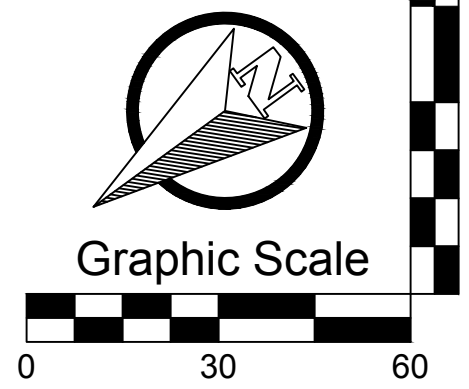
BOSTAD BUILDERS

PROJECT NO.
B-3919

SHEET NO.
C5.0

DRAWING NO.
S-3172

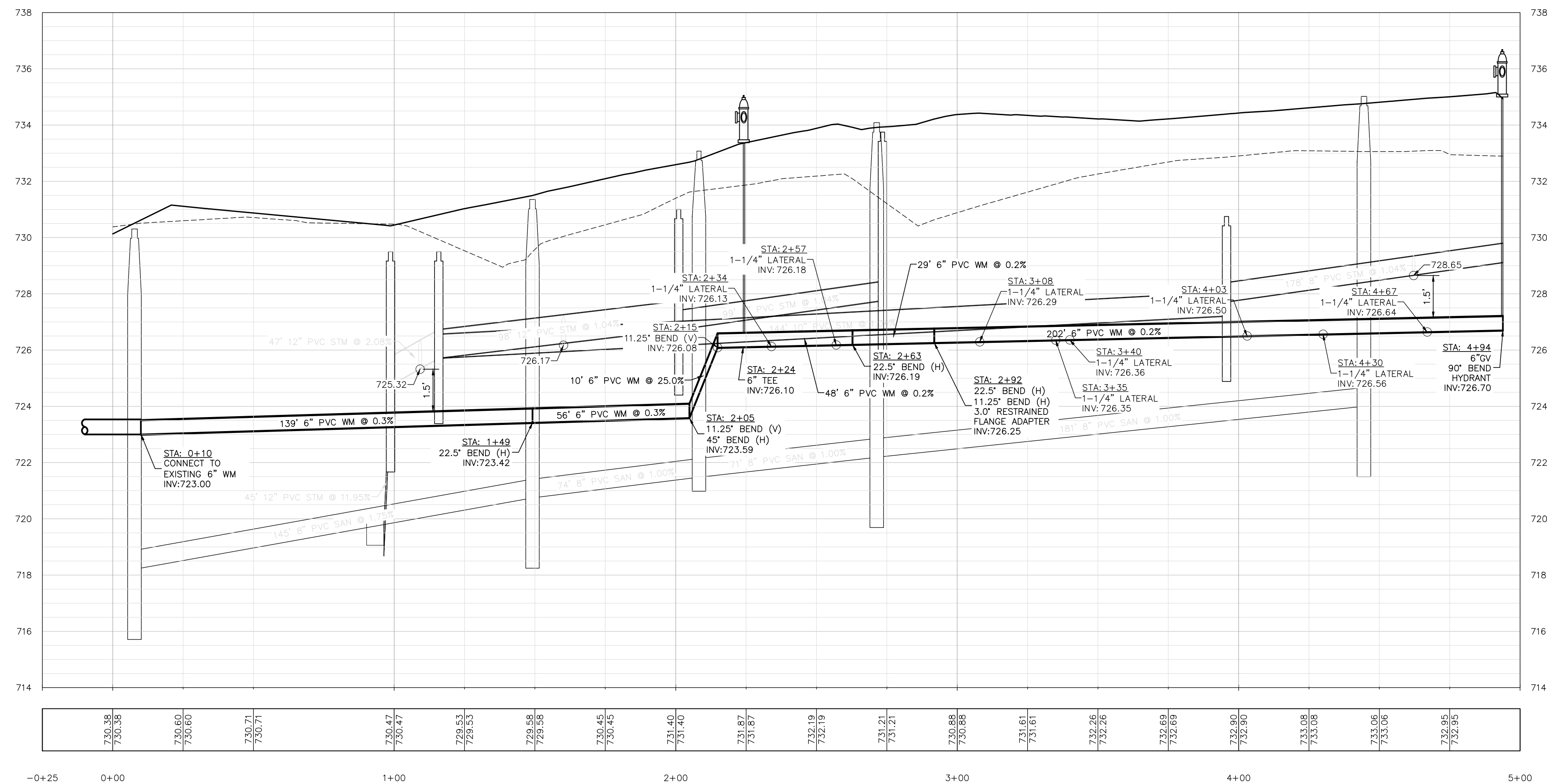
File: B-3919ENG Lot 27 090319.dwg



- WATER MAIN NOTES:**
1. SIZES 4" AND LARGER SHALL BE AWWA C900 DR25.
 2. LATERALS SHALL BE HDPE POTABLE WATER SERVICE PIPE
 3. VERIFY EXACT LATERAL LOCATIONS WITH THE OWNER AND/OR GENERAL CONTRACTOR.
 4. WATERMAIN TO BE PUBLICLY OWNED. ALL SANITARY, WATER LATERALS TO BE PRIVATELY OWNED.
 5. ALL STORM/WATER, SANITARY/WATER AND SANITARY/STORM CROSSINGS SHALL BE INSULATED



PROFILE VIEW OF Water-Proposed



DESIGNED BY
TJS

DATA FILE
B-3919.txt

DATE
10-15-19

Number	Date	Comments
-	-	-
-	-	-
-	-	-
-	-	-

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Phone: 920-434-9670 Fax: 920-434-9672

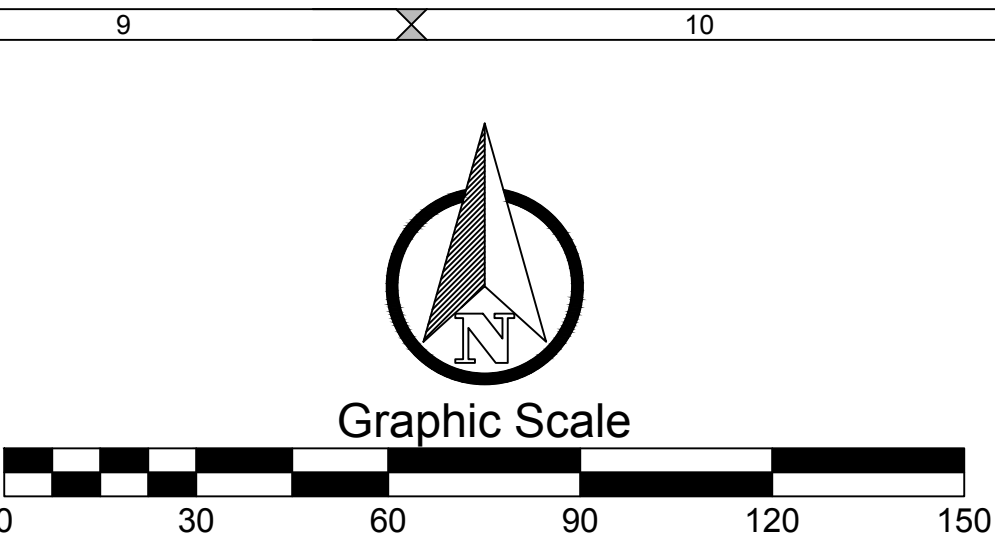
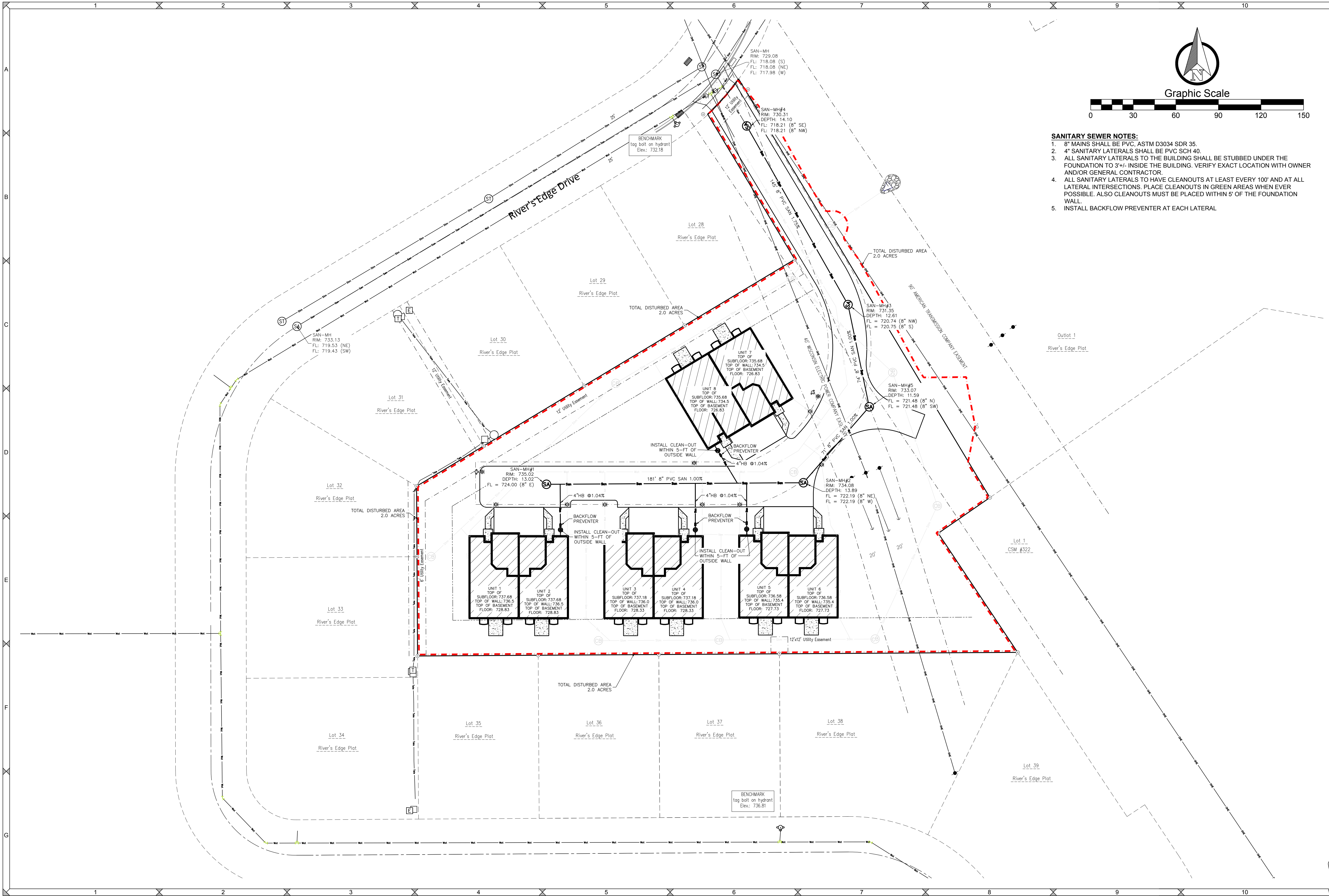
**WATER MAIN
UTILITY PLAN LOT 27**
BOSTAD BUILDERS

PROJECT NO.
B-3919

SHEET NO.
C5.1

DRAWING NO.
S-3172

File: B-3919Eng Lot 27 090319.dwg



- SANITARY SEWER NOTES:**
1. 8" MAINS SHALL BE PVC, ASTM D3034 SDR 35.
 2. 4" SANITARY LATERALS SHALL BE PVC SCH 40.
 3. ALL SANITARY LATERALS TO THE BUILDING SHALL BE STUBBED UNDER THE FOUNDATION TO 3'-/- INSIDE THE BUILDING. VERIFY EXACT LOCATION WITH OWNER AND/OR GENERAL CONTRACTOR.
 4. ALL SANITARY LATERALS TO HAVE CLEANOUTS AT LEAST EVERY 100' AND AT ALL LATERAL INTERSECTIONS. PLACE CLEANOUTS IN GREEN AREAS WHEN EVER POSSIBLE. ALSO CLEANOUTS MUST BE PLACED WITHIN 5' OF THE FOUNDATION WALL.
 5. INSTALL BACKFLOW PREVENTER AT EACH LATERAL

DESIGNED BY
TJS

DATA FILE
B-3919.dwg

DATE
10-15-19

Number	Date	Comments
1		
2		
3		
4		
5		

Mau & Associates
LAND SURVEYING & PLANNING
CIVIL & WATER RESOURCE ENGINEERING
Phone: 920-434-9670 Fax: 920-434-9672

**SANITARY SEWER
UTILITY PLAN LOT 27**
BOSTAD BUILDERS

PROJECT NO.
B-3919

SHEET NO.
C5.2

DRAWING NO.
S-3172

File: B-3919.dwg

RESPONSE ACTIONS IN THE EVENT OF A SPILL OR RELEASE

IMMEDIATELY TAKE THE FOLLOWING MEASURES TO KEEP THE SPILL FROM ENTERING SEWER OR STORM DRAINS, SPREADING OFF SITE, OR AFFECTING HUMAN HEALTH.

- STOP, CONTAIN, AND CLEAN UP CHEMICAL SPILL IF:
- THE SPILLED CHEMICAL AND ITS HAZARDOUS PROPERTIES HAVE BEEN IDENTIFIED
 - THE SPILL IS SMALL AND EASILY CONTAINED
 - RESPONDER IS AWARE OF THE CHEMICALS' HAZARDOUS PROPERTIES

IF SPILL OR RELEASE CANNOT BE CONTROLLED OR INJURIES HAVE OCCURRED DUE TO THE RELEASE THE FOLLOWING PROCEDURES SHOULD BE IMPLEMENTED:

- SUMMON HELP OR ALERT OTHERS OF THE RELEASE
- EVACUATE IMMEDIATE AREA, PROVIDE CARE TO INJURED, CALL 911
- IF POTENTIAL FOR FIRE OR EXPLOSION - CALL 911
- RESPOND DEFENSIVELY TO ANY UNCONTROLLED SPILLS
 - USE PROTECTIVE EQUIPMENT
 - ATTEMPT TO STOP SOURCE OF RELEASE (IF SAFE TO DO SO)
 - PROTECT DRAINS BY USE OF ABSORBENT, BOOMS OR DRAIN COVERS (IF SAFE TO DO SO)
- NOTIFY ONSITE EMERGENCY CONTACT(S)
- COORDINATE RESPONSE ACTIVITIES WITH LOCAL EMERGENCY PERSONNEL
- BE PREPARED TO PROVIDE MSDS INFORMATION TO EMERGENCY PERSONNEL
- NOTIFY APPROPRIATE AGENCY IF RELEASE HAS ENTERED THE ENVIRONMENT.

SPILL PREVENTION AND EMERGENCY RESPONSE PLAN:

EMERGENCY CONTACTS
Bostad Builders
920-406-9292

EMERGENCY RESPONSE CONTACTS
FIRE/PARAMEDICS/POLICE 911
FIRE NON-EMERGENCY LINE (920) 788-7500
COUNTY HEALTH DEPARTMENT(920) 832-5100
DNR SPILL HOTLINE 1-800-943-0003

LOCAL EMERGENCY MEDICAL FACILITY
ST. ELIZABETH HOSPITAL
1506 S. ONEIDA STREET
APPLETON, WI 54915
(920) 738-2000

SPILL PREVENTION
HAZARDOUS SUBSTANCE MANAGEMENT:
ALL HAZARDOUS SUBSTANCES, INCLUDING CHEMICAL WASTES, ARE TO BE MANAGED IN A WAY THAT PREVENTS RELEASE.

SITE STATISTICS

BEFORE CONSTRUCTION
SITE AREA - 1.967 Acres
PERVIOUS 1.967 Acres (100%)

AFTER CONSTRUCTION
SITE AREA - 1.967 Acres
PAVEMENT 0.436 Acres (22.2%)
BUILDINGS 0.385 Acres (19.6%)
PERVIOUS 1.146 Acres (58.2%)

CONSTRUCTION SITE EROSION CONTROL

THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING AND MAINTAINING EROSION AND SEDIMENT CONTROL MEASURES. ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE IN ACCORDANCE WITH THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS AND IF NO STANDARD EXISTS THE WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK (CURRENT EDITION) SHALL BE REFERENCED. EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE IN PLACE PRIOR TO DISTURBING THE SITE. CONTRACTORS SHALL MINIMIZE THE DURATION AND SIZE OF DISTURBED AREAS TO THE MAXIMUM EXTENT PRACTICABLE. EROSION AND SEDIMENT CONTROL PRACTICES PROPOSED FOR THIS PROJECT ARE DESCRIBED AS FOLLOWS:

SEDIMENT TRACKING FROM CONSTRUCTION SITE:

- STONE TRACKING PAD(S) - TECHNICAL STANDARD 1057
STONE TRACKING PADS WILL BE INSTALLED AT ENTRANCES SHOWN ON THE SITE. TRACKING PADS SHALL BE IN PLACE PRIOR TO LAND DISTURBING ACTIVITIES.
WASH WATER FROM VEHICLE AND WHEEL WASHING SHALL BE TREATED BEFORE ENTERING WATERS OF THE STATE.
- STREET SWEEPING/CLEANING
SEDIMENT TRACKED FROM THE CONSTRUCTION SITE SHALL BE CLEANED UP AT THE END OF EACH WORK DAY UNLESS THE SEDIMENT PRESENTS A HAZARD. SEDIMENT PRESENTING A HAZARD MUST BE CLEANED UP IMMEDIATELY.

SEDIMENT CARRIED OFF-SITE BY OVERLAND FLOW OR RUNOFF:

- SILT FENCE - TECHNICAL STANDARD 1056
SILT FENCE WILL BE INSTALLED DOWN-SLOPE OF ALL DISTURBED AREAS OF THE SITE. THE FENCE SHALL BE INSTALLED ALONG THE CONTOURS AND BE IN-PLACE PRIOR TO LAND DISTURBING ACTIVITIES.
- SEEDING - TECHNICAL STANDARD 1059; MULCHING - TECHNICAL STANDARD 1058
DISTURBED AREAS OF THE SITE SHALL BE SEEDED AND MULCHED AS SOON AS THEY ARE BROUGHT TO FINISHED GRADE. IN ADDITION, ANY STOCK PILES IN PLACE FOR 7 DAYS OR MORE SHALL BE SEEDED AND MULCHED.
- NON-CHANNEL EROSION MAT - TECHNICAL STANDARD 1052
EROSION CONTROL MAT SHALL BE PLACED AS SHOWN ON THE PLANS, AND/OR AS DETERMINED IN THE FIELD, TO PROTECT THE DISTURBED SLOPES FROM EROSION. NON-CHANNEL EROSION MAT SHALL BE INSTALLED AS SOON AS THE SLOPE HAS BEEN BROUGHT TO FINISHED GRADE.
- CONSTRUCTION SITE DIVERSION - TECHNICAL STANDARD 1066
WHERE POSSIBLE, THE SITE WILL BE GRADED SUCH THE RUNOFF FROM UNDISTURBED AREAS IS ROUTED AROUND DISTURBED AREAS OF THE SITE.

SEDIMENT CARRIED OFF-SITE BY DEWATERING OPERATIONS:

- DEWATERING - TECHNICAL STANDARD 1061
DEWATERING IS NOT ANTICIPATED FOR THIS PROJECT. IF IT IS REQUIRED, DEWATERING SHALL BE IN ACCORDANCE WITH THE DEWATERING TECHNICAL STANDARD. ANY NECESSARY PERMITS SHALL BE OBTAINED PRIOR TO DEWATERING OPERATIONS TAKE PLACE.

SEDIMENT ENTERING STORM DRAIN INLETS:

- STORM DRAIN INLET PROTECTION - TECHNICAL STANDARD 1060
ALL INLETS, PROPOSED AND EXISTING, ACCEPTING RUNOFF FROM DISTURBED AREAS OF THE SITE SHALL HAVE INLET PROTECTION INSTALLED PRIOR TO LAND DISTURBING ACTIVITY WITHIN THE AREA DISCHARGING TO THE INLET.

SEDIMENT BEING CARRIED OFF-SITE BY WIND:

- DUST CONTROL - TECHNICAL STANDARD 1068
WHEN REQUIRED, DUST CONTROL MEASURES SHALL BE EMPLOYED TO PREVENT DUST FROM BLOWING OFF-SITE.

CONCRETE WASHOUT

- CONCRETE WASHOUT SHALL BE COLLECTED AND RETAINED, BOTH WATER AND CONCRETE, IN LEAK PROOF CONTAINERS. WASHOUT CAN BE RECYCLED OR REUSED. SEE <http://water.epa.gov/polwaste/npdes/swbmp/upload/concretewashout.pdf> FOR DETAILS.

GENERAL NOTES:

1. ALL CLEARING, GRADING, GRAVELING, PAVING, AND RESTORATION SHALL BE DONE IN ACCORDANCE WITH THE WISCONSIN DOT STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, CURRENT EDITION.

2. A COPY OF THE EROSION CONTROL PLAN SHALL BE KEPT ON SITE AT ALL TIMES.

3. EROSION CONTROL METHODS SHALL BE IMPLEMENTED, AS DIRECTED BY THE ENGINEER, PRIOR TO AND DURING CONSTRUCTION, TO CONTROL WATER POLLUTION, EROSION, AND SILTATION. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE WIDNR TECHNICAL STANDARDS.

4. CONTRACTOR IS RESPONSIBLE FOR CONTACTING DIGGERS HOTLINE FOR THE LOCATION OF THE UTILITIES.

5. CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND DISPOSAL OF ALL STUMPS.

6. EXCESS TOPSOIL SHALL BE STOCKPILED ON THE SITE WITH THE PROPER EROSION CONTROL AT A LOCATION ACCEPTABLE TO THE OWNER.

7. CONTRACTOR SHALL DISPOSE OF ALL WASTE AND EXCESS MATERIAL AT AN APPROVED LOCATION.

8. CONTRACTOR SHALL PROTECT ALL PROPERTY IRONS. A LICENSED LAND SURVEYOR, AT THE CONTRACTORS EXPENSE, SHALL REPLACE ANY PROPERTY IRONS REMOVED DURING CONSTRUCTION.

INSPECTION AND MAINTENANCE

THE CONTRACTOR IS RESPONSIBLE FOR INSPECTION AND MAINTENANCE OF EROSION AND SEDIMENT CONTROLS UNTIL THE CONSTRUCTION SITE IS PERMANENTLY STABILIZED WITH A DENSE GRASS COVER. THE CONTRACTOR SHALL INSPECT EROSION AND SEDIMENT CONTROLS WEEKLY AND WITHIN 24 HOURS AFTER A RAINFALL EVENT OF 0.5 INCHES OR GREATER. THE CONTRACTOR SHALL INSPECT EROSION AND SEDIMENT CONTROLS FOR STRUCTURAL DAMAGE, SEDIMENT ACCUMULATION, OR ANY OTHER UNDESIRABLE CONDITION. THE CONTRACTOR SHALL REPAIR DAMAGED STRUCTURES PRIOR TO THE END OF EACH WORKING DAY. SEDIMENT SHALL BE REMOVED FROM THE STRUCTURE WHEN THE DEPTH OF SEDIMENT HAS ACCUMULATED TO ONE HALF THE HEIGHT OF THE DEVICE OR AS REQUIRED BY THE APPLICABLE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARD (CURRENT EDITION).

THE CONTRACTOR SHALL SUMMARIZE WEEKLY INSPECTION AND MAINTENANCE ACTIVITIES ON A WEEKLY INSPECTION REPORT THAT IS AVAILABLE THROUGH THE WDNR.

THE WEEKLY INSPECTION REPORT SHALL INCLUDE THE FOLLOWING MINIMUM INFORMATION:

NAME OF INDIVIDUAL PERFORMING INSPECTION;

DATE, TIME, AND PLACE OF INSPECTION;

A DESCRIPTION OF THE CONSTRUCTION PHASE;

A DESCRIPTION OF EROSION AND SEDIMENT CONTROL INSTALLATIONS;

A DESCRIPTION OF EROSION AND SEDIMENT CONTROL MAINTENANCE ACTIVITIES;

AND AN ASSESSMENT OF EROSION AND SEDIMENT CONTROL CONDITIONS.

THE CONTRACTOR SHALL PROMPTLY FURNISH THE ORIGINAL WEEKLY INSPECTION REPORTS TO THE OWNER, OWNER'S REPRESENTATIVE, OR WISCONSIN DEPARTMENT OF NATURAL RESOURCES WHEN REQUESTED. THE CONTRACTOR SHALL KEEP A COPY OF THE APPROVED EROSION & SEDIMENT CONTROL PLAN, PERMITS, AND WEEKLY INSPECTION REPORTS ON-SITE AT ALL TIMES.

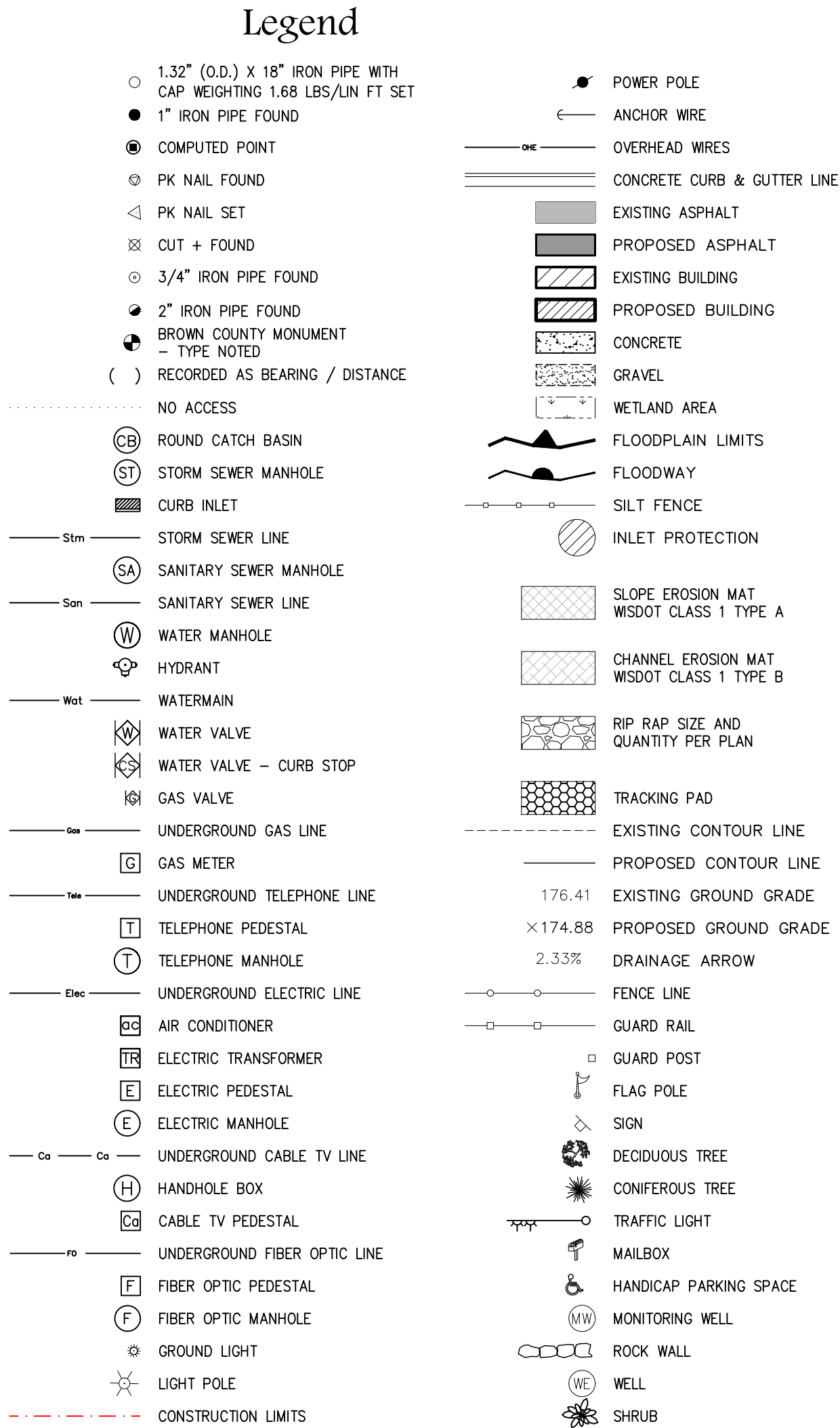
ALL WASTE FROM THE CONSTRUCTION SITE SHALL BE PROPERLY DISPOSED OF AND NOT BE ALLOWED TO ENTER THE STORM SEWER SYSTEM, DRAINAGE SYSTEM, OR OTHER ENVIRONMENTALLY SENSITIVE AREAS LOCATED WITHIN THE CONSTRUCTION SITE, INCLUDING GARNERS CREEK.

SEQUENCE OF CONSTRUCTION

- NOVEMBER 2019
- INSTALL TRACKOUT PROTECTION AND SILT FENCE AS SOON AS PRACTICABLE. PERFORM STREET SWEEPING AS NEEDED.
 - CONTACT THE VILLAGE OF KIMBERLY TO NOTIFY THEM THAT SITE GRADING IS TO BEGIN AND INITIAL EROSION CONTROLS ARE INSTALLED.
 - STRIP AND STOCKPILE TOPSOIL.
 - ROUGH GRADING OF PRIVATE DRIVE
 - INSTALL SANITARY SEWER

- APRIL 2020
- INSTALL WATER MAIN
 - SALVAGE SUITABLE MATERIAL FOR FILL MATERIAL. DISPOSE OF NON-SUITABLE OR EXCESS SOILS AT A PERMITTED OFF-SITE LOCATION.
 - INSTALL STORM SEWER
 - PERFORM STREET SWEEPING AND TEMPORARY MULCHING/SEEDING AS NEEDED AND REQUIRED.
 - INSTALL FOUNDATIONS
 - COMPLETE FINE GRADING OF DRIVEWAY AND PAVE.
 - COMPLETE FINE GRADING OF LANDSCAPING. PERMANENTLY STABILIZE EACH AREA OF THE CONSTRUCTION SITE WITH TOPSOIL. SEED, FERTILIZE, AND MULCH AS SOON AS PRACTICABLE AFTER FINAL GRADING.

- JUNE 2020
- REMOVE AND DISPOSE OF EROSION AND SEDIMENT CONTROL MEASURES WITHIN 30 DAYS OF FINAL SITE STABILIZATION (I.E. SILT FENCE). VEGETATION SHALL ACHIEVE 70% GROWTH TO BE CONSIDERED STABILIZED.



DESIGNED BY
TJS

DATA FILE
B-3919.txt

DATE
10-15-19

Comments	Date	Number

Mau & Associates
LAND SURVEYING & PLANNING
CIVIL & WATER RESOURCE ENGINEERING
Phone: 920-434-9670 Fax: 920-434-9672

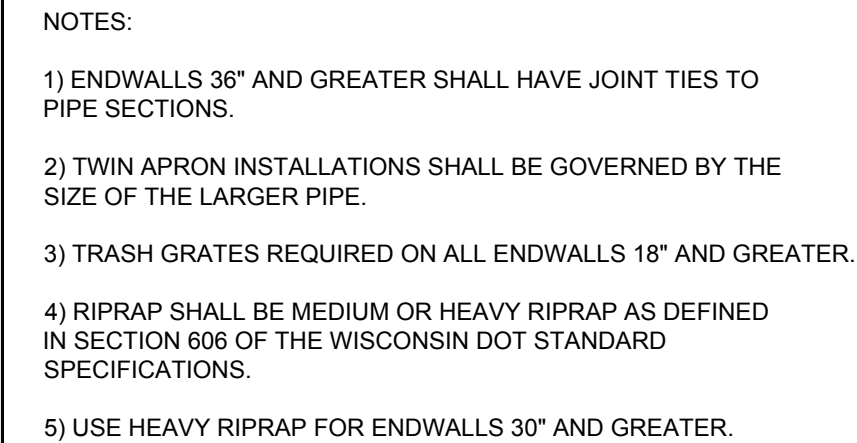
NOTES
BOSTAD BUILDERS

PROJECT NO.
B-3919

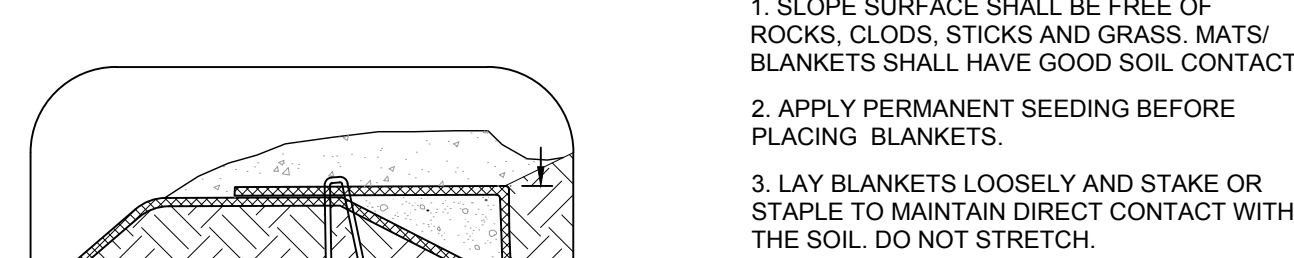
SHEET NO.
C6.0

DRAWING NO.
S-3172

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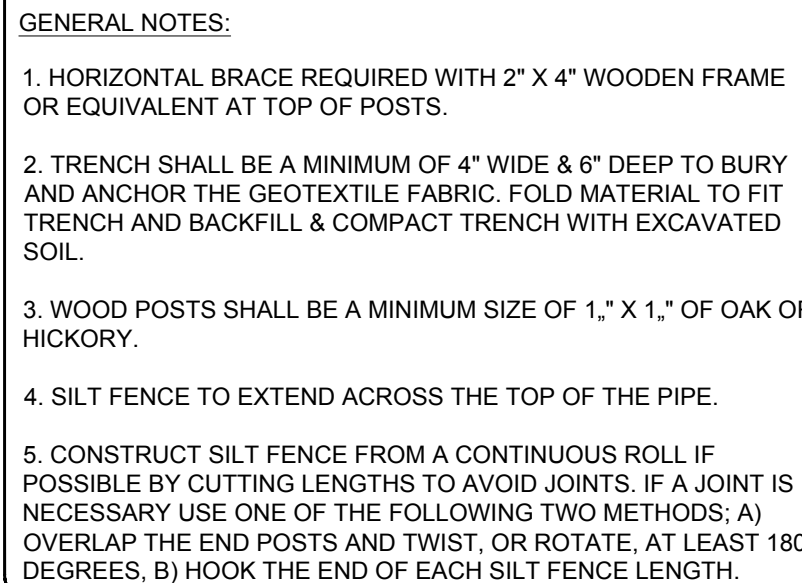


RIPRAP APRON
N.T.S.

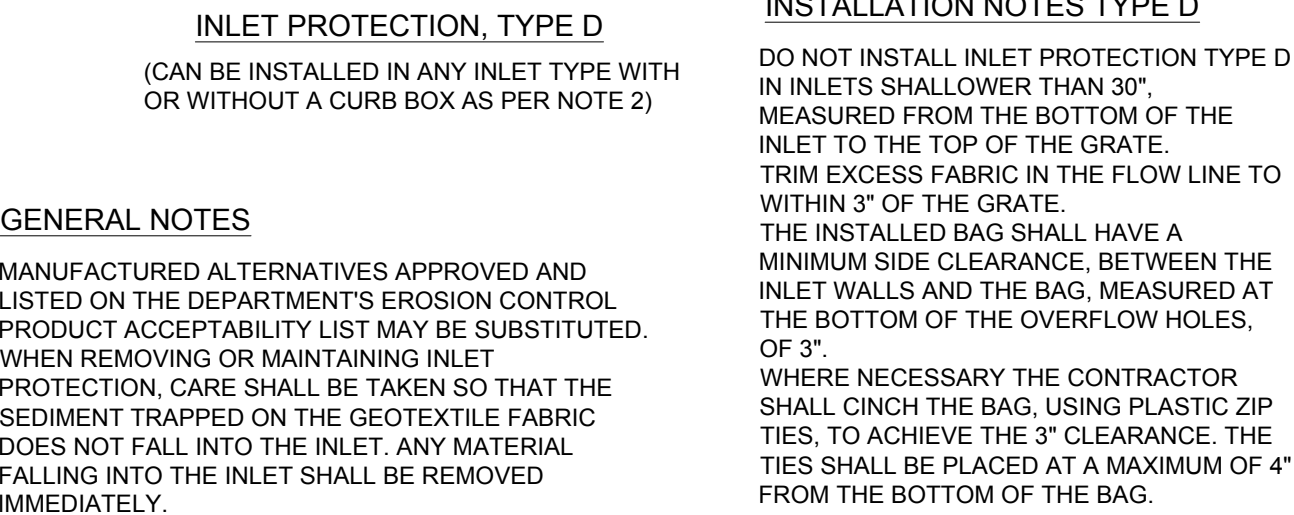


TYPICAL SLOPE SOIL STABLIZATION

EROSION CONTROL MAT
FOR SLOPE INSTALLATION



SILT FENCE
N.I.S.



INLET PROTECTION, TYPE D

INSTALLATION NOTES TYPE D

GENERAL NOTES

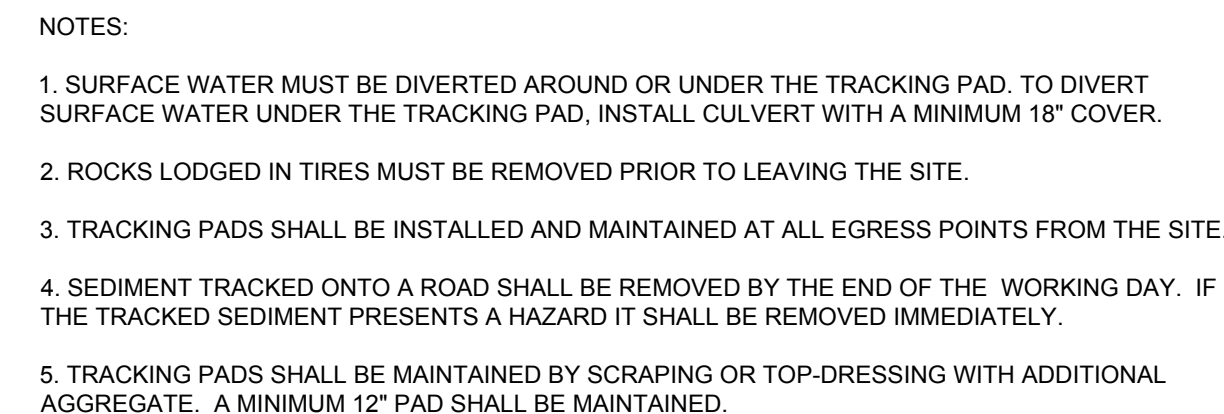
MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE DEPARTMENT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED WHEN REMOVING OR MAINTAINING INLET PROTECTION. CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.

1.) FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.

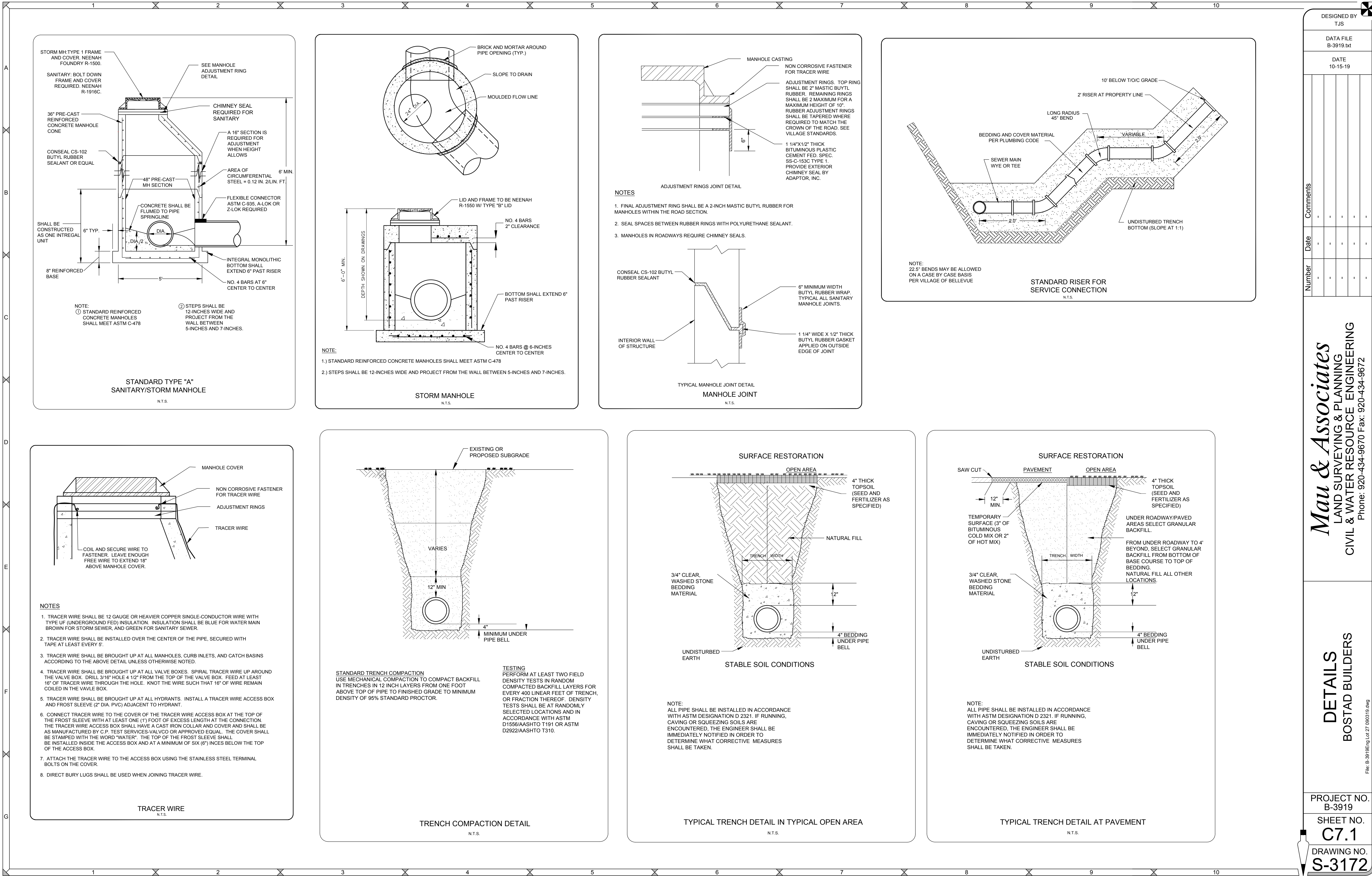
2.) FOR INLET PROTECTION, TYPE C (WITH CURB BOX) AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.

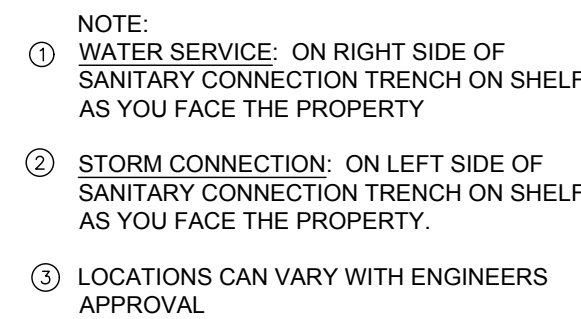
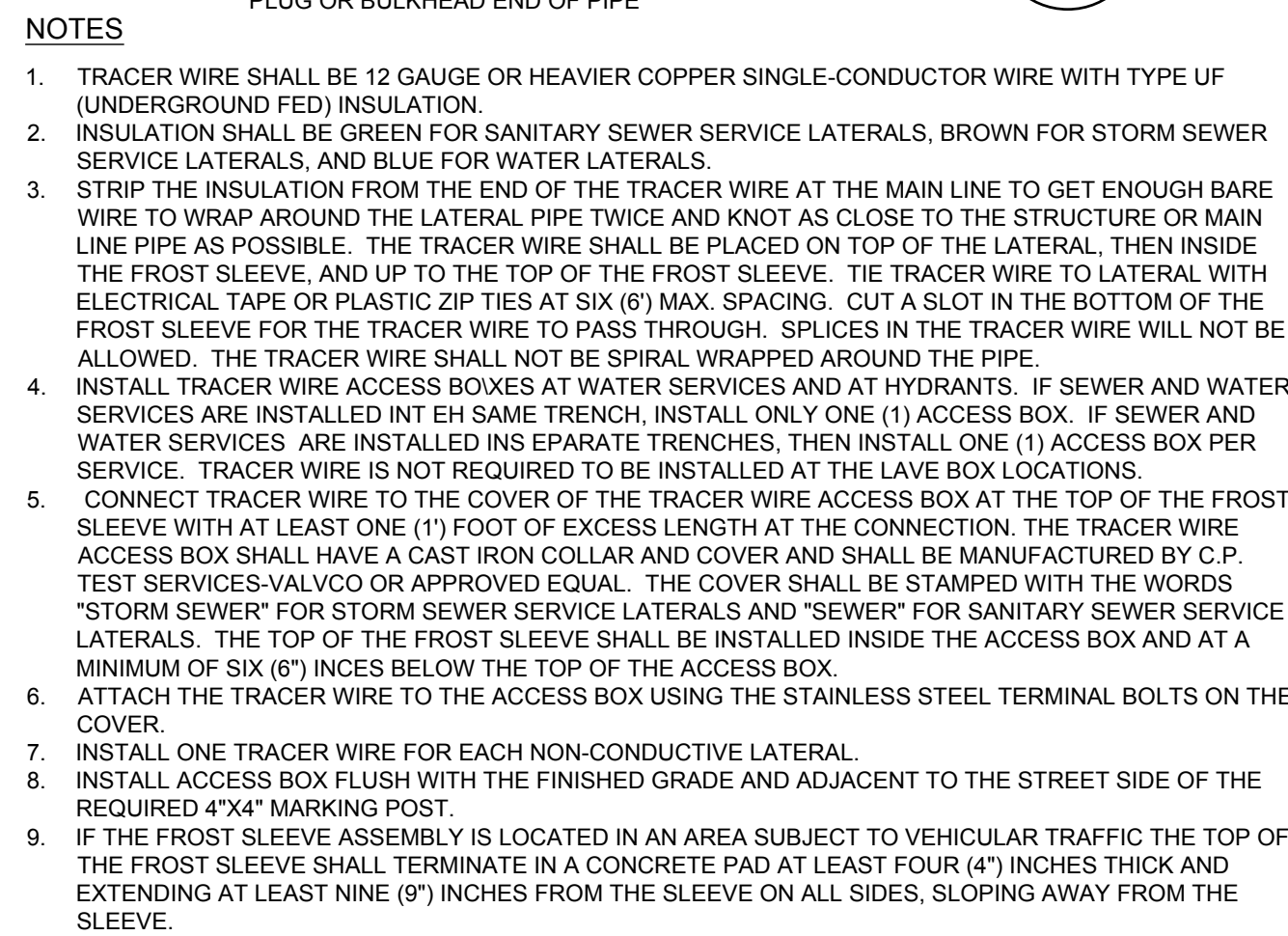
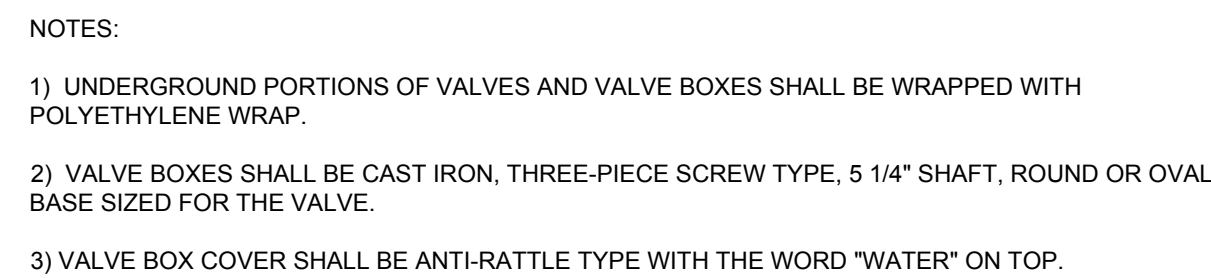
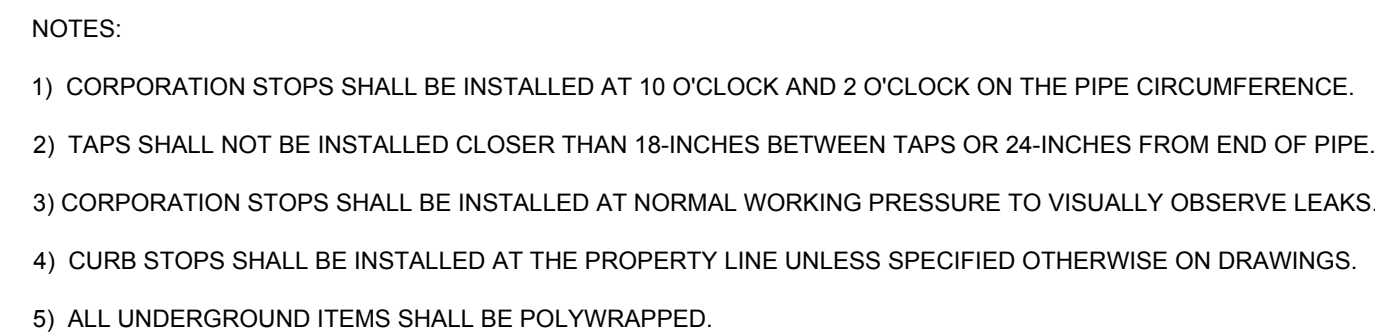
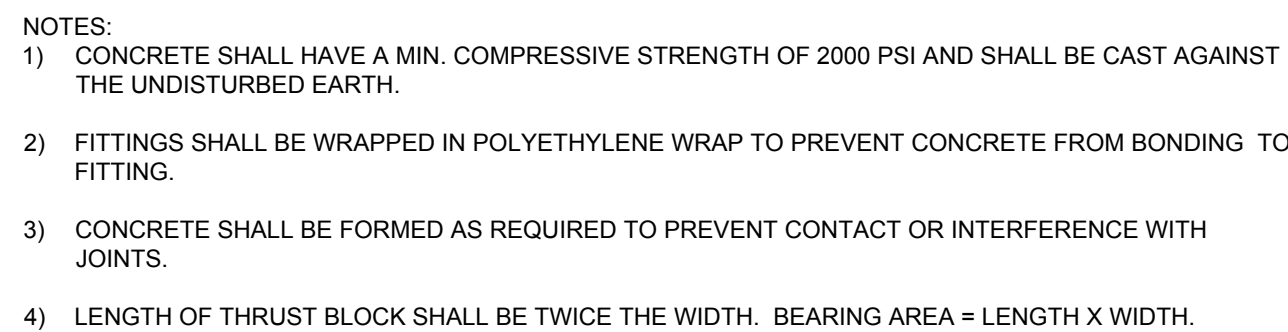
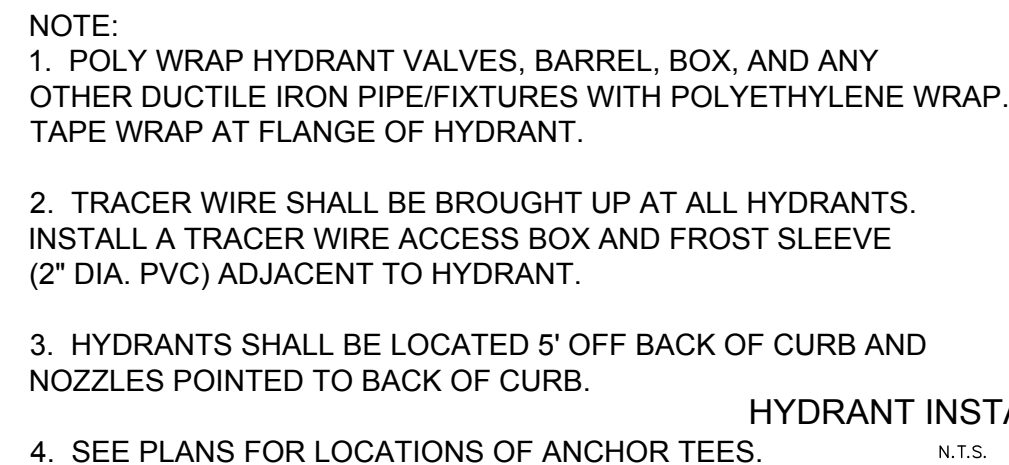
3.) FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2X4.

INLET PROTECTION TYPE D
N.T.S.

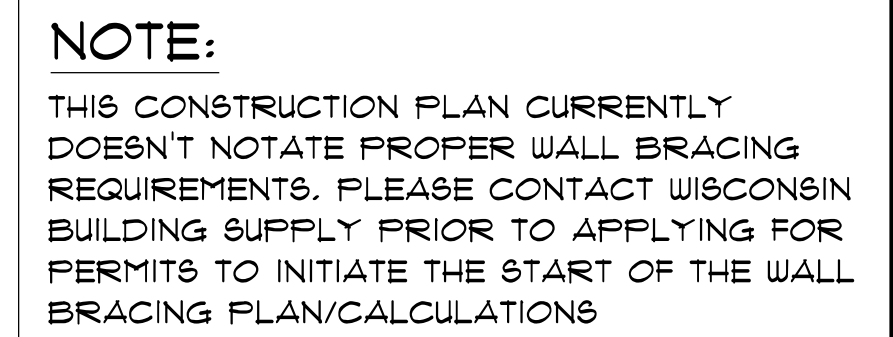


STONE TRACKING PAD
N.T.S.





JOB NAME: LOT 71 DUFFLEX JOB	DATE: 23 June 2016	REVISIONS:
		28 June 2016
	DEWAIN B.Y. Chris Schuetta	
	PLAN #	07 May 2019
	BASED OFF:	(N/A)
	ISSUED:	
	19-193-D	



IMPORTANT NOTES:

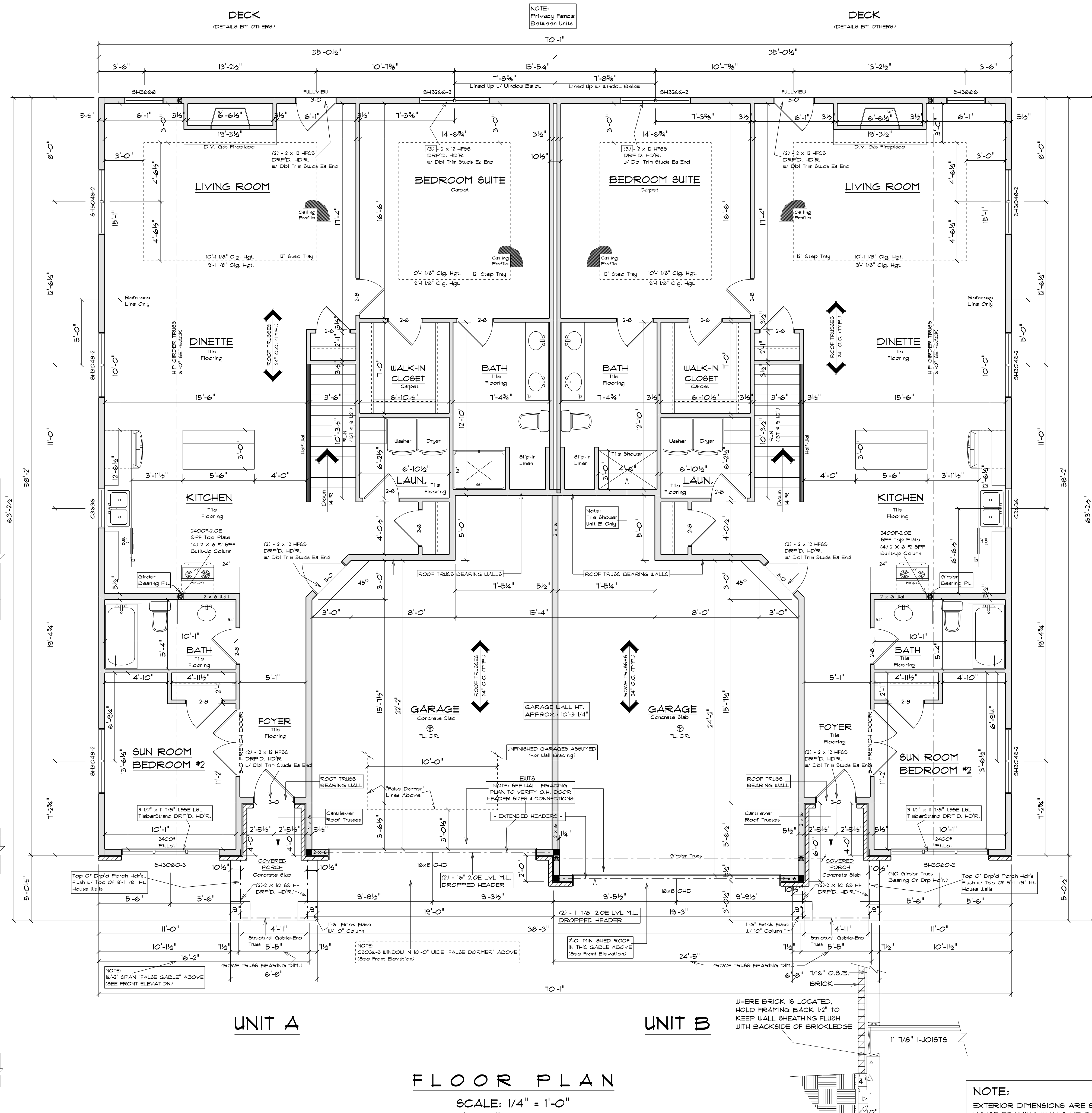
- IT IS AGREED THAT ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING AND CHECKING THESE PLANS FOR ACCURACY, THE GENERAL CONTRACTOR/OWNER MUST REVIEW ALL DIMENSIONS, DETAILS AND NOTES BEFORE BEGINNING ANY CONSTRUCTION AND IS HEREBY HELD RESPONSIBLE FOR ANY DISCOVERED DISCREPANCIES.
- IT IS UNDERSTOOD THAT THE WISCONSIN SAFETY AND PROFESSIONAL SERVICES CODE AND LAYOUT DRAWINGS FOR FLOOR AND ROOF TRUSSES SHALL TAKE FINAL PRECEDENCE OVER THESE ARCHITECTURAL PLANS.

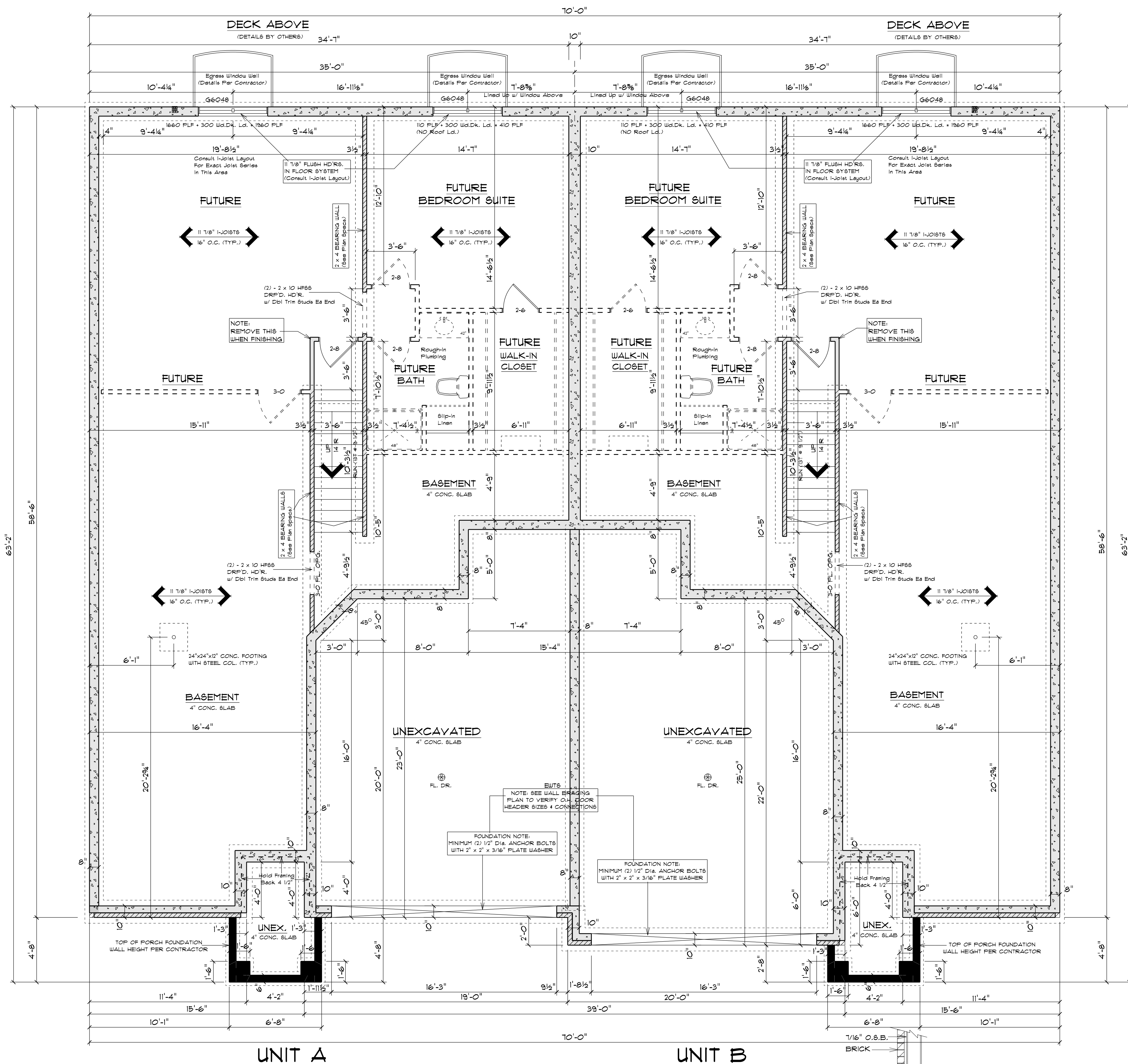
MAILING ADDRESS:
P.O. BOX 10007
GREEN BAY, WI 54307-0007

OFFICE:
1990 LARSEN ROAD
GREEN BAY, WI 54303
PHONE (920)496-5080
FAX (920)494-9570

CON:
1745
GREEN
PHONE
FAX







FOUNDATION PLAN

SCALE: 1/4" = 1'-0"
8'-0" CONC. WALLS

NOTE:
EXTERIOR DIMENSIONS ARE TO FACE OF FOUNDATION WALLS.

BOX SILL DETAIL
WITH BRICK EXTERIOR
SCALE: 1/2" = 1'-0"

NOTE:
EXTERIOR DIMENSIONS ARE SHOWN TO REFLECT HOUSE FRAMING WALLS HELD OUT 1/2" FOR EXTERIOR WALL SHEATHING TO FLUSH OUT WITH 1" FOUNDATION FOAM. IF FOUNDATION FOAM IS TO BE OTHER THAN 1", FRAMING DIMENSIONS ARE TO BE FIELD ADJUSTED AND MAINTAIN ALL CODE COMPLIANCE ACCORDINGLY.

BOX SILL DETAIL
SCALE: 1/2" = 1'-0"

SQUARE FOOTAGE:

UNIT A FIRST FLOOR:	1561
UNIT A FINISHED BASEMENT:	n/a
UNIT A GARAGE:	458
UNIT A FRONT COVERED PORCH:	54
UNIT A REAR WOOD DECK PATIO:	T.B.D.
UNIT B FIRST FLOOR:	1561
UNIT B FINISHED BASEMENT:	n/a
UNIT B GARAGE:	500
UNIT B FRONT COVERED PORCH:	52
UNIT B REAR WOOD DECK PATIO:	T.B.D.

PLAN SPECIFICATIONS:

• THE CONDITIONS LISTED BELOW ARE STANDARD FOR THIS PLAN ONLY - EXCEPTIONS ARE NOTED ON THE PLAN ITSELF

WALL INFORMATION:

HOUSE FOUNDATION:
8" x 8" FOAM CONCRETE
GARAGE FOUNDATION:
6" x 4" FOAM CONCRETE
PORCH/PATIO FOUNDATION:
6" FOAM CONCRETE MIN. 4'-0" TALL

HOUSE EXTERIOR:

FIRST FLOOR: 2 x 6 x 9'-1 1/8" STUDS @ 16" O.C.
HOUSE INTERIOR:
FIRST FLOOR: 2 x 4 x 9'-1 1/8" STUDS @ 16" O.C.
GARAGE: 2 x 6 x 10'-3 1/4" STUDS @ 16" O.C.

- TALL WALLS ARE EXTERIOR WALLS WITH STUDS TALLER THAN 10'-0" AND NEED TO BE DESIGNED BY ENGINEERED WOOD PRODUCTS SUPPLIER
- TAPERED WALLS ARE TO BE FRAMED TO UNDERSIDE OF SCISSORS ROOF TRUSSES

STAIR INFORMATION:

BASEMENT TO FIRST FLOOR:
14 RISERS @ 7 1/8", 13 TREADS @ 9 1/2"
BASEMENT TO GARAGE:
n/a

FLOOR SYSTEM(S):

BASEMENT:
4" REINFORCED CONCRETE SLAB

FIRST FLOOR:
11 1/8" I-JOISTS @ 16" O.C.

STD. LOADING (PER 60. FT.):
40' LL, 10' DL

ADDITIONAL LOADING (PER 60. FT.):
10' DL FOR TILE FLOOR

25' DL FOR GRANITE

DEFLECTION: LL4/480 DL4/740

DURATION OF LOAD: 100%

- FRAMER TO REFERENCE JOIST/TRUSS LAYOUT PLANS TO VERIFY EXACT SIZE AND LOCATION OF ALL FLUSH HEADERS AND BEAMS IN FLOOR SYSTEM

ROOF SYSTEM:

ENGINEERED WOOD TRUSSES @ 24" O.C.

DESIGNED FOR OUTAGAME COUNTY - ZONE 2

STD. LOADING (PER 60. FT.):
30' TALL, 10' TALL, 10' BCDL

DEFLECTION: LL4/480 DL4/740

DURATION OF LOAD: 100%

- FRAMER TO REFERENCE TRUSS LAYOUT PLANS TO VERIFY EXACT LOCATIONS OF GIRDERS TRUSSES AND THEIR RESPECTIVE BEARING REQUIREMENTS & UPLIFT ANCHORING REQUIREMENTS

HEADERS:

- STD. HEADERS: (2) 2 x 12 HEM-FIR SELECT STRUCTURAL

- TOP OF WINDOW R.O.S.

- FIRST FLOOR @ 6'-0" 1/8" ABOVE SUBFLOOR

- MINIMUM OF (2) TRIM STUDS AT EACH END FOR ALL OPENINGS 6'-0" AND LARGER

WINDOWS:

- ALLIANCE VINYL SINGLE-HUNG

- MANUFACTURER TO PROVIDE SUPPLIER WITH EXACT R.O.S. SIZE AND DETAILS. SUPPLIER TO VERIFY THAT ALL CODE REQUIREMENTS ARE MET

GENERAL INFORMATION:

- THE FOLLOWING ITEMS ARE TO BE LOCATED IN THE FOUNDATION BY THE GENERAL CONTRACTOR:

BASEMENT WINDOWS FLOOR DRAINS

ELECTRIC SERVICES WATER HEATER

SUMP PUMP FURNACE

- BUILDER TO PROVIDE HEADERS AT CONCRETE OPENINGS IF NOT NOTED ON THE FOUNDATION PLAN

- FOUR-REINFORCED CONCRETE FOOTINGS TO BEAR ON UNDISTURBED SOIL BELOW THE FROST LINE

- STEEL COLUMNS TO SUPPORT 2,000' IF NEEDED, MUST BE FOLLOWED

- INTERIOR BEARING WALLS TO SIT ON CONTINUOUS CONCRETE FOOTINGS, STUDS @ 16" O.C. WITH BLOCKING OR LATERAL BRACING

- CONCRETE CONTRACTOR AND BUILDER ARE RESPONSIBLE TO DETERMINE SITE SOIL CONDITIONS AND FOLLOW STANDARDS PER 808.302.24. THE MOST RESTRICTIVE STANDARDS OF 808.302.15 - 808.302.18, ACI 308-14, AND ACI 308-14 FOR ALL FOOTING & WALL REINFORCEMENT, IF NEEDED, MUST BE FOLLOWED

- ASSUMED SOIL CAPACITY IS 3,000 PSF, FTG. SIZES MUST BE ADJUSTED FOR VARYING SITE DETERMINED SOIL BEARING CONDITIONS

- ALL LUMBER IN PERMANENT CONTACT W/ CONCRETE MUST BE PRESURE TREATED LUMBER AS PER 808.302.10

- DUE TO UNKNOWN GRADE CONDITIONS, ACTUAL STEPS IN FOUNDATION WALLS AND LOCATION OF WINDOW WELLS TO BE DETERMINED ON SITE BY GENERAL CONTRACTOR

- FRAMER IS RESPONSIBLE FOR TRANSFERRING POINT LOADS FROM ABOVE, THROUGH THE FLOOR SYSTEMS AND WALLS, W/ SOLID BLOCKING DOWN TO CONCRETE FOUNDATION WALLS BELOW

- PLAN IS DRAWN ACCORDINGLY FOR 2 3/4" CASING

- ALL DIMENSIONS SHOWN ARE FROM STUD TO STUD

- BUILDER TO PROVIDE ATTIC SCUTTLE AND LOCATION

- FIRE SEPARATION MUST BE PROVIDED BETWEEN HOUSE AND GARAGE (SEE CODE FOR DETAILS)

- ALL CABINET LAYOUTS ARE CONCEPTUAL. CONSULT CABINET DESIGNER/ PROVIDER FOR EXACT SIZES AND LOCATIONS OF CABINETS, APPLIANCES, AND WINDOWS

IMPORTANT NOTE:

• IT IS AGREED THAT ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING AND CHECKING THESE PLANS FOR ACCURACY, THE GENERAL CONTRACTOR/OWNER MUST REVIEW ALL DIMENSIONS, DETAILS AND NOTES BEFORE BEGINNING ANY CONSTRUCTION, AND HEREBY HOLD RESPONSIBLE FOR ANY DISCREPANCIES.
• IT IS UNDERSTOOD THAT THE WISCONSIN SAFETY AND PROFESSIONAL SERVICES CODE AND LAYOUT DRAWINGS FOR FLOOR AND ROOF TRUSSES SHALL TAKE FINAL PRECEDENCE OVER THESE ARCHITECTURAL PLANS.

MAILING ADDRESS:
P.O. BOX 10001
GREEN BAY, WI 54307-10001

COMPONENTS:
10' GREEN BAY
GREEN BAY, WI 54303
GREEN BAY, WI 54303
PHONE (920)436-5080
FAX (920)436-5084

Wisconsin
BUILDING SUPPLY



October 22, 2025

Village of Kimberly
Attn: Jennifer Weyenberg, Clerk-Treasurer
Email: jweyenberg@vokimberlywi.gov

Re: Village of Kimberly
Municipal Salt Storage Building
Change Order #4
McM. No. K0001-09-24-00716.02

Dear Jennifer:

Enclosed herewith is Change Order #4 for the above referenced project. This change is an increase in the Contract in the amount of \$39,616.50. The current Contract Price is \$270,332.95.

Please review and sign in the space provided. Return signed copy to our office, and we will distribute accordingly.

Should you have any questions, please contact our office at your convenience.

Respectfully,

McMahon Associates, Inc.

Brad Werner /car

Brad D. Werner, P.E.
Vice President / Sr Municipal Engineer

BDW:car

Enclosure: Change Order #4

CHANGE ORDER

BLUE SKY CONTRACTORS, LLC
2300 W. Everett Street
Appleton, WI 54914

Contract No. K0001-09-24-00716.02
Project File No. K0001-09-24-00716.02
Change Order No. Four (4)
Issue Date: October 20, 2025
Project: Village of Kimberly
Municipal Salt Storage Building

You Are Directed To Make The Changes Noted Below In The Subject Contract:

	(Item Description)	
4.1	Concrete Fill in Existing Pipes	+ \$1,868.55
4.2	OHD Flush Out	+ \$1,468.85
4.3	Final Quantities – See Spreadsheet	+ \$36,279.10
	TOTAL	+ \$39,616.50

The Changes Result In The Following Adjustments:

	CONTRACT PRICE	TIME
Prior To This Change Order	<u>\$230,716.45</u>	<u>-</u> days
Adjustments Per This Change Order	<u>+ \$39,616.50</u>	<u>0</u> days
Current Contract Status	<u>\$270,332.95</u>	<u>-</u> days

Recommended:

McMAHON ASSOCIATES, INC.
Neenah, Wisconsin

Accepted:

BLUE SKY CONTRACTORS, LLC
Appleton, Wisconsin

Authorized:

VILLAGE OF KIMBERLY
Wisconsin

By:

Date: 10/21/25

By:

Date: 10/22/25

By:

Date:

- ☐ OWNER Copy
☐ CONTRACTOR Copy
☐ ENGINEER Copy (Contract Copy)
☐ FILE COPY

Four (4) Copies Should Accompany This Change Order
Execute And Return To ENGINEER For Distribution

FINAL QUANTITIES

VILLAGE OF KIMBERLY
MUNICIPAL SALT STORAGE BUILDING
 McM. No. K0001-09-24-00716

Engineer: McMAHON ASSOCIATES, INC.
 1445 McMahon Drive
 PO Box 1025
 Neenah, WI 54956 / 54957-1025

BLUE SKY CONTRACTORS, LLC
 2300 W. Everett Street
 Appleton, WI 54914

Item	Description	Qty	Unit
1.	Site Mobilization and Bonding	1	L.S.
2.	Footings and Foundation Walls Complete	1	L.S.
3.	Salt Storage Building Asphalt Floor with Base Course Complete	1	L.S.
4.	Salt Storage Building Complete	1	L.S.
5.	Excavation Below Subgrade with Structural Backfill	100	C.Y.
6.	Shingle Roof Complete with 30 Year Architectural Asphalt Shingle Over Synthetic Underlayment	1	L.S.
7.	6 Inch Microfiber Concrete Pavement	815	S.F.
8.	Turf Restoration	1	L.S.
9.	Salvage and Reinstall Fencing	1	L.S.
10.	New 7 Foot High Vinyl Coated Fence with Top Rail	30	L.F.
11.	New Vinyl Coated Gate Post with 8 Inch Diameter Foundation (5' Deep)	1	Ea.

TOTAL (Items 1. through 11., Inclusive)

CHANGE ORDERS

Item	Description	Qty	Unit
CO1.1	Bid Item 2 Footings and Foundation Walls Completed Change Unit Price		
CO1.2	Bid Item 5 Excavation Below Subgrade with Structural Backfill Change Unit Price		
CO2.1	Add Bollards		
CO3.1	Add Electrical		
CO4.1	Concrete Fille In Existing Pipes		
CO4.2	Overhead Door Flush Out		

TOTAL CHANGE ORDERS

TOTAL

Bid Quantities		Final Quantities	
Unit Price	Total	Final Qty	Total
\$50,215.00	\$50,215.00	1.00	\$50,215.00
\$64,428.00	\$64,428.00	0.00	\$0.00
\$12,921.00	\$12,921.00	1.00	\$12,921.00
\$38,763.00	\$38,763.00	1.00	\$38,763.00
\$284.91	\$28,491.00	0.00	\$0.00
\$8,567.00	\$8,567.00	1.00	\$8,567.00
\$10.73	\$8,744.95	815.00	\$8,744.95
\$620.00	\$620.00	1.00	\$620.00
\$1,947.00	\$1,947.00	1.00	\$1,947.00
\$47.20	\$1,416.00	30.00	\$1,416.00
\$502.00	\$502.00	1.00	\$502.00
\$216,614.95		\$123,695.95	

Bid Quantities		Final Quantities	
Unit Price	Total	Qty	Total
\$86,429.00	\$0.00	1.00	\$86,429.00
\$64.90	\$0.00	659.00	\$42,769.10
\$5,234.00	\$5,234.00	1.00	\$5,234.00
\$8,867.50	\$8,867.50	1.00	\$8,867.50
\$1,868.55	\$0.00	1.00	\$1,868.55
\$1,468.85	\$0.00	1.00	\$1,468.85
\$14,101.50		\$146,637.00	
\$230,716.45		\$270,332.95	



McMahon Associates, Inc.
1445 McMahon Drive P.O. Box 1025
Neenah, WI 54956 Neenah, WI 54957-1025
Telephone: (920)751-4200
FAX: (920)751-4284

CHANGE ORDER

(Contractor)

Blue Sky Contractors, LLC
2300 W. Everett St.
Appleton, WI 54914

Contract No. K0001-09-24-00716.02
Project File No. 25-042 (BSC)
Change Order No. 4
Issue Date: 10/23/25 (rev2)
Project: Kimberly Salt Storage Building

You Are Directed To Make The Changes Noted Below In The Subject Contract:

(Description) Provide and Install:	(amount)
659 additional cubic yards of over excavation material used on-site from base bid Item 5.	
(Charged at unit rate \$64.90 per contract.)	\$42,769.10
Removed original \$6,490 placeholder in original bid	-\$6,490.00
Subcontractor Mark-Up (NOT APPLIED - UNIT RATE USED)	
Contractor Fee (NOT APPLIED - INCLUDED IN UNIT RATE)	
Bond (NOT APPLIED - INCLUDED IN UNIT RATE)	
TOTAL	\$36,279.10

The Changes Result In The Following Adjustments:

	CONTRACT PRICE	TIME
Prior To This Change Order	<u>\$ 234,053.85</u>	<u>0</u> days
Adjustments Per This Change Order	<u>\$ 36,279.10</u>	<u>0</u> days
Current Contract Status	<u>\$270,332.95</u>	<u>0</u> days

Recommended:
McMahon Associates, Inc.
Neenah, Wisconsin

Accepted:
CONTRACTOR

Authorized:
OWNER

By: _____
Date: _____

By: _____
Date: 10/23/25

By: _____
Date: _____

- ☐ OWNER Copy
- ☐ CONTRACTOR Copy
- ☐ ENGINEER Copy (Contract Copy)
- ☐ FILE COPY

Four Copies Should Accompany This Change Order
Execute And Return To ENGINEER For Distribution



2300 W Everett St
Appleton, WI 54913
PH. 920.733.1250
www.builditblue.net

10/23/2025

Authorized by **Noah Meyer**
Requested by **Town of Kimberly**

CHANGE ORDER PRICE & BREAKDOWN

PROJECT: Kimberly Salt Storage Shed **JOB #:** 25-042
DESCRIPTION: Over-ex Stone complete at Salt Storage shed. **CHANGE ORDER #:** 4

Blue Sky Contractors

Material.....	\$	-
Labor*(Supt. Time).... 0 hrs	\$	-
Direct Costs.....	\$	-
Equipment Rental.....	\$	-
Indirect Costs (P.M. Time).....	\$	-
Subtotal.....	\$	-
Markup (15% contractor fee).....	\$	-
Total.....	\$	-

Subcontracts

Total Subcontractor Cost.....	\$	36,279.10
Subcontractor Markup (0%)	\$	-
Total Sub Cost	\$	36,279.10

Total Costs.....	\$	36,279.10
Bond (2.75%).....	\$	-

Change Order Total..... **\$ 36,279.10**

Time extension required: **0 day(s)**

This quote based upon acceptance within **30 days.**

* Labor rate may include multiple trades with straight and premium time.

Exclusions: Same exclusions apply as original scope.

Scott Lamers

CONSTRUCTION, LLC.

To Noah Meyer

REVISED NUMBERS FROM BRAD
EMAIL 10/15/2025

This is the work through that we went through to establish the charge for the over excavation on the Kimbelry Salt Shed Project.

When this project bid was originally submitted on June 3rd 2025 Scott Lamers Construction, we had estimated that we would be using 695 tons of Aggregate. At our portion of the project's completion, the total of our stone slips tonnage came out to 1814.92 tons. We subtracted the original 695 totaling 1119.92 tons. Then we used a density conversion rate of 1.4 to get an unexpanded cubic yard of 799.94.

With the over excavation that was required we ended up over excavating an extra 8 feet deep and with that, we needed to excavate maintain the appropriate slopes to maintain the trench.

All work that was completed on site was done under the direction and supervision of the onsite soil tester.

In addition to the above stated work, we also, at the request of Anna from the Village of Kimberly, provided and placed 8 yards of concrete for only the cost of the materials to abandon the storm sewer that was located in the area.

Thank you and have a great day.

Cole Van Lankvelt
Project Coordinator
Scott Lamers Construction
920-759-9775
colev@scottlamers.com

W4527 Cty Rd KK
Kaukauna, WI 54130
Office: (920) 759-9775

Scott Lamers

CONSTRUCTION, LLC.

To Noah Meyer

This is the work through that we went through to establish the charge for the over excavation on the Kimbelry Salt Shed Project.

When this project bid was originally submitted on June 3rd 2025 Scott Lamers Construction, we had estimated that we would be using 695 tons of Aggregate. At our portion of the project's completion, the total of our stone slips tonnage came out to 1814.92 tons. We subtracted the original 695 totaling 1119.92 tons. Then we used a density conversion rate of ~~1.4~~ to get an unexpanded cubic yard of 799.94.

658.78 cy

Agreed
on
1.7

With the over excavation that was required we ended up over excavating an extra 8 feet deep and with that, we needed to excavate maintain the appropriate slopes to maintain the trench.

All work that was completed on site was done under the direction and supervision of the onsite soil tester.

In addition to the above stated work, we also, at the request of Anna from the Village of Kimberly, provided and placed 8 yards of concrete for only the cost of the materials to abandon the storm sewer that was located in the area.

Thank you and have a great day.

Cole Van Lankvelt
Project Coordinator
Scott Lamers Construction
920-759-9775
colev@scottlamers.com

W4527 Cty Rd KK
Kaukauna, WI 54130
Office: (920) 759-9775



October 22, 2025

Village of Kimberly
Attn: Jennifer Weyenberg, Clerk-Treasurer

Re: Village of Kimberly
Municipal Salt Storage Building
Certificate for Payment #3
McM. No. K0001-09-24-00716

Dear Jennifer:

Enclosed herewith is Certificate for Payment #3 for the above referenced project. This Certificate is issued to Blue Sky Contractors, LLC in the amount of \$76,666.38 for partial payment for work performed through October 22, 2025.

Please process the enclosed, and forward payment to Blue Sky Contractors, LLC. Should you have any questions, please contact our office at your convenience.

Respectfully,

McMahon Associates, Inc.

A handwritten signature in black ink, reading "Brad Werner".

Brad D. Werner, P.E.
Vice President/ Sr Municipal Engineer

BDW:car

cc: Dani Block – Village of Kimberly
Blue Sky Contractors, LLC

Enclosure: Certificate for Payment #3

**CERTIFICATE FOR
PAYMENT**

VILLAGE OF KIMBERLY
515 W. Kimberly Avenue
Kimberly, WI 54136

Contract No.

K0001-09-24-00716.02

Project File No.

K0001-09-24-00716

Certificate No.

Three (3)

Issue Date:

October 22, 2025

Project:

Municipal Salt Storage Building

This Is To Certify That, In Accordance With The Contract Documents Dated:

May 22, 2025

BLUE SKY CONTRACTORS, LLC
2300 W. Everett Street
Appleton, WI 54914

Is Entitled To Partial Payment For Work Performed Through:

October 22, 2025

- ☒ Contractor's Application for Payment Attached
☒ Itemized Cost Breakdown Attached

Original Contract	\$216,614.95
Net Change Orders	\$53,715.00
Current Contract Amount	\$270,332.95

Completed To Date	\$254,353.45
Retainage 5%	\$12,717.67
Subtotal	\$241,635.78
Previously Certified	\$164,969.40

Amount Due This Payment:**\$76,666.38**

Please process and forward payment to Blue Sky Contractors, LLC.

Certified By:

McMAHON ASSOCIATES, INC.**Neenah, Wisconsin**

Brad D. Werner, P.E.

Vice President/ Sr Municipal Engineer

CERTIFICATE FOR PAYMENT #3

VILLAGE OF KIMBERLY
MUNICIPAL SALT STORAGE BUILDING
McM. No. K0001-09-24-00716

Engineer: McMAHON ASSOCIATES, INC.
1445 McMahon Drive
PO Box 1025
Neenah, WI 54956 / 54957-1025

BLUE SKY CONTRACTORS, LLC
2300 W. Everett Street
Appleton, WI 54914

Item	Description	Qty	Unit	Bid Quantities		CERT-PAY 01		CERT-PAY 02		CERT-PAY 03		Completed To Date	
				Unit Price	Total	Qty	Total	Qty	Total	Qty	Total	Qty	Total
1.	Site Mobilization and Bonding	1	L.S.	\$50,215.00	\$50,215.00	0.50	\$25,108.00		\$19,743.00		\$4,944.00		\$49,795.00
2.	Footings and Foundation Walls Complete	1	L.S.	\$86,429.00	\$86,429.00	0.85	\$54,600.00		\$27,920.00		\$3,909.00		\$86,429.00
3.	Salt Storage Building Asphalt Floor with Base Course Complete	1	L.S.	\$12,921.00	\$12,921.00		\$0.00		\$0.00		\$12,921.00		\$12,921.00
4.	Salt Storage Building Complete	1	L.S.	\$38,763.00	\$38,763.00		\$0.00		\$35,189.00		\$3,574.00		\$38,763.00
5.	Excavation Below Subgrade with Structural Backfill	100	C.Y.	\$64.90	\$6,490.00		\$0.00		\$0.00		\$0.00		\$0.00
6.	Shingle Roof Complete with 30 Year Architectural Asphalt Shingle Over Synthetic Underlayment	1	L.S.	\$8,567.00	\$8,567.00		\$0.00		\$8,567.00		\$0.00		\$8,567.00
7.	6 Inch Microfiber Concrete Pavement	815	S.F.	\$10.73	\$8,744.95		\$0.00		\$0.00	815	\$8,744.95		\$8,744.95
8.	Turf Restoration	1	L.S.	\$620.00	\$620.00		\$0.00		\$0.00		\$0.00		\$0.00
9.	Salvage and Reinstall Fencing	1	L.S.	\$1,947.00	\$1,947.00	0.53	\$1,025.00		\$0.00		\$0.00		\$1,025.00
10.	New 7 Foot High Vinyl Coated Fence with Top Rail	30	L.F.	\$47.20	\$1,416.00		\$0.00		\$0.00		\$0.00		\$0.00
11.	New Vinyl Coated Gate Post with 8 Inch Diameter Foundation (5' Deep)	1	Ea.	\$502.00	\$502.00		\$0.00		\$0.00		\$502.00		\$502.00
TOTAL (Items 1. through 11., Inclusive)				\$216,614.95		\$80,733.00		\$91,419.00		\$34,594.95		\$206,746.95	

CHANGE ORDERS

Item	Description	Qty	Unit	Bid Quantities		CERT-PAY 01		CERT-PAY 02		CERT-PAY 03		Completed To Date	
				Unit Price	Total	Qty	Total	Qty	Total	Qty	Total	Qty	Total
CO1.1	Bid Item 2 Footings and Foundation Walls Completed Change Unit Price			\$86,429.00			\$0.00		\$0.00		0.00		0.00
CO1.2	Bid Item 5 Excavation Below Subgrade with Structural Backfill Change Unit Price			\$64.90			\$0.00		\$0.00	659.00	42,769.10		42,769.10
CO2.1	Add Bollards			\$5,234.00	\$5,234.00		\$0.00		\$1,500.00		\$0.00		\$1,500.00
CO3.1	Add Electrical			\$8,867.50	\$8,867.50		\$0.00		\$0.00		\$0.00		\$0.00
CO4.1	Concrete Fill In Existing Pipes			\$1,868.55			\$0.00		\$0.00		\$1,868.55		\$1,868.55
CO4.2	Overhead Door Flush Out			\$1,468.85			\$0.00		\$0.00		\$1,468.85		\$1,468.85
CHANGE ORDER TOTAL				\$14,101.50		\$0.00		\$1,500.00		\$46,106.50		\$47,606.50	
TOTAL				\$230,716.45		\$80,733.00		\$92,919.00		\$80,701.45		\$254,353.45	

Completed to Date:

Retainage:

Subtotal:

Previous Application:

Amount Due This Application:

\$80,733.00

\$4,036.65

\$76,696.35

\$80,733.00

\$4,645.95

\$88,273.05

\$92,919.00

\$4,035.07

\$76,666.38

\$80,701.45

\$12,717.67

\$241,635.78

\$164,969.40

\$76,666.38



McMahon Associates, Inc.
1445 McMahon Drive P.O. Box 1025
Neenah, WI 54956 Neenah, WI 54957-1025
Telephone: (920)751-4200
FAX: (920)751-4284

APPLICATION FOR PAYMENT

(Owner) Village Of Kimberly	PROJECT:	Kimberly Salt Storage
	CONTRACTOR	Blue Sky Contractors, LLC
	Contract No.	K0001-09-24-00716.2
	Project No.	25-042 (BSC)
	Application No.	3
	Application Date	10/22/25
	Period From	9/22/25 To 10/22/25

Application Is Made For Payment In Connection With The Above Contract.
The following documents are attached:

- ☒ Schedule Of Values
☐ Schedule Of Unit Prices
☐ Inventory Of Stored Materials

The Present Status Of The Account For This Contract Is As Follows:

Original Contract	<u>\$ 216,614.95</u>	Completed To Date	<u>\$ 254,353.45</u>
Net Change Orders	<u>\$ 53,718.00</u>	Retainage <u>5</u> %	<u>\$12,717.67</u>
Current Contract Amount	<u>\$270,332.95</u>	Subtotal	<u>\$ 241,635.78</u>
		Previous Applications	<u>\$164,969.40</u>

Amount Due This Application: \$ 76,666.38

The undersigned Contractor hereby swears, under penalty of perjury, that (1 All previous progress payments received from the Owner, on account of work performed under the Contract referred to above, have been applied by the undersigned to discharge in full all obligations of the undersigned incurred in connection with work covered by prior Applications For Payment under said Contract, being Applications For Payment numbered 1 through _____ inclusive; and 2) All materials and equipment incorporated in said project or otherwise listed in or covered by this Application For Payment are free and clear of all liens, claims, security interests and encumbrances.

Dated 10/22 20 25

Blue Sky Contractors, LLC

(contractor)

By Noah Meyer - Project Manager

(name & title)

COUNTY OF
STATE OF

} ss

Before me on this _____ day of _____ 20 _____ personally appeared _____
known to me, who being duly sworn, did depose and say that he/she is the _____
of the Contractor above mentioned; that he/she

(title)

executed the above Application For Payment and statement on behalf of said Contractor; and that all of the statements contained therein are true, correct and complete.

My Commission Expires: _____

(Notary Public)



McMahon Associates, Inc.
1445 McMahon Drive P.O. Box 1025
Neenah, WI 54956 Neenah, WI 54957-1025
Telephone: (920)751-4200
FAX: (920)751-4284

CERTIFICATE FOR PAYMENT

(Owner)

Village Of Kimberly

Contract No. K0001-09-24-00716.2
Project File No. _____
Certificate No. _____
Issue Date: 10/22/25
Project: Kimberly Salt Storage Building

This Is To Certify That, In Accordance With The Contract Documents Dated: 7/29/25

(Contractor)

Blue Sky Contractors, LLC
2300 W. Everett St.
Appleton, WI 54914

Is Entitled To **(Partial)** (Final) Payment For Work Performed Through: 10/22/25

- ☒ Contractor's Application For Payment Attached.
☒ Itemized Cost Breakdown Attached.

Original Contract	<u>216,614.95 \$</u>
Net Change Orders	<u>53,718.00 \$</u>
Current Contract Amount	<u>270,332.95 \$</u>

Completed To Date	<u>\$ 254,353.45</u>
Retainage <u>5</u> %	<u>\$ 12,717.67</u>
Subtotal	<u>\$ 241,635.78</u>
Previously Certified	<u>\$164,969.40</u>

Amount Due This Payment: \$ 76,666.38

Certified By:
McMahon Associates, Inc.
Neenah, Wisconsin

(Authorized Signature)

APPLICATION FOR PAYMENT

TO OWNER:

Village of Kimberly

PROJECT:

Kimberly Salt Storage
Building

APPLICATION NUMBER: 3

PERIOD ENDING: 10/23/2025

FROM CONTRACTOR

Blue Sky Contractors
2300 W. Everett St.
Appleton, WI 54914

CONTRACT TYPE: Lump Sum

Project NO: 25-042

PREPARED BY: Noah Meyer

CONTRACTOR'S APPLICATION FOR PAYMENT

Refer to backup sheets attached for detailed breakdown

1 Original Contract Amount:	\$	216,614.95
2 Net Changes to Contract:	\$	53,718.00
3 Total Contract Amount:	\$	270,332.95
4 Total Completed To Date:	\$	254,353.45
a. 94% of Completed Work		
5 Retainage:		
a. 5% of Completed Work		
Total Retainage:	\$	12,717.67
6 Total Completed Less Retainage:	\$	241,635.78
7 Less Previous Applications:	\$	164,969.40
8 Current Payment Due:	\$	76,666.38
9 Balance to Finish Including Retainage:	\$	28,697.17

EXTRA WORK SUMMARY	ADDITIONS	DELETIONS
Changes From Prev Applications:	\$ 14,101.50	
Changes From This Application:	\$ 39,616.50	
Total:	\$ 53,718.00	
Net Changes:	\$	53,718.00

CONTRACTOR'S CERTIFICATION:

The undersigned Contractor to the best of his knowledge, information and believe of the Work covered by this Application for Payment has been completed in accordance with the Contract Documents, that all amounts have been paid to him for Work for which previous Certificates for Payment were issues and payments received from the Owner, and that current payment shown herein is now due.

CONTRACTOR: Blue Sky Contractors, LLC

DATE: 10/23/2025

State:

Country:

Subscribed & sworn to before me
this day of

Notary Public Name:

Commission Expiration Date:

CONTRACTOR NAME: Blue Sky Contractors, LLC

APPLICATION NUMBER: 3

PERIOD TO: 10/22/2025

PROJECT NO: 25-042 Kimberly Salt Storage

In tabulations below, amounts are stated to the nearest dollar.

Use Column I on Contracts where variable retainage for line items may apply.

A	B	C	D	E	F	G		H	I
ITEM NO.	DESCRIPTION OF WORK	SCHEDULED VALUE	WORK COMPLETED		MATERIALS PRESENTLY STORED (NOT IN D OR E)	TOTAL COMPLETED AND STORED TO DATE (D + E + F)	% (G ÷ C)	BALANCE TO FINISH (C - G)	RETAINAGE (IF VARIABLE RATE)
			FROM PREVIOUS APPLICATION (D + E)	THIS PERIOD					
1	Site Mobilization and Bonding	\$ 50,215.00	\$ 44,851.00	\$ 4,944.00		\$ 49,795.00	99%	\$ 420.00	\$ 2,489.75
2	Footings and Foundation Walls Complete	\$ 86,429.00	\$ 82,520.00	\$ 3,909.00		\$ 86,429.00	100%	\$ -	\$ 4,321.45
3	Salt Storage Building Asphalt Floor with Base Course Complete	\$ 12,921.00		\$ 12,921.00		\$ 12,921	100%	\$ -	\$ 646.05
4	Salt Storage Building Complete	\$ 38,763.00	\$ 35,189.00	\$ 3,574.00		\$ 38,763.00	100%	\$ -	\$ 1,938.15
5	Excavation Below Subgrade with Structural Backfill	\$ 6,490.00				\$ -	0%	\$ 6,490.00	\$ -
6	Shingle Roof Complete with 30 Year Architectural Asphalt Shingle Over Sythentic Underlayment	\$ 8,567.00	\$ 8,567.00			\$ 8,567.00	100%	\$ -	\$ 428.35
7	6 Inch Microfiber Concrete Pavement	\$ 8,744.95		\$ 8,744.95		\$ 8,745	100%	\$ -	\$ 437.25
8	Turf Restoration	\$ 620.00				\$ -	0%	\$ 620.00	\$ -
9	Salvage and Reinstall Fencing	\$ 1,947.00	\$ 1,025.00			\$ 1,025.00	53%	\$ 922.00	\$ 51.25
10	New 7 Foot High Vinyl Coated Fence with Top Rail	\$ 1,416.00				\$ -	0%	\$ 1,416.00	\$ -
11	New Vinyl Coated Gate Post with 8 Inch Diameter Foundation	\$ 502.00		\$ 502.00		\$ 502	100%	\$ -	\$ 25.10
	Change Order Adds								
12	Change Order 2 - Added Bollards	\$ 5,234.00	\$ 1,500.00			\$ 1,500.00	29%	\$ 3,734.00	\$ 75.00
13	Change Order 3 - Added Electrical	\$ 8,867.50				\$ -	0%	\$ 8,867.50	\$ -
14	Change Order 4 - Over Ex Material (ITEM 5 ABOVE)	\$ 42,769.10		\$ 42,769.10		\$ 42,769.10	100%	\$ -	\$ 2,138.46
15	Change Order 5 - Concrete Existing Pipes	\$ 1,868.55		\$ 1,868.55		\$ 1,868.55	100%	\$ -	\$ 93.43
16	Change Order 6 - OHD Jamb Flush Out	\$ 1,468.85		\$ 1,468.85		\$ 1,468.85	100%	\$ -	\$ 73.44
	GRAND TOTALS	\$ 270,332.95	\$ 173,652.00	\$ 80,701.45	\$ -	\$ 254,353.45	94.09%	\$ 15,979.50	\$ 12,717.67



October 22, 2025

Village of Kimberly
Attn: Jennifer Weyenberg, Clerk-Treasurer
Email: jweyenberg@vokimberly.wi.gov

Re: Village of Kimberly
Kennedy Avenue
Street Patching – Dowel Bar Retrofit – Surface Diamond Grind
Change Order #1
McM. No. K0001-09-24-00753

Dear Jennifer,

Enclosed herewith is Change Order #1 for the above referenced project. This change is an increase in the Contract in the amount of \$95,948.34. The current Contract Price is \$395,682.39.

Please review and sign in the space provided. Return signed copy to our office, and we will distribute accordingly.

Should you have any questions, please contact our office at your convenience.

Respectfully,

McMahon Associates, Inc.

A handwritten signature in black ink, appearing to read "BDW", with a long horizontal flourish extending to the right.

Brad D. Werner, P.E.
Vice President / Sr Municipal Engineer

BDW:car

Enclosure: Change Order #1

McMAHON ASSOCIATES, INC.

1445 MCMAHON DRIVE P.O. BOX 1025
NEENAH, WI 54956 NEENAH, WI 54957-1025

TELEPHONE: 920.751.4200
FAX: 920.751.4284

CHANGE ORDER

VINTON CONSTRUCTION CO.
1322 33rd Street
PO Box 137
Two Rivers, WI 54241

Contract No.	K0001-09-24-00753
Project File No.	K0001-09-24-00753
Change Order No.	One (1)
Issue Date:	October 20, 2025
Project:	Village of Kimberly Kennedy Avenue Street Patching -- Dowel Bar Retrofit -- Surface Diamond Grind

You Are Directed To Make The Changes Noted Below In The Subject Contract:

[illegible]

The Changes Result In The Following Adjustments:

	CONTRACT PRICE	TIME
Prior To This Change Order	\$299,734.05	- days
Adjustments Per This Change Order	+ \$95,948.34	0 days
Current Contract Status	\$395,682.39	- days

Recommended:
McMAHON ASSOCIATES, INC.
Neenah, Wisconsin

Accepted:
VINTON CONSTRUCTION CO.
 Two Rivers, Wisconsin

Authorized:
VILLAGE OF KIMBERLY
Wisconsin

By:

Date:

By: _____

Date:

By: _____

Date: _____

- ☐ OWNER Copy
☐ CONTRACTOR Copy
☐ ENGINEER Copy (Contract Copy)
☐ FILE COPY

Four (4) Copies Should Accompany This Change Order
Execute And Return To ENGINEER For Distribution

FINAL QUANTITY

VILLAGE OF KIMBERLY
KENNEDY AVENUE STREET PATCHING - DOWEL BAR RETROFIT - SURFACE DIAMOND GRIND
McM. No. K0001-09-24-00753

Engineer: McMAHON ASSOCIATES, INC.
1445 McMahon Drive
PO Box 1025
Neenah, WI 54956 / 54957-1025

VINTON CONSTRUCTION CO.
1322 33rd Street
PO Box 137
Two Rivers, WI 54241

BASE BID

Item	Description	Qty	Unit
1.	Mobilization and Bonding	1	L.S.
2.	#6 Epoxy Coated Tie Bar	650	Ea.
3.	#4 Epoxy Coated Tie Bar	100	Ea.
4.	Continuous Diamond Grinding Concrete Pavement	7,200	S.Y.
5.	Sawcut 8 Inch Concrete Pavement	1,900	L.F.
6.	8 Inch Concrete Pavement Patching (pavement was 6 inch, see credit estimate)	1,215	S.Y.
7.	Remove Existing Joint Sealant and Clean Joint	11,000	L.F.
8.	Seal Joint with Hot Rubberized Asphaltic Material	11,400	L.F.
9.	6 Inch Curb Head	600	L.F.
10.	Remove and Replace 6 Inch Concrete Sidewalk and Apron	215	S.F.
11.	Petina Detectable Warning Field	128	S.F.
12.	12 Inch Wide White Epoxy Pavement Marking	400	L.F.
13.	Yellow Epoxy Painted Curb Head	112	L.F.
14.	4 Inch Topsoil / Seed / E-Mat	200	S.Y.
15.	Install V-Lock and Crosswalk Signage	2	Ea.
16.	Inlet Protection	21	Ea.
Add	4 Inch Wide White Epoxy Pavement Marking	0	L.F.
Add	Blke Lane and Arrow Pavement Markings	0	L.S.
Add	Remove Existing Sidewalk and Prep for Village Placed Sidewalk	0	S.F.
Deduct	8 Inch vs 6 Inch Credit	0	L.S.

TOTAL (Items 1. through 16., Inclusive)

Bid Quantities		Final Quantities	
Unit Price	Total	Qty	Total
\$26,000.00	\$26,000.00	1.00	\$26,000.00
\$8.50	\$5,525.00	763.00	\$6,485.50
\$7.50	\$750.00	0.00	\$0.00
\$7.95	\$57,240.00	6,352.00	\$50,498.40
\$2.50	\$4,750.00	2,265.00	\$5,662.50
\$75.97	\$92,303.55	1,677.00	\$127,401.69
\$0.65	\$7,150.00	14,991.00	\$9,744.15
\$0.65	\$7,410.00	14,991.00	\$9,744.15
\$25.00	\$15,000.00	790.00	\$19,750.00
\$12.50	\$2,687.50	2,030.00	\$25,375.00
\$36.00	\$4,608.00	57.00	\$2,052.00
\$16.50	\$6,600.00	2,356.50	\$38,882.25
\$10.25	\$1,148.00	1,133.00	\$11,613.25
\$15.00	\$3,000.00	454.00	\$6,810.00
\$950.00	\$1,900.00	0.00	\$0.00
\$72.00	\$1,512.00	21.00	\$1,512.00
\$0.00	\$0.00	551.00	\$0.00
\$250.00	\$0.00	1.00	\$250.00
\$3.00	\$0.00	1,975.50	\$5,926.50
-\$4,560.00	\$0.00	1.00	-\$4,560.00
\$237,584.05		\$343,147.39	

ALTERNATE BID A | ADDITIONAL CONTINUOUS DIAMOND GRINDING CONCRETE PAVEMENT (Station 21+00 - 35+80)

Item	Description	Qty	Unit
A-1	Continuous Diamond Grinding Concrete Pavement (Sta. 21+00 - 35+80)	6,000	S.Y.
A-2	Remove Existing Joint Sealant and Clean Joint	9,500	L.F.
A-3	Seal Joint with Hot Rubberized Asphaltic Material	9,500	L.F.

TOTAL (Items A-1 through A-3, Inclusive)

TOTAL (Base Bid + Alternate Bid A)

Bid Quantities		Final	
Unit Price	Total	Qty	Total
\$8.30	\$49,800.00	4,970.00	\$41,251.00
\$0.65	\$6,175.00	8,680.00	\$5,642.00
\$0.65	\$6,175.00	8,680.00	\$5,642.00
\$62,150.00		\$52,535.00	
\$299,734.05		\$395,682.39	



October 22, 2025

Village of Kimberly
Attn: Jennifer Weyenberg, Clerk-Treasurer
Email: jweyenberg@vokimberly.wi.gov

Re: Village of Kimberly
Kennedy Avenue
Street Patching – Dowel Bar Retrofit – Surface Diamond Grind
Certificate for Payment #2 - Final
McM. No. K0001-09-24-00753

Dear Jennifer,

Enclosed herewith is Certificate for Payment #2 for the above referenced project. This Certificate is issued to Vinton Construction Co. in the amount of \$259,827.19 for final payment for work performed through October 20, 2025.

Please process the enclosed, and forward payment to Vinton Construction Co. Should you have any questions, please contact our office at your convenience.

Respectfully,

McMahon Associates, Inc.

A handwritten signature in black ink, appearing to read "B. Werner".

Brad D. Werner, P.E.
Vice President / Sr Municipal Engineer

BDW:car

cc: Vinton Construction Co.

Enclosure: Certificate for Payment #2 - Final

McMAHON

ENGINEERS ARCHITECTS

McMAHON ASSOCIATES, INC.

1445 McMAHON DRIVE PO BOX 1025
NEENAH, WI 54956 NEENAH, WI 54957-1025

TELEPHONE: 920.751.4200
FAX: 920.751.4284

CERTIFICATE FOR PAYMENT

VILLAGE OF KIMBERLY
515 W. Kimberly Avenue
Kimberly, WI 54136

Contract No. K0001-09-24-00753
Project File No. K0001-09-24-00753
Certificate No. Two (2) – Final
Issue Date: October 22, 2025
Project: Kennedy Avenue Street Patching -
Dowel Bar Retrofit – Surface Diamond Grind

This Is To Certify That, In Accordance With The Contract Documents Dated: March 13, 2025

VINTON CONSTRUCTION CO.
1322 33rd Street
PO Box 137
Two Rivers, WI 54241

Is Entitled To Final Payment For Work Performed Through: October 20, 2025

- ☒ Contractor's Application for Payment Attached
☒ Itemized Cost Breakdown Attached

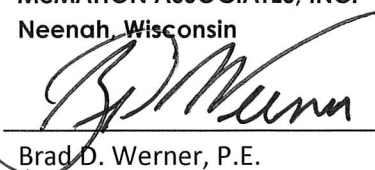
Original Contract	<u>\$299,734.05</u>
Net Change Orders	<u>+ \$95,948.34</u>
Current Contract Amount	<u>\$395,682.39</u>

Completed To Date	<u>\$395,682.39</u>
Retainage	<u>\$0.00</u>
Subtotal	<u>\$395,682.39</u>
Previously Certified	<u>\$135,855.20</u>

Amount Due This Payment: \$259,827.19

Please process and forward payment to Vinton Construction Co.

Certified By:
McMAHON ASSOCIATES, INC.
Neenah, Wisconsin


Brad D. Werner, P.E.

Vice President / Sr Municipal Engineer

CERTIFICATE FOR PAYMENT #2

VILLAGE OF KIMBERLY
KENNEDY AVENUE STREET PATCHING - DOWEL BAR RETROFIT - SURFACE DIAMOND GRIND
McM. No. K0001-09-24-00753

Engineer: McMAHON ASSOCIATES, INC.
1445 McMahon Drive
PO Box 1025
Neenah, WI 54956 / 54957-1025

VINTON CONSTRUCTION CO.
1322 33rd Street
PO Box 137
Two Rivers, WI 54241

BASE BID

Item	Description	Qty	Unit	Bid Quantities		Cert-Pay 01		Cert-Pay 02		Completed To Date	
				Unit Price	Total	Qty	Total	Qty	Total	Qty	Total
1.	Mobilization and Bonding	1	L.S.	\$26,000.00	\$26,000.00	0.80	\$20,800.00	0.20	\$5,200.00	1.00	\$26,000.00
2.	#6 Epoxy Coated Tie Bar	650	Ea.	\$8.50	\$5,525.00	650.00	\$5,525.00	113.00	\$960.50	763.00	\$6,485.50
3.	#4 Epoxy Coated Tie Bar	100	Ea.	\$7.50	\$750.00	100.00	\$750.00	-100.00	-\$750.00	0.00	\$0.00
4.	Continuous Diamond Grinding Concrete Pavement	7,200	S.Y.	\$7.95	\$57,240.00		\$0.00	6,352.00	\$50,498.40	6,352.00	\$50,498.40
5.	Sawcut 8 Inch Concrete Pavement	1,900	L.F.	\$2.50	\$4,750.00	1,900.00	\$4,750.00	365.00	\$912.50	2,265.00	\$5,662.50
6.	8 Inch Concrete Pavement Patching	1,215	S.Y.	\$75.97	\$92,303.55	1,215.00	\$92,303.55	462.00	\$35,098.14	1,677.00	\$127,401.69
7.	Remove Existing Joint Sealant and Clean Joint	11,000	L.F.	\$0.65	\$7,150.00		\$0.00	14,991.00	\$9,744.15	14,991.00	\$9,744.15
8.	Seal Joint with Hot Rubberized Asphaltic Material	11,400	L.F.	\$0.65	\$7,410.00		\$0.00	14,991.00	\$9,744.15	14,991.00	\$9,744.15
9.	6 Inch Curb Head	600	L.F.	\$25.00	\$15,000.00	600.00	\$15,000.00	190.00	\$4,750.00	790.00	\$19,750.00
10.	Remove and Replace 6 Inch Concrete Sidewalk and Apron	215	S.F.	\$12.50	\$2,687.50	172.00	\$2,150.00	1,858.00	\$23,225.00	2,030.00	\$25,375.00
11.	Petina Detectable Warning Field	128	S.F.	\$36.00	\$4,608.00	15.50	\$558.00	41.50	\$1,494.00	57.00	\$2,052.00
12.	12 Inch Wide White Epoxy Pavement Marking	400	L.F.	\$16.50	\$6,600.00		\$0.00	2,356.50	\$38,882.25	2,356.50	\$38,882.25
13.	Yellow Epoxy Painted Curb Head	112	L.F.	\$10.25	\$1,148.00		\$0.00	1,133.00	\$11,613.25	1,133.00	\$11,613.25
14.	4 Inch Topsoil / Seed / E-Mat	200	S.Y.	\$15.00	\$3,000.00		\$0.00	454.00	\$6,810.00	454.00	\$6,810.00
15.	Install V-Lock and Crosswalk Signage	2	Ea.	\$950.00	\$1,900.00		\$0.00		\$0.00	0.00	\$0.00
16.	Inlet Protection	21	Ea.	\$72.00	\$1,512.00	21.00	\$1,512.00		\$0.00	21.00	\$1,512.00
Add	4 Inch Wide White Epoxy Pavement Marking			\$0.00	\$0.00		\$0.00		\$0.00	0.00	\$0.00
Add	Bike Lane and Arrow Pavement Markings			\$250.00	\$0.00		\$0.00	1.00	\$250.00	1.00	\$250.00
Add	Remove Existing Sidewalk and Prep for Village Placed Sidewalk			\$3.00	\$0.00		\$0.00	1,975.50	\$5,926.50	1,975.50	\$5,926.50
Deduct	8 Inch vs 6 Inch Credit			-\$4,560.00	\$0.00		\$0.00	1.00	-\$4,560.00	1.00	-\$4,560.00
TOTAL (Items 1. through 16., Inclusive)					\$237,584.05		\$143,348.55		\$199,798.84		\$343,147.39

ALTERNATE BID A | ADDITIONAL CONTINUOUS DIAMOND GRINDING CONCRETE PAVEMENT (Station 21+00 - 35+80)

Item	Description	Qty	Unit	Bid Quantities		Cert-Pay 01		Cert-Pay 02		Completed To Date	
				Unit Price	Total	Qty	Total	Qty	Total	Qty	Total
A-1	Continuous Diamond Grinding Concrete Pavement	6,000	S.Y.	\$8.30	\$49,800.00		\$0.00	4,970.00	\$41,251.00	4,970.00	\$41,251.00
A-2	Remove Existing Joint Sealant and Clean Joint	9,500	L.F.	\$0.65	\$6,175.00		\$0.00	8,680.00	\$5,642.00	8,680.00	\$5,642.00
A-3	Seal Joint with Hot Rubberized Asphaltic Material	9,500	L.F.	\$0.65	\$6,175.00		\$0.00	8,680.00	\$5,642.00	8,680.00	\$5,642.00
TOTAL (Items A-1 through A-3, Inclusive)					\$62,150.00		\$0.00		\$52,535.00		\$52,535.00
TOTAL (Base Bid + Alternate Bid A)					\$299,734.05		\$143,348.55		\$252,333.84		\$395,682.39

Completed to Date:
Retainage:
Subtotal:
Previous Application:
Amount Due This Application:

\$143,348.55	\$252,333.84	\$395,682.39
\$7,493.35	-\$7,493.35	\$0.00
\$135,855.20	\$259,827.19	\$395,682.39
		\$135,855.20
		\$259,827.19

**APPLICATION
FOR PAYMENT**

Village of Kimberly
515 W Kimberly Ave
Kimberly, WI 54136

PROJECT: Kennedy Ave
CONTRACTOR Vinton Construction Company
Contract No. K0001-09-24-00753
Project No. Same as contract
Application No. 2
Application Date 10/22/2025
Period From 7/19/25 To 10/20/2025

Application Is Made For Payment In Connection With The Above Contract.

The following documents are attached:

- ☐ Schedule Of Values
☒ Schedule Of Unit Prices
☐ Inventory Of Stored Materials

The Present Status Of The Account For This Contract Is As Follows:

Original Contract	<u>299,734.05</u>	Completed To Date	<u>395,682.39</u>
Net Change Orders	<u>95,948.34</u>	Retainage 5% of 1 st 50%	<u>0.00</u>
Current Contract Amount	<u>395,682.39</u>	Subtotal	<u>395,682.39</u>
		Previous Applications	<u>135,855.20</u>

Amount Due This Application: \$259,827.19

The undersigned Contractor hereby swears, under penalty of perjury, that (1 All previous progress payments received from the Owner, on account of work performed under the contract referred to above, have been applied by the undersigned to discharge in full all obligations of the undersigned incurred in connection with work covered by prior Applications For Payment under said contract, being Applications For Payment numbered 1 through _____ inclusive; and 2) All materials and equipment incorporated in said project or otherwise listed in or covered by this Application For Payment are free and clear of all liens, claims, security interests and encumbrances.

Dated October 22 20 25

Vinton Construction Company

(contractor)

By _____

(name & title) Rich Lamers, President

COUNTY OF Manitowoc
STATE OF Wisconsin

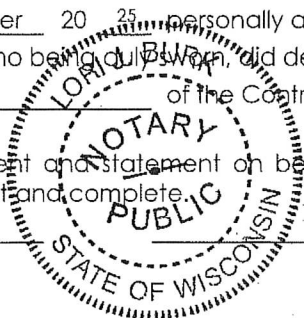
} ss

Before me on this 22nd day of October 20 25, personally appeared _____
Rich Lamers known to me, who being duly sworn, did depose and say that he/she is the _____
President of the Contractor above mentioned; that he/she

(title)

executed the above Application For Payment and statement on behalf of said Contractor; and that all of the statements contained therein are true, correct and complete.

My Commission Expires: 2-10-2028



(Notary Public) Lori J Burk

Unit Cost Breakdown

Project: Kimberly - Kennedy Ave

Contractor: Vinton Construction Company

Application Date: 10/22/25

Payment Application #: 2

VCC Job# 25073

ITEM NO.	DESCRIPTION OF WORK	Scheduled-				Work Completed Previous Request		This Request		Total Completed/Stored To Date		Scheduled Vs. Actual	Percent Complete
		Quantity	UOM	Unit Price	Amount	Quantity	Amount	Quantity	Amount	Quantity	Amount	Add(Deduct)	
1	Mobilization and Bonding	1.00	LS	\$ 26,000.00	\$ 26,000.00	0.80	\$ 20,800.00	0.20	\$ 5,200.00	1.00	\$ 26,000.00	\$ -	100.0%
2	#6 Epoxy Coated Tie Bar	650.00	EA	\$ 8.50	\$ 5,525.00	650.00	\$ 5,525.00	113.00	\$ 960.50	763.00	\$ 6,485.50	\$ (960.50)	117.4%
3	#4 Epoxy Coated Tie Bar	100.00	EA	\$ 7.50	\$ 750.00	100.00	\$ 750.00	(100.00)	\$ (750.00)	-	\$ -	\$ 750.00	0.0%
4	Continuous Diamond Grinding Concrete Pavement	7200.00	SY	\$ 7.95	\$ 57,240.00	-	\$ -	6,352.00	\$ 50,498.40	6,352.00	\$ 50,498.40	\$ 6,741.60	88.2%
5	Sawcut 8 Inch Concrete Pavement	1900.00	LF	\$ 2.50	\$ 4,750.00	1,900.00	\$ 4,750.00	365.00	\$ 912.50	2,265.00	\$ 5,662.50	\$ (912.50)	119.2%
6	8 Inch Concrete Pavement Patching	1215.00	SY	\$ 75.97	\$ 92,303.55	1,215.00	\$ 92,303.55	462.00	\$ 35,098.14	1,677.00	\$ 127,401.69	\$ (35,098.14)	138.0%
7	Remove Existing Joint Sealant and Clean Joint	11000.00	LF	\$ 0.65	\$ 7,150.00	-	\$ -	14,991.00	\$ 9,744.15	14,991.00	\$ 9,744.15	\$ (2,594.15)	136.3%
8	Seal Joint with Hot Rubberized Asphaltic Material	11400.00	LF	\$ 0.65	\$ 7,410.00	-	\$ -	14,991.00	\$ 9,744.15	14,991.00	\$ 9,744.15	\$ (2,334.15)	131.5%
9	6 Inch Curb Head	600.00	LF	\$ 25.00	\$ 15,000.00	600.00	\$ 15,000.00	190.00	\$ 4,750.00	790.00	\$ 19,750.00	\$ (4,750.00)	131.7%
10	Remove and Replace 6 Inch Concrete Sidewalk and Apron	215.00	SF	\$ 12.50	\$ 2,687.50	172.00	\$ 2,150.00	1,858.00	\$ 23,225.00	2,030.00	\$ 25,375.00	\$ (22,687.50)	944.2%
11	Petina Detectable Warning Field	128.00	SF	\$ 36.00	\$ 4,608.00	15.50	\$ 558.00	41.50	\$ 1,494.00	57.00	\$ 2,052.00	\$ 2,556.00	44.5%
12	12 Inch Wide White Epoxy Pavement Marking	400.00	LF	\$ 16.50	\$ 6,600.00	-	\$ -	2,356.50	\$ 38,882.25	2,356.50	\$ 38,882.25	\$ (32,282.25)	589.1%
13	Yellow Epoxy Painted Curb Head	112.00	LF	\$ 10.25	\$ 1,148.00	-	\$ -	1,133.00	\$ 11,613.25	1,133.00	\$ 11,613.25	\$ (10,465.25)	1011.6%
14	4 Inch Topsoil / Seed / E-Mat	200.00	SY	\$ 15.00	\$ 3,000.00	-	\$ -	454.00	\$ 6,810.00	454.00	\$ 6,810.00	\$ (3,810.00)	227.0%
15	Install V-Lock and Crosswalk Signage	2.00	EA	\$ 950.00	\$ 1,900.00	-	\$ -	-	\$ -	-	\$ -	\$ 1,900.00	0.0%
16	Inlet Protection	21.00	EA	\$ 72.00	\$ 1,512.00	21.00	\$ 1,512.00	-	\$ -	21.00	\$ 1,512.00	\$ -	100.0%
A-1	Continuous Diamond Grinding Concrete Pavement	6000.00	SY	\$ 8.30	\$ 49,800.00	-	\$ -	4,970.00	\$ 41,251.00	4,970.00	\$ 41,251.00	\$ 8,549.00	82.8%
A-2	Remove Existing Joint Sealant and Clean Joint	9500.00	LF	\$ 0.65	\$ 6,175.00	-	\$ -	8,680.00	\$ 5,642.00	8,680.00	\$ 5,642.00	\$ 533.00	91.4%
A-3	Seal Joint with Hot Rubberized Asphaltic Material	9500.00	LF	\$ 0.65	\$ 6,175.00	-	\$ -	8,680.00	\$ 5,642.00	8,680.00	\$ 5,642.00	\$ 533.00	91.4%
Change Orders													
CO1.1	Bike Lane & Arrow Pavement Markings	1.00	LS.	\$ 250.00	\$ 250.00	-	\$ -	1.00	\$ 250.00	1.00	\$ 250.00	\$ -	100.0%
CO1.2	Remove Existing Sidewalk & Prep for Village-Placed Sidewalks	1975.50	SF	\$ 3.00	\$ 5,926.50	-	\$ -	1,975.50	\$ 5,926.50	1,975.50	\$ 5,926.50	\$ -	100.0%

Unit Cost Breakdown

Project: Kimberly - Kennedy Ave

Contractor: Vinton Construction Company

Application Date: 10/22/25

VCC Job# 25073

Payment Application #: 2

ITEM NO.	DESCRIPTION OF WORK	Scheduled-				Work Completed				Total Completed/Stored		Scheduled Vs.	Percent Complete
		Quantity	UOM	Unit Price	Amount	Previous Request		This Request		To Date		Actual	
						Quantity	Amount	Quantity	Amount	Quantity	Amount	Add(Deduct)	
CO1.3	8" VS 6" Concrete Credit	1.00	LS.	\$ (4,560.00)	\$ (4,560.00)	-	\$ -	1.00	\$ (4,560.00)	1.00	\$ (4,560.00)	\$ -	100.0%
CO1.4	Balancing Additional Quantities	1.00	LS.	\$ 94,331.84	\$ 94,331.84	-	\$ -	-	\$ -	-	\$ -	\$ 94,331.84	0.0%
	Total:				\$ 395,682.39		\$ 143,348.55		\$ 252,333.84		\$ 395,682.39	\$ -	
	Less: 5% Retainage						\$ 7,493.35		\$ (7,493.35)		\$ -		
	Total:						\$ 135,855.20		\$ 259,827.19		\$ 395,682.39		
	Amount Previously Requested						\$ 135,855.20		\$ -		\$ 135,855.20		
	Amount DueThis Request								\$ 259,827.19		\$ 259,827.19		



Village of Kimberly REQUEST FOR BOARD CONSIDERATION

ITEM DESCRIPTION: Amend Municipal Code §270 Fires and Fire Prevention Code

REPORT PREPARED BY: Danielle Block, Administrator/DPW

REPORT DATE: 10/27/2025

ADMINISTRATOR'S REVIEW / COMMENTS:

No additional comments to this report _____

See additional comments attached _____

EXPLANATION:

The Kimberly Fire Department has requested an amendment to the Municipal Code §270 Fire Prevention as it relates to violations, inspections and reinspections. The sections added allow the Fire Department to impose fees and compel timely response and compliance with fire inspection corrections.

The Kimberly Fire Department does not charge a fee for the initial inspection, however subsequent inspections would be charged with this change. Further, if compliance is not reached the modifications to this ordinance allow for penalties to be imposed. It would be our desire to gain compliance and avoid penalties when possible.

Recommended action:

Staff recommends approval of Ordinance 10, Series of 2025 Amending Chapter 270, Fires and Fire Prevention Code related to Inspection Penalties and Fees.

**VILLAGE OF KIMBERLY
OUTAGAMIE COUNTY, WISCONSIN
ORDINANCE NUMBER 10, SERIES OF 2025**

**AN ORDINANCE AMENDING CHAPTER 270, FIRES AND FIRE PREVENTION
CODE OF THE VILLAGE OF KIMBERLY MUNICIPAL CODE RELATED TO
INSPECTION PENALTIES AND FEES**

BE IT ORDAINED by the Village Board of Trustees, Village of Kimberly, Outagamie County, Wisconsin as follows:

Section 1. Chapter 270, Fire and Fire Prevention, of Municipal Code, is hereby amended to read as follows:

§270-11. Violations and penalties.

Any person, business, corporation, partnership, limited liability company, limited liability partnership, or other entity who violates any provision of this article or any order, rule or regulation made hereunder shall pay a forfeiture as provided in the Municipal Fee Schedule or Bond Schedule, together with the cost of prosecution. Each day that a violation continues to exist shall constitute a separate offense.

§ 270-12. Inspection and reinspection fees.

Fees for fire inspections and reinspections shall be imposed upon the owner of each property in accordance with the Municipal Fee Schedule approved by the Village Board from time to time.

Section 2. Severability. The provisions of this ordinance are declared to be severable, and if any provision of this ordinance is held to be invalid or unconstitutional, or if the application of this ordinance to any person or circumstances is invalid or unconstitutional, such invalidity or unconstitutionality shall not affect any remaining provisions or applications of this ordinance.

Section 3. Effective Date. This Ordinance shall take effect upon passage and publication as provided by law.

Date introduced, approved and adopted: October 27, 2025.

[Signatures are on the following page]



VILLAGE OF KIMBERLY

Charles A. Kuen, Village President

Jennifer Weyenberg, Clerk-Treasurer