# VILLAGE PLAN COMMISSION AGENDA

**Tuesday, October 21, 2025, at 5:00pm**
**Rick J. Hermus Council Chambers**
**515 W. Kimberly Ave.**
**Kimberly, WI 54136**

---

1. **Call to Order**

2. **Roll Call**

3. **Moment of Silent Reflection, Pledge of Allegiance**

4. **Approval of September 16, 2025, Meeting Minutes**

5. **Public Hearing**
   a. Public Hearing Planned Unit Development Amendment for Lot 27 of the Rivers Edge Subdivision

6. **Unfinished Business for Consideration or Action**
   a. None

7. **New Business for Consideration or Action**
   a. Planned Unit Development Amendment for Lot 27 of the Rivers Edge Subdivision

8. **Adjournment**

**Plan Commission**
**Please join my meeting from your computer, tablet or smartphone.**
https://meet.goto.com/894788813
**You can also dial in using your phone.**
Access Code: 894-788-813
United States (Toll Free): 1 866 899 4679
United States: +1 (571) 317-3116

Any person wishing to attend the meeting who because of their disability is unable to attend, is requested to contact the ADA Coordinator at 920-788-7500 at least 48 hours prior to the meeting so that reasonable accommodations may be made.

**VILLAGE OF KIMBERLY**
**PLAN COMMISSION MINUTES**
**09/16/2025**

A meeting of the Village Kimberly Plan Commission was called to order on Tuesday, September 16, 2025, at 5:00pm in the Rick J. Hermus Council Chambers, 515 W. Kimberly Ave, by President Kuen.

| | |
|---|---|
| Commissioners Present: | President Chuck Kuen and Commissioners: Michael Robach, Jeremy Freund, Norb Karner, and Nancy Bourassa |
| Commissioners Excused: | Commissioners Dave Vander Velden and Todd Schneider |
| Staff Present: | Deputy Clerk Erica Ziegert, Administrator/Director of Public Works Danielle Block & Community Development Director Sam Schroeder |

**Approval of Minutes from the 08-19-2025 Meeting**
Commissioner Karner moved, Commissioner Robach seconded the motion to approve. Motion carried by unanimous vote.

**Public Hearing**
**Ordinance No. 7, Series 2025 Amending Chapter 525, Zoning Code of the Village of Kimberly Municipal Code related to Parking and Driveways**
Commissioner Karner moved, Commissioner Freund seconded the motion to convene to a public hearing. Motion carried by unanimous vote at 5:01pm.
With no comments brought forward, President Kuen called for a motion to close the hearing. Commissioner Karner moved, Commissioner Bourassa seconded the motion to close the Public Hearing and reconvene into the regular meeting. The motion carried by unanimous vote at 5:02pm.

**Unfinished Business**
None

**New Business**
**Site & Architectural Review – Freedom Fellowship Church – 724 S Railroad Street**
Commissioner Karner moved, Commissioner Robach seconded the motion to approve the site plan and architectural components for Freedom Fellowship Church located at 724 S Railroad Street as presented, contingent upon the following:
1. Parking is not permitted in the grass or gravel areas in the rear of the building. Any expanded parking beyond paving the gravel area for traffic flow, would require additional review. Furthermore, any future access between 724 S Railroad Street and the property to the south shall require review by the Village of Kimberly. 2. New outdoor lighting shall be installed within six months of occupancy and shall be full cutoff and meet Village ordinances. 3. Any future accessory structures shall meet ordinance and shall be submitted to the Village of Kimberly for approval. 4. Any dumpster or refuse shall be enclosed and out of view from off premise and shall be located in the rear of the building. Motion carried by unanimous vote.

**Ordinance No. 7, Series 2025 Amending Chapter 525, Zoning Code of the Village of Kimberly Municipal Code related to Parking and Driveways**

Commissioner Freund moved, Commissioner Karner seconded the motion to approve Ordinance No. 7, Series 2025 Amending Chapter 525, Zoning Code of the Village of Kimberly Municipal Code related to Parking and Driveways**.** Motion carried by unanimous vote.

**Adjournment**

Commissioner Karner moved, Commissioner Freund seconded the motion to adjourn. Motion carried by unanimous vote at 5:13pm.

_____

Erica Ziegert
Deputy Clerk
Dated 09/17/2025

VILLAGE OF KIMBERLY

515 W. Kimberly Avenue

Kimberly, WI 54136

THE VILLAGE OF KIMBERLY
NOTICE OF PUBLIC HEARING

TAKE NOTICE that the Village Board of the Village of Kimberly, Wisconsin (the "Board") will hold a public hearing on a proposed amendment to the previously approved Planned Unit Development (PUD) for Lot 27 of the Rivers Edge Subdivision. The Board will be considering the amendment following a public hearing on Monday, October 27, 2025, at 5:00pm or shortly thereafter. An informal hearing will be considered as well at the Village Plan Commission meeting on Tuesday, October 21, 2025, at 5:00pm or shortly thereafter. Both hearings will take place at the Kimberly Municipal Complex, 515 W Kimberly Avenue, Kimberly, Wisconsin in the Council Chambers. Persons interested in this matter will be given an opportunity to comment and ask questions about the proposed determination.

THE VILLAGE OF KIMBERLY, WISCONSIN

Published: October 8th and October 15th, 2025

# Village of Kimberly
# Request for
# Plan Commission Recommendation

**ITEM DESCRIPTION:** Planned Unit Development Amendment – Lot 27 of Rivers Edge Subdivision

**REPORT PREPARED BY:** Sam Schroeder, Community Development Director

**REPORT DATE:** October 21, 2025

**EXPLANATION:** In 2019, the Village approved the rezoning and a Planned Unit Development (PUD) plan for the development of Lot 27 within the Rivers Edge Subdivision to include 4 – two unit, zero-lot line structures (8 total dwelling units). The purpose of a PUD is to encourage and promote improved environmental design in the Village of Kimberly by allowing for greater freedom, imagination and flexibility in the development of land while ensuring substantial compliance with the basic intent of the zoning ordinance and the general plan for community development.

In principle, the design and layout met the intent and primary regulations of a residential development. The few differences included the use of a private drive, shared common areas, and a reduced setback for amenities such as patios and decks. The design concept that was originally approved for this site was similar to the development of Lot 43, along Papermill Circle, just east of the WE Energies substation. This also included a zero-lot line condo development along a private drive.

Due to the market demand of these original spec units or lack thereof, the original developer is pivoting from a develop and sell portfolio, to selling the entire Lot 27 to a separate developer. In order to align with market demands, the prospective buyer and new developer is requesting approval for a split-level home. The intent will be to lease some of the units and potentially sell units in the future. Attached is the building concept. This layout is slightly longer than the previous unit. In order to maintain the rear 25 foot setback, the internal driveway and/or roadway width may be slightly reduced. These units will be included in a HOA and professionally managed for lawn care, landscaping and snow removal.

Since the time of the original approval, most of the infrastructure was reviewed and constructed. No condominium plat has been reviewed or recorded to date.

Attached to this staff report includes:

1. PUD Narrative
2. Split Level Building Concept
3. Marketing Site Plan
4. 2019 Village Board Memorandum and Packet

**RECOMMENDED ACTION**: Staff recommends approval of the planned unit development amendment for Lot 27 of Rivers Edge Subdivision including all conditions and original approvals with the following:

1. Additional architectural elements such as stone, brick, board and batten or shake shall be added to the building in both the front and rear facades of the dwellings to better fit with the surrounding development.
2. Minor modifications to the principal building shall be permitted upon review by the Village staff.
3. The principal building shall be setback a minimum of 25 feet from the adjacent properties.

4. Decks, patios, pergolas, and four-season rooms extended no more than 12 feet from the home, may be permitted along the north and south property lines and within the 25 foot setback as originally approved.
5. Prior to permits being issued, a landscape and grading and drainage plan shall be reviewed and approved by the Village similar to what is provided in the plans attached.

# Proposed Development: Rivers Edge Lot 27

All 8 units will be constructed as single-family attached condo dwellings with a zero lot line. The units will be built and marketed for sale as owner-occupied developments or for lease, with the developer holding the option to rent or sell.

The buyer developing these units will initially rent the first units and may sell some of the future units. They will be rented for $2,500.00 per unit and will go through a screening process and management company.

The declaration on Papermill Circle is the same, stating that Papermill Circle condos are owner-occupied or can be leased for a minimum of six months. This would be similar to how the 10 current condos on Papermill Circle for sale would be handled if rented.

## Market Information

Lot 43 Papermill Circle does not cash flow. We reduced the price again this week by $10,000 per unit. At this time, we are below the break-even price and lose money on each sale. The intent of ownership status for Lot 27 is the same as Lot 43: owner-occupied or available for lease for a minimum of 6 months.

The sale price for Lot 27 units will be $330,000 to $350,000 or leased for $2,500.00 per month.

## Development Details

- **Utilities:** Existing and storm water will be provided by a regional facility.
- **Landscaping:** Currently, there is a partial tree line. Additional landscaping treatments could be added if needed.
- **Construction Timeline/Staging:** Start 1-2 units as soon as approved, with completion of all units within 3 years.
- **Maintenance Plan:** Homeowners Association (HOA) for lawn care and snow removal.
- **Future Restrictions:** Declaration to be the same as Lot 43: no sheds, no fences, landscaping installed by developer, no pergolas on lawns. Patios or decks are allowed.
- **Building Plan/Design:** The builder is open to adding board and batten on areas and in roof gables with an appropriate color scheme to ensure the development is architecturally well-designed and fits the area.

## Final Thoughts

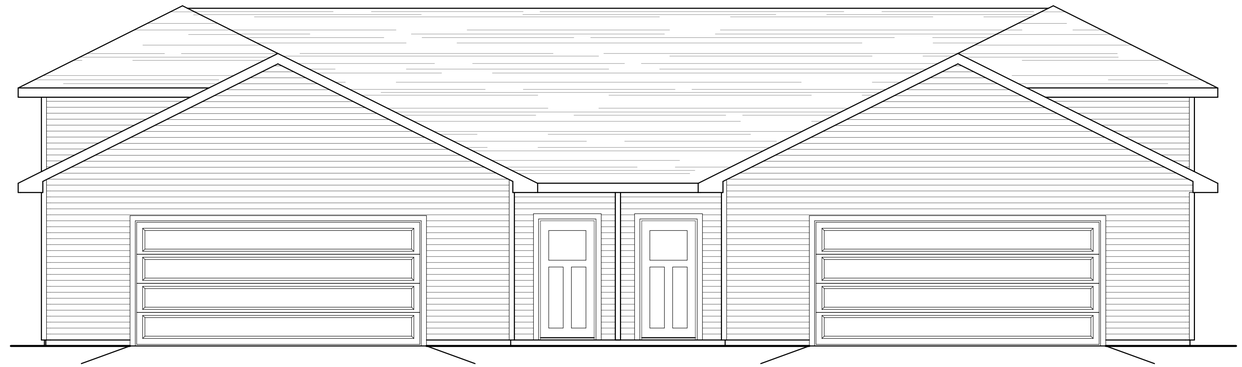
This style of condo is projected to cash flow. It will cost less for construction and integrate well with the existing residential homes. The 10 current condos for sale are not selling because their price point is too high, even though construction costs are at that level. We need a development that costs less to build.

AutoDigiSign Verified - d930a2de-2d42-4bb6-8e02-dc3d4091f30f

| | |
|---|---|
| SIDE A FIRST FLOOR AREA | 786 SF |
| SIDE A SECOND FLOOR AREA | 515 SF |
| SIDE A LOWER LEVEL AREA | 500 SF |
| **SIDE A TOTAL AREA** | **1801 SF** |
| SIDE A GARAGE AREA | 625 SF |

| | |
|---|---|
| SIDE B FIRST FLOOR AREA | 786 SF |
| SIDE B SECOND FLOOR AREA | 515 SF |
| SIDE B LOWER LEVEL AREA | 500 SF |
| **SIDE B TOTAL AREA** | **1801 SF** |
| SIDE B GARAGE AREA | 625 SF |

Daniel Peters 09/09/2025, 04:28:34 PM CDT



## FRONT ELEVATION
1/4" = 1'-0"

## LEFT ELEVATION
1/4" = 1'-0"

## RIGHT ELEVATION
1/4" = 1'-0"

***BID PLAN - FOR BIDDING PURPOSES ONLY***

| | | |
|---|---|---|
| 1 | PRELIMINARY PLAN | 03/05/2025 CJP |
| 2 | BID PLAN | 03/17/2025 CJP |
| 3 | BID PLAN | 03/24/2025 CJP |
| 4 | REVISED BID PLAN | 08/08/2025 CJP |
| 5 | | |
| 6 | | |
| 7 | | |
| 8 | | |
| 9 | | |

COPYRIGHT © 2025
COPYRIGHT FRESH BUILDING SUPPLY LLC
UNLAWFUL FOR ANYONE EXCEPT THE INDIVIDUAL OR ENTITY FOR WHOM THE EXPRESSED WRITTEN PERMISSION OF FRESH BUILDING SUPPLY LLC HAS BEEN OBTAINED TO USE ALL OR PART OF THIS DRAWING, FRESH BUILDING SUPPLY INC. RESERVES THE RIGHT TO USE ALL OR PART OF THIS DRAWING IN ANY MANNER.

ALTHOUGH EVERY EFFORT WILL BE MADE BY THE DESIGNER, CONTRACTOR OR SUBCONTRACTOR DRAWING, AND PREPARING THESE PLANS, THE DESIGNER, CONTRACTOR OR SUBCONTRACTOR ASSUMES NO LIABILITY FOR ANY CHANGES OR ADJUSTMENTS REQUIRED DURING CONSTRUCTION DUE TO ERRORS OR INACCURACY OF REPRESENTATION FOR OR INVALID ACCURACY.

# DEPERE DUPLEX

DEPERE, WI

ROBERT PETERS CONSTRUCTION

Drexel™ DrexelTeam.com

DESIGNER: CARLI PETERS
SCALE: 1/4" = 1'-0"
SHEET NO. A1
PROJECT NO. M25-158-W

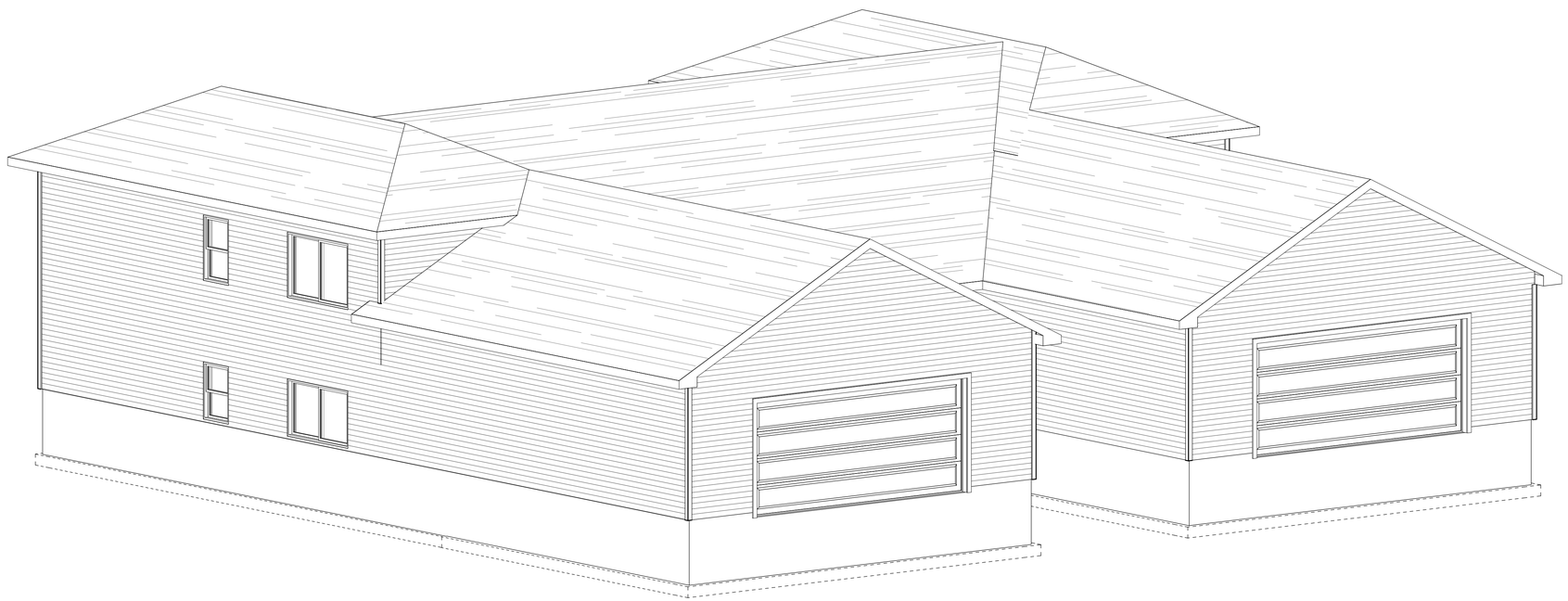
DigiSign Verified - d930a2de-2d42-4bb6-8e02-dc3d4091f30f

| | |
|---|---|
| SIDE A FIRST FLOOR AREA | 786 SF |
| SIDE A SECOND FLOOR AREA | 515 SF |
| SIDE A LOWER LEVEL AREA | 500 SF |
| **SIDE A TOTAL AREA** | **1801 SF** |
| SIDE A GARAGE AREA | 625 SF |

| | |
|---|---|
| SIDE B FIRST FLOOR AREA | 786 SF |
| SIDE B SECOND FLOOR AREA | 515 SF |
| SIDE B LOWER LEVEL AREA | 500 SF |
| **SIDE B TOTAL AREA** | **1801 SF** |
| SIDE B GARAGE AREA | 625 SF |

## REAR ELEVATION

1/4" = 1'-0"



***BID PLAN - FOR BIDDING PURPOSES ONLY***

| | | |
|---|---|---|
| A | PRELIMINARY PLAN | 03/05/2025 CJP |
| A | BID PLAN | 03/17/2025 CJP |
| A | BID PLAN | 03/24/2025 CJP |
| A | REVISED BID PLAN | 08/08/2025 CJP |
| A | | |
| A | | |
| A | | |
| A | | |
| A | | |

COPYRIGHT © 2025
COPYRIGHT 2025 BUILDER SUPPLY IS UNLIMITED TO USE FOR ANYONE BUILDING THIS PROJECT IN ACCORDANCE WITH EXPRESSED WRITTEN PERMISSION OF DREXEL BUILDER SUPPLY. DREXEL BUILDER SUPPLY, INC. RESERVES THE RIGHT TO USE ALL LEGAL MEANS TO ENFORCE THIS RIGHT.

ALTHOUGH EVERY EFFORT WILL BE MADE BY DREXEL TO ENSURE ACCURACY OF THE DRAWINGS/PLANS, CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR ANY ERRORS, OMISSIONS OR CHANGES OR ADDITIONS REQUIRED DURING CONSTRUCTION DUE TO INCORRECT DIMENSIONAL REPRESENTATION FOR OR BELIES ACCURACY.

# DEPERE DUPLEX

ROBERT PETERS CONSTRUCTION

DEPERE, WI

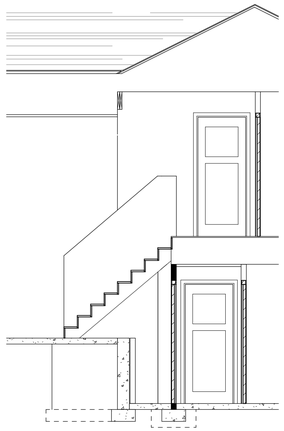
Drexel™ DrexelTeam.com

| | |
|---|---|
| DESIGNER: | CARLI PETERS |
| SCALE: | 1/4" = 1'-0" |
| SHEET NO. | A2 |
| PROJECT NO. | M25-158-W |

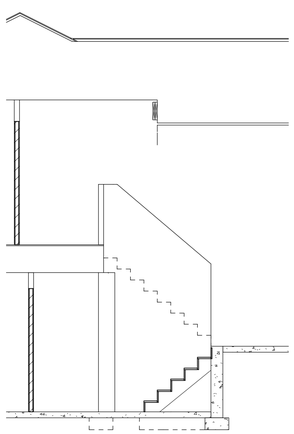
DigiSign Verified - d930a2de-2d42-4bb6-8e02-dc3d4091f30f

| | |
|---|---|
| SIDE A FIRST FLOOR AREA | 786 SF |
| SIDE A SECOND FLOOR AREA | 515 SF |
| SIDE A LOWER LEVEL AREA | 500 SF |
| **SIDE A TOTAL AREA** | **1801 SF** |
| SIDE A GARAGE AREA | 625 SF |

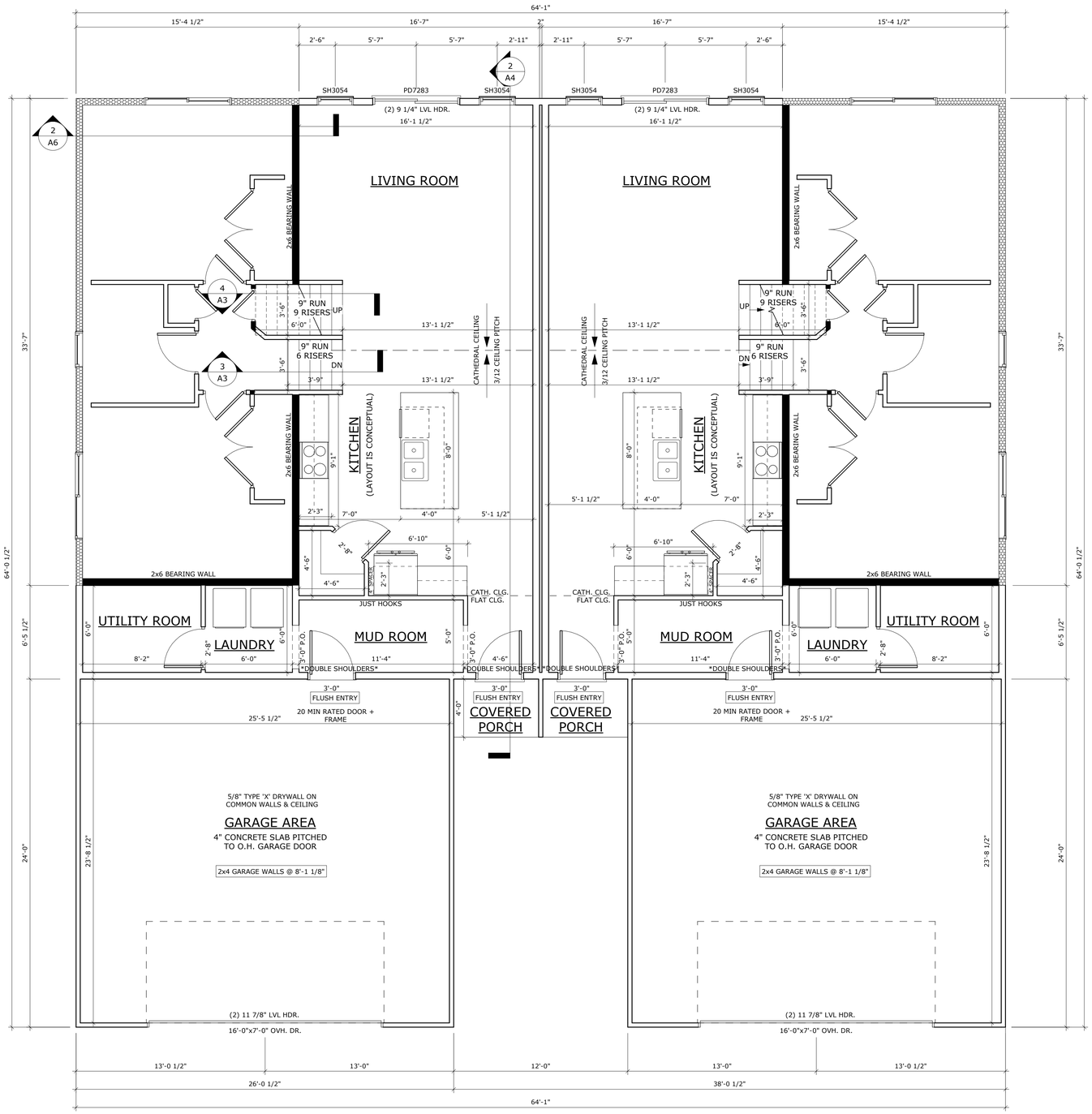
| | |
|---|---|
| SIDE B FIRST FLOOR AREA | 786 SF |
| SIDE B SECOND FLOOR AREA | 515 SF |
| SIDE B LOWER LEVEL AREA | 500 SF |
| **SIDE B TOTAL AREA** | **1801 SF** |
| SIDE B GARAGE AREA | 625 SF |



**4 SECOND FLOOR STAIRS**
**A3** 1/4" = 1'-0"



**3 LOWER LEVEL STAIRS**
**A3** 1/4" = 1'-0"




**FIRST FLOOR PLAN**
1/4" = 1'-0" WALL HEIGHT: 8'-1 1/8"

HOUSE FRAMED WALLS ADJUSTED OUT .5" TO ACCOMMODATE FOR 1" FOAM
(ADJ. AS NEEDED PER HEAT LOSS CALC.)

## NEW HOME PLAN SPECIFICATIONS

**FOUNDATION INFORMATION**
- **HOUSE FOUNDATION**
  8" x 4'-0" POURED CONCRETE WALL
- **GARAGE FOUNDATION**
  6" x 4'-0" POURED CONCRETE WALL
- **PORCH/PATIO FOUNDATION (UNEXCAVATED)**
  6" x 4'-0" POURED CONCRETE WALL (MIN. 4'-0" TALL)
- WALL THICKNESS FOR REPRESENTATION ONLY- FOUNDATION CONTACTOR/GENERAL CONTRACTOR TO VERIFY
- FINAL FOOTING SIZE AND DEPTH DETERMINED BY FOUNDATION CONTACTOR/GENERAL CONTRACTOR
- FOUNDATION CONTACTOR TO LOCATE PILASTERS AND SIZE FOOTINGS PER CODE AND SOIL CONDITIONS
- WINDOWS/DOORS TO BE SET IN CONCRETE WALL- MAKE R.O. 3" BIGGER IN WIDTH AND HEIGHT
- BEARING WALLS TO SIT ON MIN. 16" X 8"CONT. CONCRETE FOOTINGS, STUDS @ 16" O.C.

**WALL INFORMATION**
- STUDS @ 16" O.C. (UNLESS NOTED/SHOWN OTHERWISE)
- **HOUSE EXTERIOR**
  FIRST FLOOR WALL HEIGHT: 2 x 6 x 8' 1 1/8"
  (UNLESS NOTED/SHOWN OTHERWISE)
  SECOND FLOOR WALL HEIGHT: 2 x 6 x 8' 1 1/8"
  (UNLESS NOTED/SHOWN OTHERWISE)
- **HOUSE INTERIOR**
  FIRST FLOOR WALL HEIGHT: 2 x 4 x 8' 1 1/8"
  (UNLESS NOTED/SHOWN OTHERWISE)
  SECOND FLOOR WALL HEIGHT: 2 x 4 x 8' 1 1/8"
  (UNLESS NOTED/SHOWN OTHERWISE)
- **GARAGE**
  WALL HEIGHT: 2 x 4 x 8'-8 1/8"
  (UNLESS NOTED/SHOWN OTHERWISE)

**FLOOR SYSTEMS**
- **BASEMENT**
  4" CONCRETE SLAB
- **FIRST FLOOR**
  4" CONCRETE SLAB
- **SECOND FLOOR**
  18" FLOOR TRUSS @ 19.2" O.C.
- STANDARD LOADING (PER SQ. FT.)
  40# LL. 15# DL.
- ADDITIONAL LOADING (PER SQ. FT.) (WHEN APPLICABLE)
  10# DL. FOR TILE FLOOR 13# DL. FOR GYPCRETE (1.5" THICK)
  20# DL. FOR FIREPLACE FACE 20# DL. FOR FIREPLACE HEARTH
  25# DL. FOR GRANITE/QUARTZ
- DEFLECTION: LL=L/480, TL=L/360
- DURATION OF LOAD: 1.00%

**ROOF SYSTEMS**
- ENGINEERED WOOD TRUSSES @24" O.C.
  DESIGNED FOR: ZONE 2
- STD. LOADING (PER SQ. FT.)
  30# TCLL, 10# TCDL, 10# BCDL
- DEFLECTION: LL=L/240, TL=L/180
- DURATION OF LOAD: 1.15%

**HEADERS**
- STANDARD HEADER
  ALL HEADERS NOT LABELED AS LVL TO BE MIN. (2) 2X10'S HEADER FOR ON-SITE (UNLESS VALUE ENGINEERED FOR OFF-SITE CONSTRUCTION)
- TOP OF WINDOW R.O.S.
  FIRST FLOOR @ 6'-11 3/8" ABOVE SUBFLOOR
  (UNLESS NOTED/SHOWN OTHERWISE)
  SECOND FLOOR @ 6'-11 3/8" ABOVE SUBFLOOR
  (UNLESS NOTED/SHOWN OTHERWISE)
- MINIMUM OF (2) SHOULDER STUDS AT EACH END FOR ALL OPENINGS 6'-0" AND LARGER

**GENERAL INFORMATION**
- ALL DIMENSIONS ARE TO THE ROUGH STUD (UNLESS NOTED OTHERWISE)
  2X6 WALLS=5 ½", 2X4 WALLS =3 ½"
- ALL DIMENSIONS ARE TO OUTSIDE OF FOUNDATION WALLS/BRICK LEDGES
- GENERAL CONTRACTOR TO LOCATE THE FOLLOWING ITEMS IN THE FOUNDATION (WHEN APPLICABLE)
  FLOOR DRAINS, ELECTRIC SERVICES, WATER HEATER, SUMP PIT + PUMP, FURNACE, GAS/LP LINE, BASEMENT WINDOWS,ETC.
- ACTUAL STEPS IN FOUNDATION WALLS AND LOCATION OF WINDOW WELLS TO BE DETERMINED ON-SITE BY GENERAL CONTRACTOR
- DECK FRAMING SPECIFICATION TO MEET OR EXCEED REQUIREMENTS DEFINED WITHIN "APPENDIX B" OF THE WI UNIFORM DWELLING
- ALL CABINET LAYOUTS ARE CONCEPTUAL-CONSULT CABINET DESIGNER FOR EXACT SIZES AND LOCATIONS OF CABINETS, APPLIANCES, AND WINDOWS
- ALL DOOR HEIGHTS ARE 6'-8" UNLESS NOTED/SHOWN OTHERWISE

| | | |
|---|---|---|
| A | PRELIMINARY PLAN | 03/05/2025 CJP |
| A | BID PLAN | 03/17/2025 CJP |
| A | BID PLAN | 03/24/2025 CJP |
| A | REVISED BID PLAN | 08/08/2025 CJP |
| A | | |
| A | | |
| A | | |
| A | | |
| A | | |
| A | | |

COPYRIGHT © 2025
COPYRIGHT (WORLD WIDE) ALL RIGHTS RESERVED. THIS PROJECT IS PROPRIETARY TO DREXEL TEAM, INC. AND IS FOR USE ONLY IN THE PROSECUTION OF OR REVISION TO THE PROJECT FOR WHICH IT WAS PREPARED. ANY OTHER USE, INCLUDING BUT NOT LIMITED TO USE BY OTHERS ON OTHER PROJECTS, IS PROHIBITED WITHOUT THE EXPRESSED WRITTEN PERMISSION OF DREXEL TEAM, INC. THE ARCHITECT OF RECORD. THE OWNER OF THE PROJECT HAS THE RIGHT TO USE ALL DRAWINGS FOR OPERATION AND MAINTENANCE OF THE PROJECT.
ALL TRADES MUST VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO THE COMMENCEMENT OF WORK. NO ALLOWANCE WILL BE MADE FOR EXTRA COSTS DUE TO DIMENSIONAL CONFLICTS OR ABSENCE OF DIMENSIONS. ANY DISCREPANCIES MUST BE REPORTED TO THE ARCHITECT OF RECORD IMMEDIATELY. ALL DIMENSIONS TO BE FIELD VERIFIED. ANY CHANGES OR ADJUSTMENTS REQUIRED DURING CONSTRUCTION MUST HAVE WRITTEN REPRESENTATION FOR OR WAIVER ACCURACY.

**BID PLAN - FOR BIDDING PURPOSES ONLY**

# DEPERE DUPLEX

DEPERE, WI

ROBERT PETERS CONSTRUCTION

Drexel Inc.
DrexelTeam.com

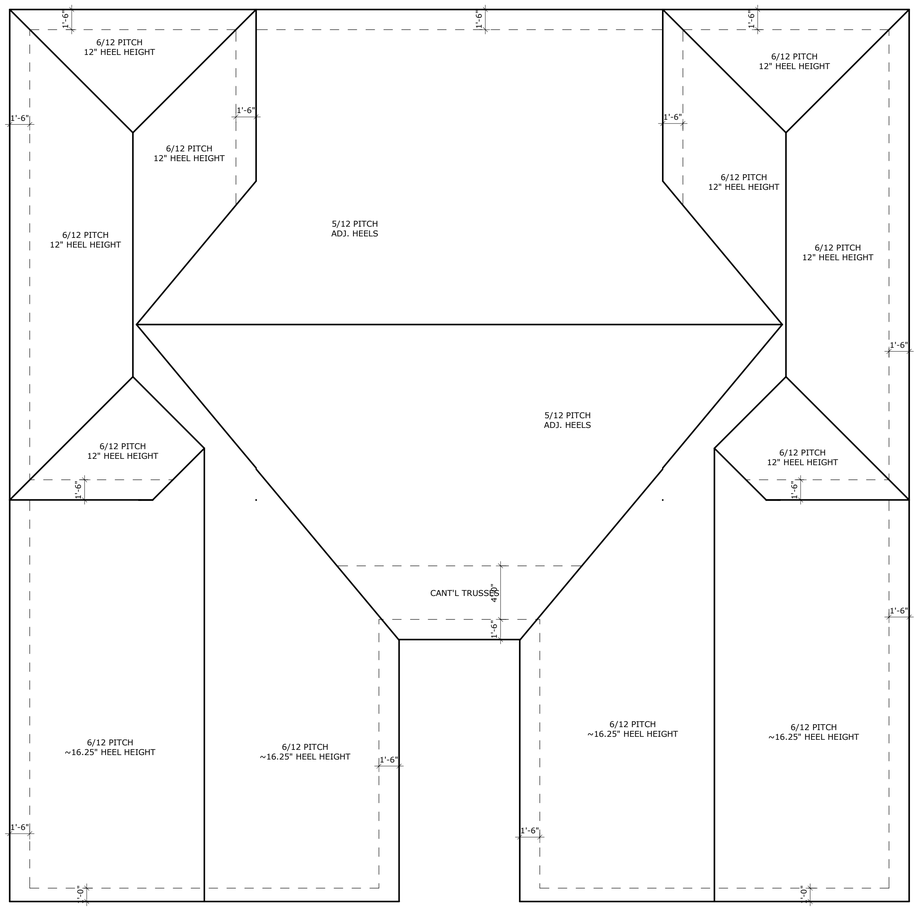
DESIGNER: CARLI PETERS
SCALE: 1/4" = 1'-0"
SHEET NO.: A3
PROJECT NO.: M25-158-W

AutoDigiSign Verified - d930a2de-2d42-4bb6-8e02-dc3d4091f30f

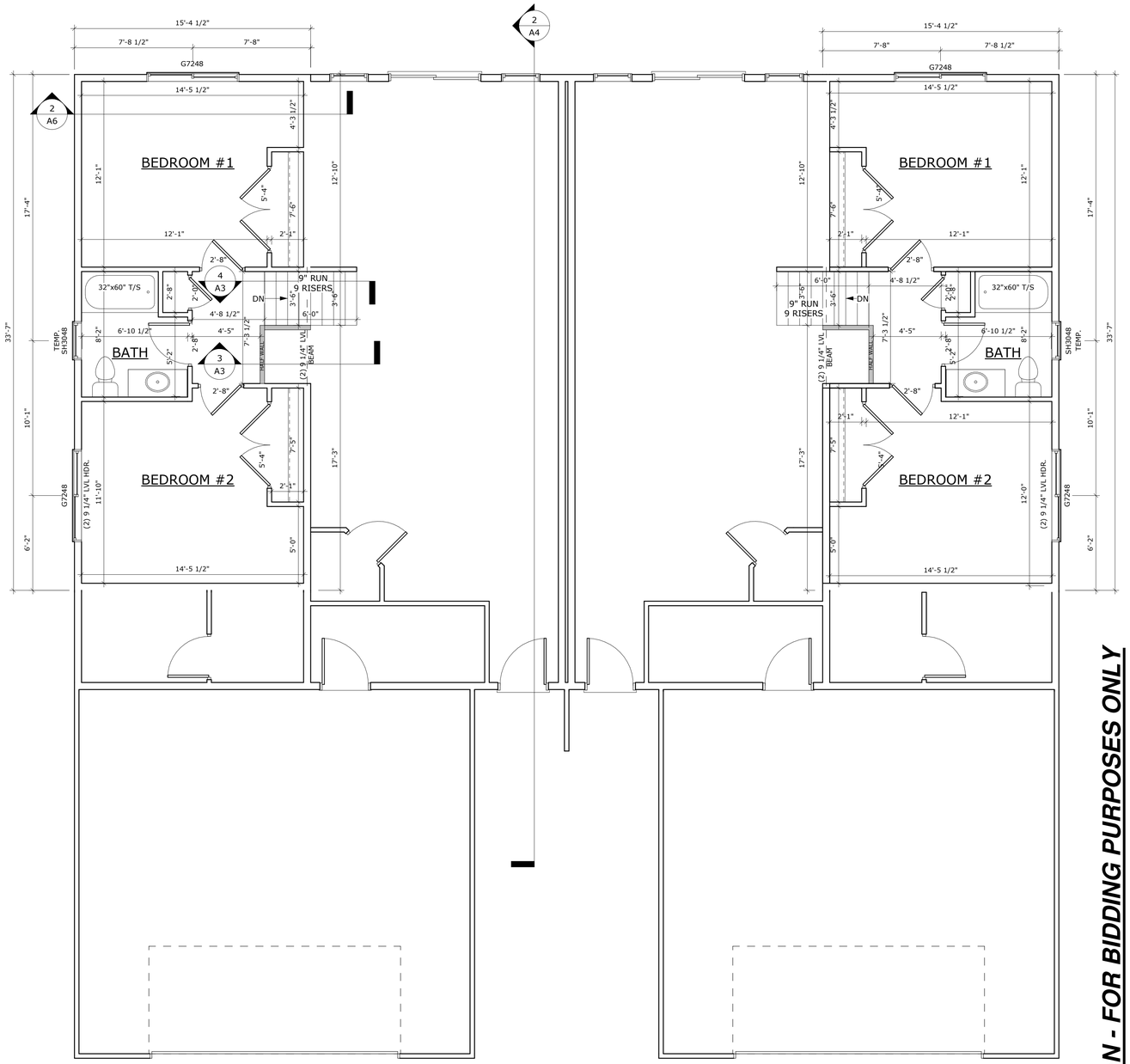
| | |
|---|---|
| SIDE A FIRST FLOOR AREA | 786 SF |
| SIDE A SECOND FLOOR AREA | 515 SF |
| SIDE A LOWER LEVEL AREA | 500 SF |
| **SIDE A TOTAL AREA** | **1801 SF** |
| SIDE A GARAGE AREA | 625 SF |

| | |
|---|---|
| SIDE B FIRST FLOOR AREA | 786 SF |
| SIDE B SECOND FLOOR AREA | 515 SF |
| SIDE B LOWER LEVEL AREA | 500 SF |
| **SIDE B TOTAL AREA** | **1801 SF** |
| SIDE B GARAGE AREA | 625 SF |

## 2 CATHEDRAL SECTION
A4 1/4" = 1'-0"




## ROOF PLAN
3/16" = 1'-0"




## SECOND FLOOR PLAN
1/4" = 1'-0"

HOUSE FRAMED WALLS ADJUSTED OUT .5" TO ACCOMMODATE FOR 1" FOAM
(ADJ. AS NEEDED PER HEAT LOSS CALC.)

***BID PLAN - FOR BIDDING PURPOSES ONLY***

| | | |
|---|---|---|
| A | PRELIMINARY PLAN | 03/05/2025 CJP |
| A | BID PLAN | 03/17/2025 CJP |
| A | BID PLAN | 03/24/2025 CJP |
| A | REVISED BID PLAN | 08/06/2025 CJP |
| A | | |
| A | | |
| A | | |
| A | | |
| A | | |

COPYRIGHT © 2025
COPYRIGHT PROVIDE BUILDING SUPPLY IS PROVIDING THIS DRAWING FOR YOUR USE ONLY. PROVIDE BUILDING SUPPLY RESERVES THE RIGHT TO USE ALL OTHER RIGHTS, INCLUDING THE RIGHT TO REPRODUCE, EXPRESSED WRITTEN PERMISSION OF PROVIDE BUILDING SUPPLY. ALL RIGHTS RESERVED. PROVIDE BUILDING SUPPLY INC. RESERVES THE RIGHT TO USE ALL OTHER RIGHTS, INCLUDING THE RIGHT TO REPRODUCE.

ALTHOUGH EVERY EFFORT WILL BE MADE BY THE DRAWER/DESIGNER, CONTRACTOR AGREES TO REVIEW ALL DRAWINGS, PLANS, SPECIFICATIONS, DETAILS, INCORPORATING AND PERFORMING THOSE CHANGES OR ADJUSTMENTS PROPERLY DEEMED NECESSARY BY THE CONTRACTOR. PROVIDE BUILDING SUPPLY DOES NOT GUARANTEE OR REPRESENTATION FOR OR WAIVES ACCURACY.

# DEPERE DUPLEX

DEPERE, WI

ROBERT PETERS CONSTRUCTION

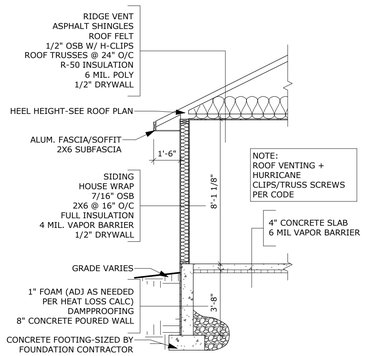
Drexel™ DrexelTeam.com

DESIGNER: CARLI PETERS
SCALE: As indicated
SHEET NO: A4
PROJECT NO: M25-158-W

AutoDigiSign Verified - d930a2de-2d42-4bb6-8e02-dc3d4091f30f

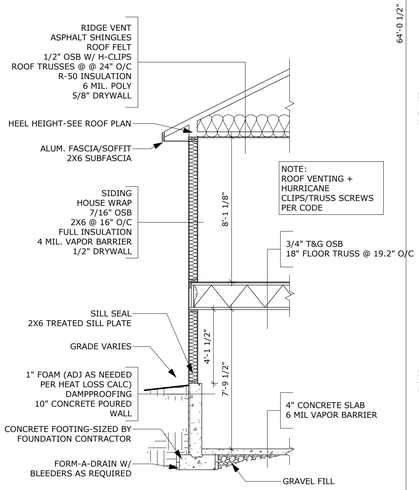
| | |
|---|---|
| SIDE A FIRST FLOOR AREA | 786 SF |
| SIDE A SECOND FLOOR AREA | 515 SF |
| SIDE A LOWER LEVEL AREA | 500 SF |
| **SIDE A TOTAL AREA** | **1801 SF** |
| SIDE A GARAGE AREA | 625 SF |

| | |
|---|---|
| SIDE B FIRST FLOOR AREA | 786 SF |
| SIDE B SECOND FLOOR AREA | 515 SF |
| SIDE B LOWER LEVEL AREA | 500 SF |
| **SIDE B TOTAL AREA** | **1801 SF** |
| SIDE B GARAGE AREA | 625 SF |



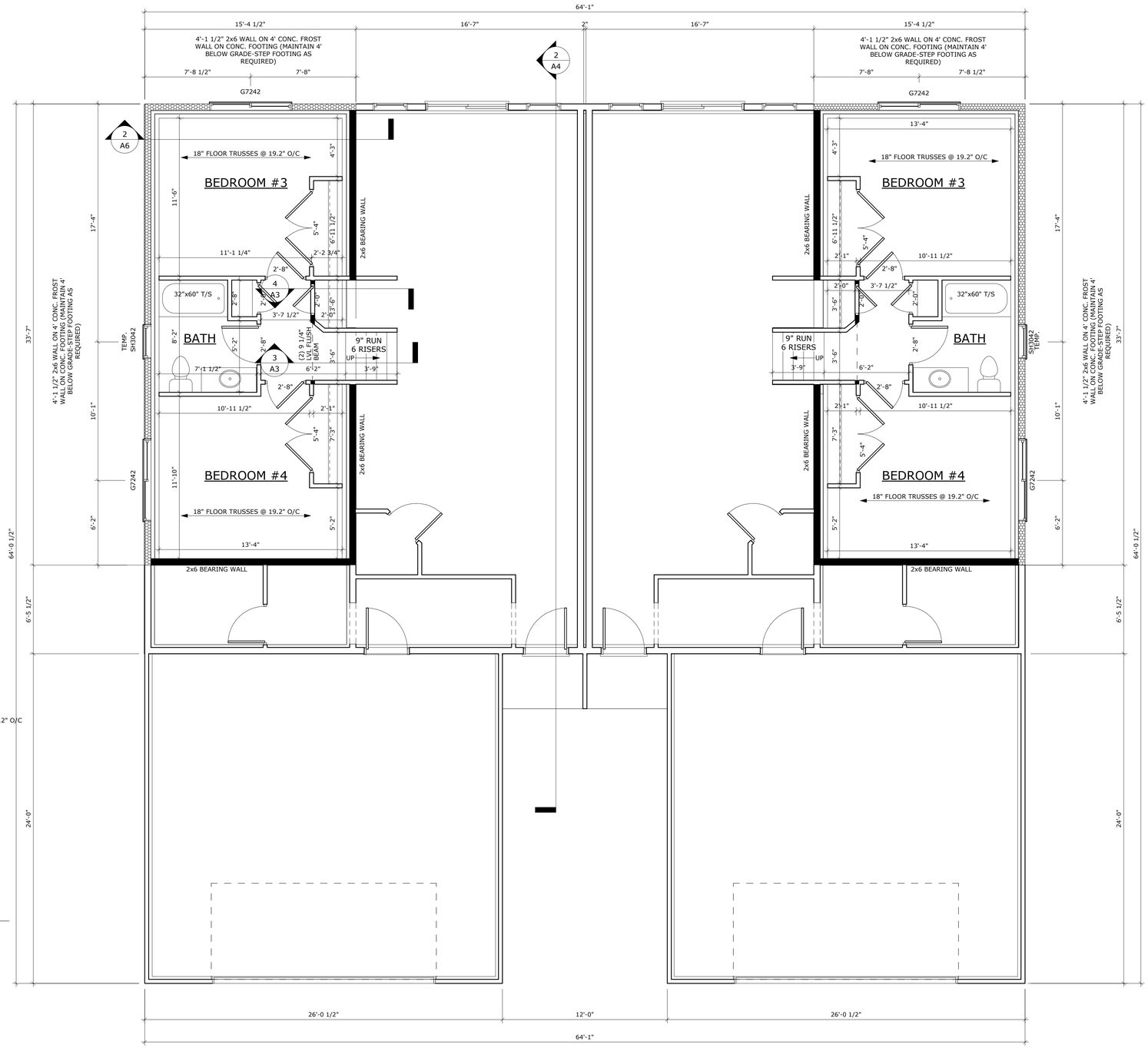

## MAIN LEVEL WALL SECTION

1/4" = 1'-0"




## TYPICAL WALL SECTION

1/4" = 1'-0"




## LOWER LEVEL PLAN

1/4" = 1'-0"

HOUSE FRAMED WALLS ADJUSTED OUT .5" TO ACCOMMODATE FOR 1" FOAM (ADJ. AS NEEDED PER HEAT LOSS CALC.)

## NEW HOME PLAN SPECIFICATIONS

**FOUNDATION INFORMATION**
- **HOUSE FOUNDATION**
  8" x 4'-0" POURED CONCRETE WALL
- **GARAGE FOUNDATION**
  6" x 4'-0" POURED CONCRETE WALL
- **PORCH/PATIO FOUNDATION (UNEXCAVATED)**
  6" x 4'-0" POURED CONCRETE WALL (MIN. 4'-0" TALL)
- WALL THICKNESS FOR REPRESENTATION ONLY- FOUNDATION CONTACTOR/GENERAL CONTRACTOR TO VERIFY
- FINAL FOOTING SIZE AND DEPTH DETERMINED BY FOUNDATION CONTACTOR/GENERAL CONTRACTOR
- FOUNDATION CONTACTOR TO LOCATE PILASTERS AND SIZE FOOTINGS PER CODE AND SOIL CONDITIONS
- WINDOWS/DOORS TO BE SET IN CONCRETE WALL- MAKE R.O. 3" BIGGER IN WIDTH AND HEIGHT
- BEARING WALLS TO SIT ON MIN. 16" X 8"CONT. CONCRETE FOOTINGS, STUDS @ 16" O.C.

**WALL INFORMATION**
- STUDS @ 16" O.C. (UNLESS NOTED/SHOWN OTHERWISE)
- **HOUSE EXTERIOR**
  FIRST FLOOR WALL HEIGHT: 2 x 6 x 8' 1 1/8"
  (UNLESS NOTED/SHOWN OTHERWISE)
  SECOND FLOOR WALL HEIGHT: 2 x 6 x 8' 1 1/8"
  (UNLESS NOTED/SHOWN OTHERWISE)
- **HOUSE INTERIOR**
  FIRST FLOOR WALL HEIGHT: 2 x 4 x 8' 1 1/8"
  (UNLESS NOTED/SHOWN OTHERWISE)
  SECOND FLOOR WALL HEIGHT: 2 x 4 x 8' 1 1/8"
  (UNLESS NOTED/SHOWN OTHERWISE)
- **GARAGE**
  WALL HEIGHT: 2 x 4 x 8'-8 1/8"
  (UNLESS NOTED/SHOWN OTHERWISE)

**FLOOR SYSTEMS**
- **BASEMENT**
  4" CONCRETE SLAB
- **FIRST FLOOR**
  4" CONCRETE SLAB
- **SECOND FLOOR**
  18" FLOOR TRUSS @ 19.2" O.C.
- STANDARD LOADING (PER SQ. FT.)
  40# LL. 15# DL.
- ADDITIONAL LOADING (PER SQ. FT.) (WHEN APPLICABLE)
  10# DL. FOR TILE FLOOR 13# DL. FOR GYPCRETE (1.5" THICK)
  20# DL. FOR FIREPLACE FACE 20# DL. FOR FIREPLACE HEARTH
  25# DL. FOR GRANITE/QUARTZ
- DEFLECTION: LL=L/480, TL=L/360
- DURATION OF LOAD: 1.00%

**ROOF SYSTEMS**
- ENGINEERED WOOD TRUSSES @24" O.C.
  DESIGNED FOR: ZONE 2
- STD. LOADING (PER SQ. FT.)
  30# TCLL, 10# TCDL, 10# BCDL
- DEFLECTION: LL=L/240, TL=L/180
- DURATION OF LOAD: 1.15%

**HEADERS**
- STANDARD HEADER
  ALL HEADERS NOT LABELED AS LVL TO BE MIN. (2) 2X10'S HEADER FOR ON-SITE (UNLESS VALUE ENGINEERED FOR OFF-SITE CONSTRUCTION)
- TOP OF WINDOW R.O.S.
  FIRST FLOOR @ 6'-11 3/8" ABOVE SUBFLOOR
  (UNLESS NOTED/SHOWN OTHERWISE)
  SECOND FLOOR @ 6'-11 3/8" ABOVE SUBFLOOR
  (UNLESS NOTED/SHOWN OTHERWISE)
- MINIMUM OF (2) SHOULDER STUDS AT EACH END FOR ALL OPENINGS 6'-0" AND LARGER

**GENERAL INFORMATION**
- ALL DIMENSIONS ARE TO THE ROUGH STUD (UNLESS NOTED OTHERWISE)
  2X6 WALLS=5 ½", 2X4 WALLS =3 ½"
- ALL DIMENSIONS ARE TO OUTSIDE OF FOUNDATION WALLS/BRICK LEDGES
- GENERAL CONTRACTOR TO LOCATE THE FOLLOWING ITEMS IN THE FOUNDATION (WHEN APPLICABLE)
  FLOOR DRAINS, ELECTRIC SERVICES, WATER HEATER, SUMP PIT + PUMP, FURNACE, GAS/LP LINE, BASEMENT WINDOWS,ETC.
- ACTUAL STEPS IN FOUNDATION WALLS AND LOCATION OF WINDOW WELLS TO BE DETERMINED ON-SITE BY GENERAL CONTRACTOR
- DECK FRAMING SPECIFICATION TO MEET OR EXCEED REQUIREMENTS DEFINED WITHIN "APPENDIX B" OF THE WI UNIFORM DWELLING
- ALL CABINET LAYOUTS ARE CONCEPTUAL-CONSULT CABINET DESIGNER FOR EXACT SIZES AND LOCATIONS OF CABINETS, APPLIANCES, AND WINDOWS
- ALL DOOR HEIGHTS ARE 6'-8" UNLESS NOTED/SHOWN OTHERWISE

| | | |
|---|---|---|
| A | PRELIMINARY PLAN | 03/05/2025 CJP |
| A | BID PLAN | 03/17/2025 CJP |
| A | BID PLAN | 03/24/2025 CJP |
| A | REVISED BID PLAN | 08/06/2025 CJP |
| A | | |
| A | | |
| A | | |
| A | | |
| A | | |

COPYRIGHT © 2025
COPYRIGHT FRIEDL BUILDING SERVICES
THIS PLAN IS OR WILL BE THE PROPERTY OF FRIEDL BUILDING SERVICES. ANY REPRODUCTION IN PART OR IN WHOLE WITHOUT THE EXPRESSED WRITTEN PERMISSION OF FRIEDL BUILDING SERVICES IS PROHIBITED. FRIEDL SURVEY INC. RESERVES THE RIGHT TO USE ALL OR PART OF THIS PLAN FOR ANY OTHER PURPOSE.
ALL INCLUSIVE OF EFFORT WILL BE MADE BY DESIGN, INTERIORING, AND PREPARING THOSE PLANS AND SPECIFICATIONS TO ACCURATELY REPRESENT THE CONSTRUCTION OF THE PROJECT. THE DIMENSIONS GENERAL CONTRACTOR ASSUMES THE RESPONSIBILITY TO VERIFY ALL DIMENSIONS AND CHANGES OR ADJUSTMENTS PROMPTLY DURING CONSTRUCTION. FRIEDL BUILDING SERVICES MAKES NO REPRESENTATION FOR OR WAIVES ACCURACY.

# DEPERE DUPLEX

DEPERE, WI

ROBERT PETERS CONSTRUCTION

**BID PLAN - FOR BIDDING PURPOSES ONLY**

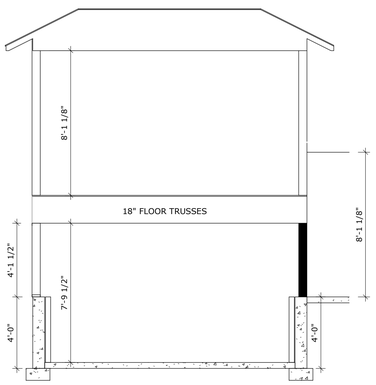
Drexel™
DrexelTeam.com

| | |
|---|---|
| DESIGNER: | CARLI PETERS |
| SCALE: | 1/4" = 1'-0" |
| SHEET NO: | A5 |
| PROJECT NO: | M25-158-W |

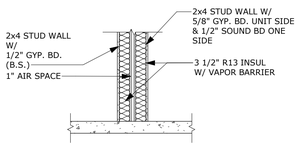
DigiSign Verified - d930a2de-2d42-4bb6-8e02-dc3d4091f30f

| | |
|---|---|
| SIDE A FIRST FLOOR AREA | 786 SF |
| SIDE A SECOND FLOOR AREA | 515 SF |
| SIDE A LOWER LEVEL AREA | 500 SF |
| **SIDE A TOTAL AREA** | **1801 SF** |
| SIDE A GARAGE AREA | 625 SF |

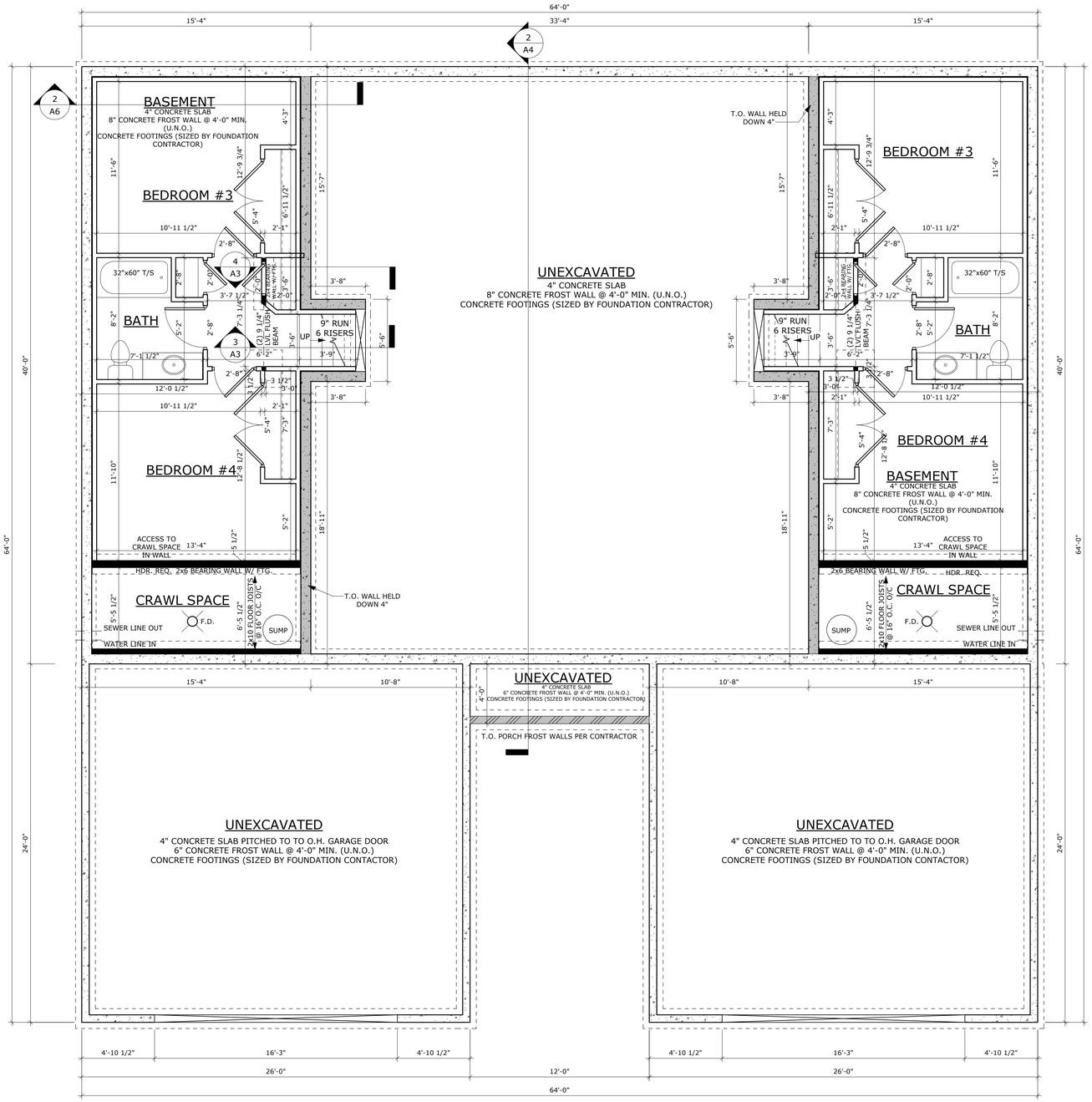
| | |
|---|---|
| SIDE B FIRST FLOOR AREA | 786 SF |
| SIDE B SECOND FLOOR AREA | 515 SF |
| SIDE B LOWER LEVEL AREA | 500 SF |
| **SIDE B TOTAL AREA** | **1801 SF** |
| SIDE B GARAGE AREA | 625 SF |




**2 A6 WALL SECTION**
1/4" = 1'-0"




**PARTY WALL DETAIL**
1/2" = 1'-0"




**FOUNDATION PLAN**
1/4" = 1'-0" WALL HEIGHT: 4'-0"

## NEW HOME PLAN SPECIFICATIONS

**FOUNDATION INFORMATION**
- **HOUSE FOUNDATION**
  8" x 4'-0" POURED CONCRETE WALL
- **GARAGE FOUNDATION**
  6" x 4'-0" POURED CONCRETE WALL
- **PORCH/PATIO FOUNDATION (UNEXCAVATED)**
  6" x 4'-0" POURED CONCRETE WALL (MIN. 4'-0" TALL)
- WALL THICKNESS FOR REPRESENTATION ONLY- FOUNDATION CONTACTOR/GENERAL CONTRACTOR TO VERIFY
- FINAL FOOTING SIZE AND DEPTH DETERMINED BY FOUNDATION CONTACTOR/GENERAL CONTRACTOR
- FOUNDATION CONTACTOR TO LOCATE PILASTERS AND SIZE FOOTINGS PER CODE AND SOIL CONDITIONS
- WINDOWS/DOORS TO BE SET IN CONCRETE WALL- MAKE R.O. 3" BIGGER IN WIDTH AND HEIGHT
- BEARING WALLS TO SIT ON MIN. 16" X 8"CONT. CONCRETE FOOTINGS, STUDS @ 16" O.C.

**WALL INFORMATION**
- STUDS @ 16" O.C. (UNLESS NOTED/SHOWN OTHERWISE)
- **HOUSE EXTERIOR**
  FIRST FLOOR WALL HEIGHT: 2 x 6 x 8' 1 1/8"
  (UNLESS NOTED/SHOWN OTHERWISE)
  SECOND FLOOR WALL HEIGHT: 2 x 6 x 8' 1 1/8"
  (UNLESS NOTED/SHOWN OTHERWISE)
- **HOUSE INTERIOR**
  FIRST FLOOR WALL HEIGHT: 2 x 4 x 8' 1 1/8"
  (UNLESS NOTED/SHOWN OTHERWISE)
  SECOND FLOOR WALL HEIGHT: 2 x 4 x 8' 1 1/8"
  (UNLESS NOTED/SHOWN OTHERWISE)
- **GARAGE**
  WALL HEIGHT: 2 x 4 x 8'-8 1/8"
  (UNLESS NOTED/SHOWN OTHERWISE)

**FLOOR SYSTEMS**
- **BASEMENT**
  4" CONCRETE SLAB
- **FIRST FLOOR**
  4" CONCRETE SLAB
- **SECOND FLOOR**
  18" FLOOR TRUSS @ 19.2" O.C.
- STANDARD LOADING (PER SQ. FT.)
  40# LL. 15# DL.
- ADDITIONAL LOADING (PER SQ. FT.) (WHEN APPLICABLE)
  10# DL. FOR TILE FLOOR 13# DL. FOR GYPCRETE (1.5" THICK)
  20# DL. FOR FIREPLACE FACE 20# DL. FOR FIREPLACE HEARTH
  25# DL. FOR GRANITE/QUARTZ
- DEFLECTION: LL=L/480, TL=L/360
- DURATION OF LOAD: 1.00%

**ROOF SYSTEMS**
- ENGINEERED WOOD TRUSSES @24" O.C.
  DESIGNED FOR: ZONE 2
- STD. LOADING (PER SQ. FT.)
  30# TCLL, 10# TCDL, 10# BCDL
- DEFLECTION: LL=L/240, TL=L/180
- DURATION OF LOAD: 1.15%

**HEADERS**
- STANDARD HEADER
  ALL HEADERS NOT LABELED AS LVL TO BE MIN. (2) 2X10'S HEADER FOR ON-SITE (UNLESS VALUE ENGINEERED FOR OFF-SITE CONSTRUCTION)
- TOP OF WINDOW R.O.S.
  FIRST FLOOR @ 6'-11 3/8" ABOVE SUBFLOOR
  (UNLESS NOTED/SHOWN OTHERWISE)
  SECOND FLOOR @ 6'-11 3/8" ABOVE SUBFLOOR
  (UNLESS NOTED/SHOWN OTHERWISE)
- MINIMUM OF (2) SHOULDER STUDS AT EACH END FOR ALL OPENINGS 6'-0" AND LARGER

**GENERAL INFORMATION**
- ALL DIMENSIONS ARE TO THE ROUGH STUD (UNLESS NOTED OTHERWISE)
  2X6 WALLS=5 ½", 2X4 WALLS =3 ½"
- ALL DIMENSIONS ARE TO OUTSIDE OF FOUNDATION WALLS/BRICK LEDGES
- GENERAL CONTRACTOR TO LOCATE THE FOLLOWING ITEMS IN THE FOUNDATION (WHEN APPLICABLE)
  FLOOR DRAINS, ELECTRIC SERVICES, WATER HEATER, SUMP PIT + PUMP, FURNACE, GAS/LP LINE, BASEMENT WINDOWS,ETC.
- ACTUAL STEPS IN FOUNDATION WALLS AND LOCATION OF WINDOW WELLS TO BE DETERMINED ON-SITE BY GENERAL CONTRACTOR
- DECK FRAMING SPECIFICATION TO MEET OR EXCEED REQUIREMENTS DEFINED WITHIN "APPENDIX B" OF THE WI UNIFORM DWELLING
- ALL CABINET LAYOUTS ARE CONCEPTUAL-CONSULT CABINET DESIGNER FOR EXACT SIZES AND LOCATIONS OF CABINETS, APPLIANCES, AND WINDOWS
- ALL DOOR HEIGHTS ARE 6'-8" UNLESS NOTED/SHOWN OTHERWISE

| | | |
|---|---|---|
| A | PRELIMINARY PLAN | 03/05/2025 CJP |
| A | BID PLAN | 03/17/2025 CJP |
| A | BID PLAN | 03/24/2025 CJP |
| A | REVISED BID PLAN | 08/06/2025 CJP |
| A | | |
| A | | |
| A | | |
| A | | |

COPYRIGHT © 2025
COPYRIGHT (WEB) BLUEBAND SOFTWARE, INC. THIS DRAWING IS PROPRIETARY TO THE ARCHITECT AND MAY NOT BE REPRODUCED OR TRANSMITTED IN WHOLE OR IN PART, IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE EXPRESSED WRITTEN PERMISSION OF DREXEL BUILDING SUPPLY, INC. AND THE ARCHITECT. THE VISUAL CONTENT OF THIS DRAWING AND SUPPLY, INC. RESERVES THE RIGHT TO USE ALL OR PART OF THIS DESIGN IN FUTURE PROJECTS.

AUTHOR EXERT LIFT OF WALL BE MADE BY ARCHITECT AND PREVIOUS TRADE. ANY DEVIATIONS, ALTERATIONS, OR NONCONFORMING CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR THE ENTIRE PROJECT. ALL DIMENSIONS, CONDITIONS, AND CHANGES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ARCHITECT IS NOT RESPONSIBLE FOR ANY CHANGES OR ADJUSTMENTS REQUIRED DURING CONSTRUCTION DUE TO INCORRECT INFORMATION FOR OR MISJUDGE ACCURACY.

**BID PLAN - FOR BIDDING PURPOSES ONLY**

# DEPERE DUPLEX

DEPERE, WI

ROBERT PETERS CONSTRUCTION

Drexel™ DrexelTeam.com

DESIGNER: CARLI PETERS
SCALE: As indicated
SHEET NO. A6
PROJECT NO: M25-158-W

DESIGNED BY
TJS

DATA FILE
B-3919.txt

DATE
05-29-20

| Number | Date | Comments |
|---|---|---|
| - | - | - |
| - | - | - |
| - | - | - |
| - | - | - |
| - | - | - |


Mau & Associates
LAND SURVEYING & PLANNING
CIVIL & WATER RESOURCE ENGINEERING
Phone: 920-434-9670 Fax: 920-434-9672


# MARKETING
# LOT 27
BOSTAD BUILDERS

File: B-3919Marketing Lot 27 052820.dwg

PROJECT NO.
B-3919

SHEET NO.
C2.0

DRAWING NO.
S-3172

# Village of Kimberly
# REQUEST FOR BOARD CONSIDERATION

| |
|---|
| **ITEM DESCRIPTION:** Planned Unit Development, Lot 27, Rivers Edge Subdivision |
| **REPORT PREPARED BY:** Allyn Dannhoff |
| **REPORT DATE:** October 21, 2019 |
| **ADMINISTRATOR'S REVIEW / COMMENTS:**<br><br>**No additional comments to this report** _____<br><br>**See additional comments attached** _____ |
| **EXPLANATION:** Rivers Edge Subdivision developer, Tom Juza, is seeking Planned Unit Development approval for Lot 27 consisting of 4 – 2 unit buildings. The zoning ordinance provides the ability to consider and approve Planned Unit Developments to encourage and promote improved environmental design, allowing greater freedom, imagination and flexibility in the development of land. The attached Plan Commission staff report and materials provides back ground. |
| **RECOMMENDED ACTION**: The Plan Commission recommends approval of the Planned Unit Development as presented and conditioned in the Plan Commission staff report, in addition to any conditions the Village Board may identify. |

**Village of Kimberly**
**Request of Planning Commission Recommendation**

**ITEM DESCRIPTION:** Planned Unit Development, Lot 27, Rivers Edge Subdivision

**REPORT PREPARED BY:** Allyn Dannhoff

**REPORT DATE:** October 10, 2019

**EXPLANATION:** Rivers Edge Subdivision developer, Tom Juza, is seeking Planned Unit Development approval for Lot 27 consisting of 4 – two dwelling structures. The zoning ordinance provides the ability to consider and approve Planned Unit Developments to encourage and promote improved environmental design, allowing greater freedom, imagination and flexibility in the development of land.

Mr. Juza is seeking approval for developing Lot 27 in accordance with the included civil and architectural plans. In considering this request, the plans and conditions attached to any approval establish the standards the development must employ and adhere.

In addition to the PUD review and approval, this property must also be rezoned to R5 PUD to permit this development on this parcel. This is being addressed in a separate action.

Staff zoning review identifies the proposed development meets the standard setback and density requirements except for the following areas where the developer is seeking approval of alternate standards:

1. 13 foot rear yard setbacks (vs. 25 feet) for the decks and patios along the north and south property lines.
2. Permit the small rear additions, such as Four Seasons rooms not to exceed 12 feet x 12 feet, to employ the same 13 foot rear yard setback along the east and south property lines.

The plans as presented meet the requirements of the Fire Department for emergency response, refuse collection requirements, and in general the layout of the utilities and private road as discussed in the consultation meeting with the developer and his design team.

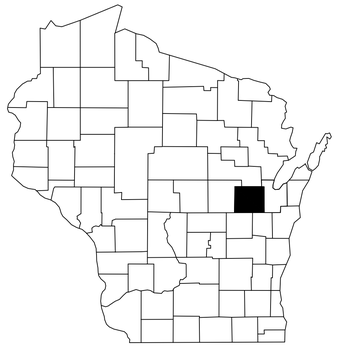
**RECOMMENDED ACTION**: Staff recommends approval of the development plan, civil and architectural plans, as proposed subject to the following conditions in addition to any Plan Commission might identify:

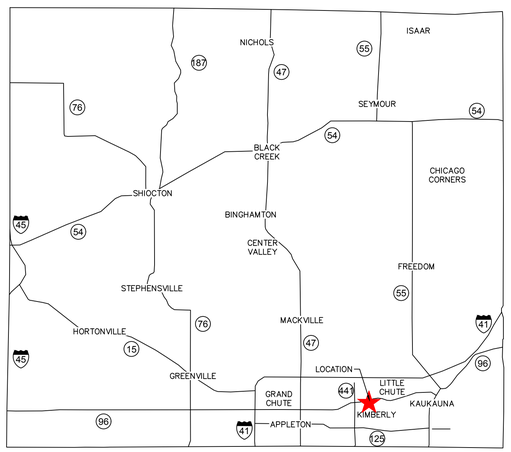
Conditions:

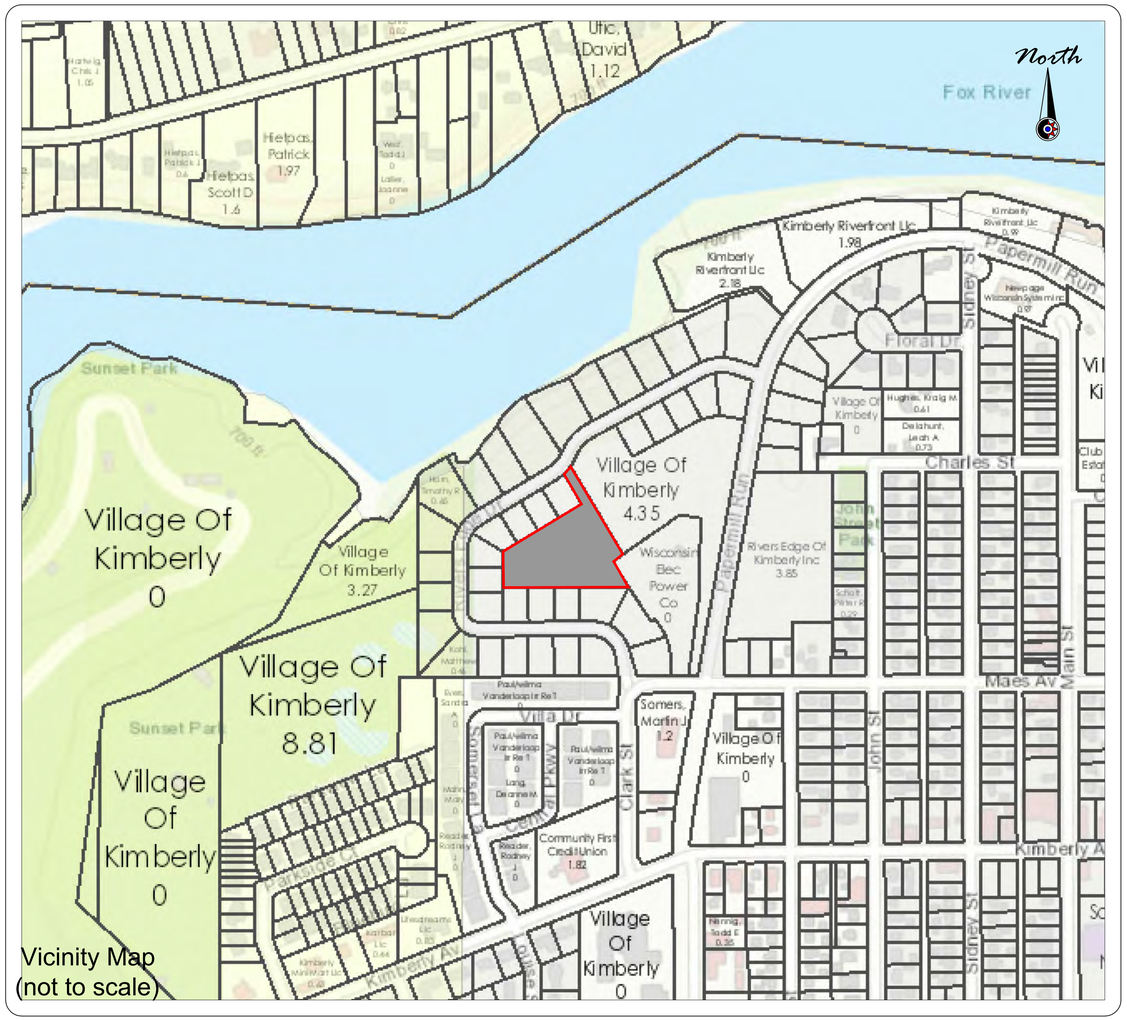
1. Approval includes the reduced setbacks as shown on the plans.
2. Approval includes ability to employ 13 foot setback to the north and south property lines for additions not to exceed 12 feet x 12 feet.
3. Secure Village and state agency approval of water, sanitary and storm utility plans prior to the construction of each of these utilities.
4. Secure Village approval for the Water Main easement.

5. Secure Village approval of a standard construction detail for the private road.
6. The Site Layout plan shall include a summary of impervious square footage.
7. The developer shall provide a signed copy of the Garbage & Recycling Collection Waiver and Hold Harmless agreement.
8. Submit and secure approval of a detailed Landscaping Plan by (date or benchmark to be identified.)
9. Landscaping berms shall be installed in a manner to promote the flow of storm water along shared property lines with abutting properties.
10. Post addresses at the private drive entrance.
11. Submit and secure approval of any development signage prior to issuance of a building permit.

# RIVER'S EDGE
## LOT 27
## VILLAGE OF KIMBERLY






## PROJECT INFORMATION

| | |
|---|---|
| OWNER(S): | RIVERS EDGE OF KIMBERLY INC |
| PROJECT NAME: | RIVERS EDGE |
| PROJECT DESCRIPTION: | 8 RESIDENTIAL CONDO UNITS |
| PROJECT LOCATION: | LOT 27 RIVER'S EDGE PLAT |
| PARCEL NUMBER(S): | 250093927 |

## CONTACT INFORMATION

OWNER(S):
BOSTAD BUILDERS
TOM JUZA
1297 SOUTH SEDONA CIRCLE
HOBART, WI 54155
PH.: 920-406-9292

ENGINEER:
MAU & ASSOCIATES, LLP CONTACT:
THOMAS J. SNYDER, P.E.
400 SECURITY BLVD.
GREEN BAY, WI 54313
PH.: 920-434-9670

SHEET INDEX:

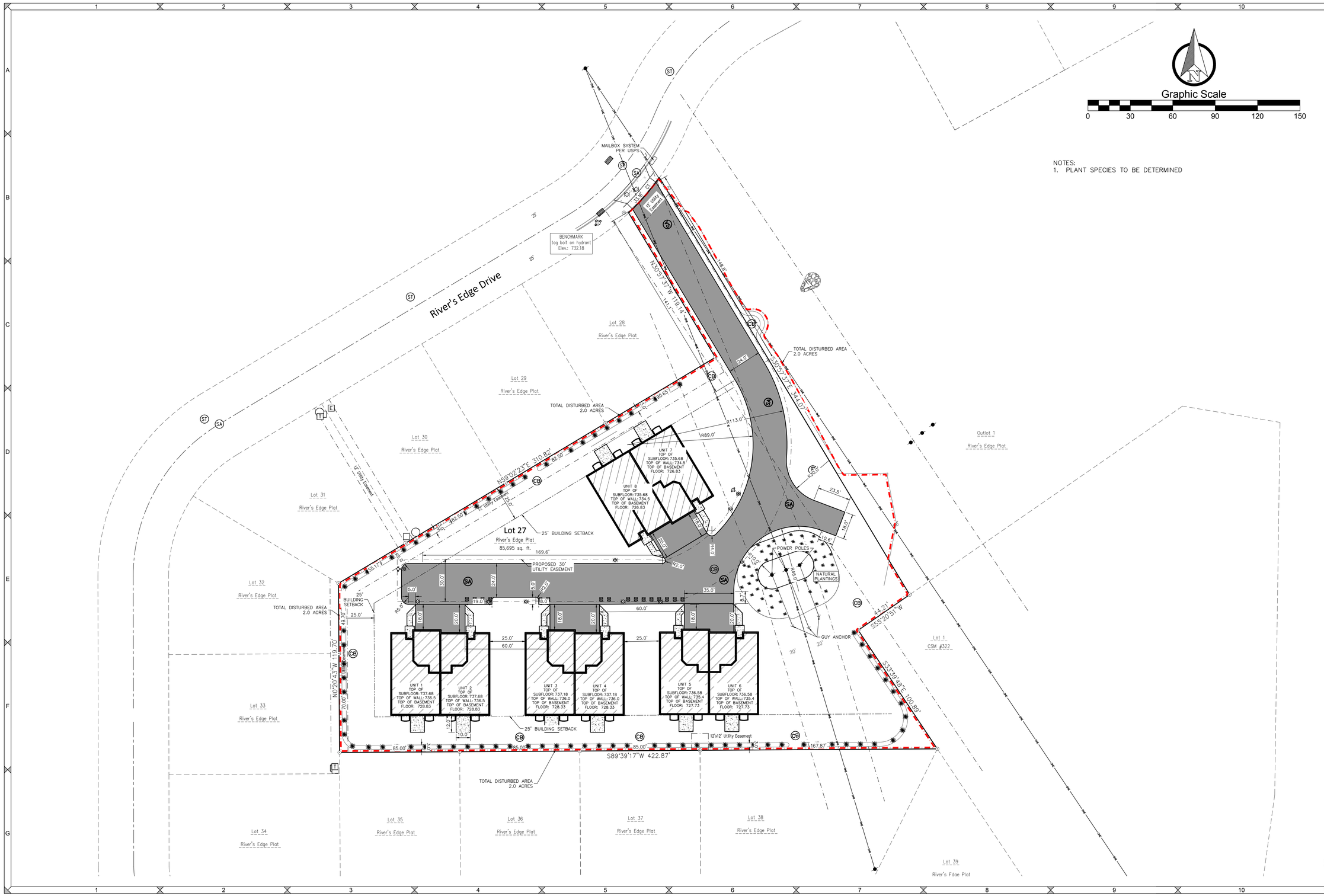

C1.0 TITLE SHEET
C2.0 SITE PLAN
C3.0 EROSION CONTROL PLAN
C4.0 GRADING PLAN
C5.0 STORM SEWER
SITE UTILITY PLAN
C5.1 WATER MAIN
PLAN & PROFILE
C5.2 SANITARY SEWER
SITE UTILITY PLAN
C6.0 NOTES
C7.0 DETAILS
C7.1 DETAILS
C7.2 DETAILS


WISCONSIN THOMAS J SNYDER E-44791 SEYMOUR WI PROFESSIONAL ENGINEER

10/15/2019


*Mau & Associates*
LAND SURVEYING & PLANNING
CIVIL & WATER RESOURCE ENGINEERING
Phone: 920-434-9670 Fax: 920-434-9672


| | |
|---|---|
| DATE: | 10-15-19 |
| PROJECT NO. | B-3919 |
| SHEET NO. | C1.0 |
| DRAWING NO. | S-3172 |




DESIGNED BY TJS

DATA FILE B-3919.txt

DATE 10-15-19

| Number | Date | Comments |
|---|---|---|
| - | - | - |
| - | - | - |
| - | - | - |
| - | - | - |
| - | - | - |


Mau & Associates
LAND SURVEYING & PLANNING
CIVIL & WATER RESOURCE ENGINEERING
Phone: 920-434-9670 Fax: 920-434-9672


# SITE & LANDSCAPE PLAN LOT 27

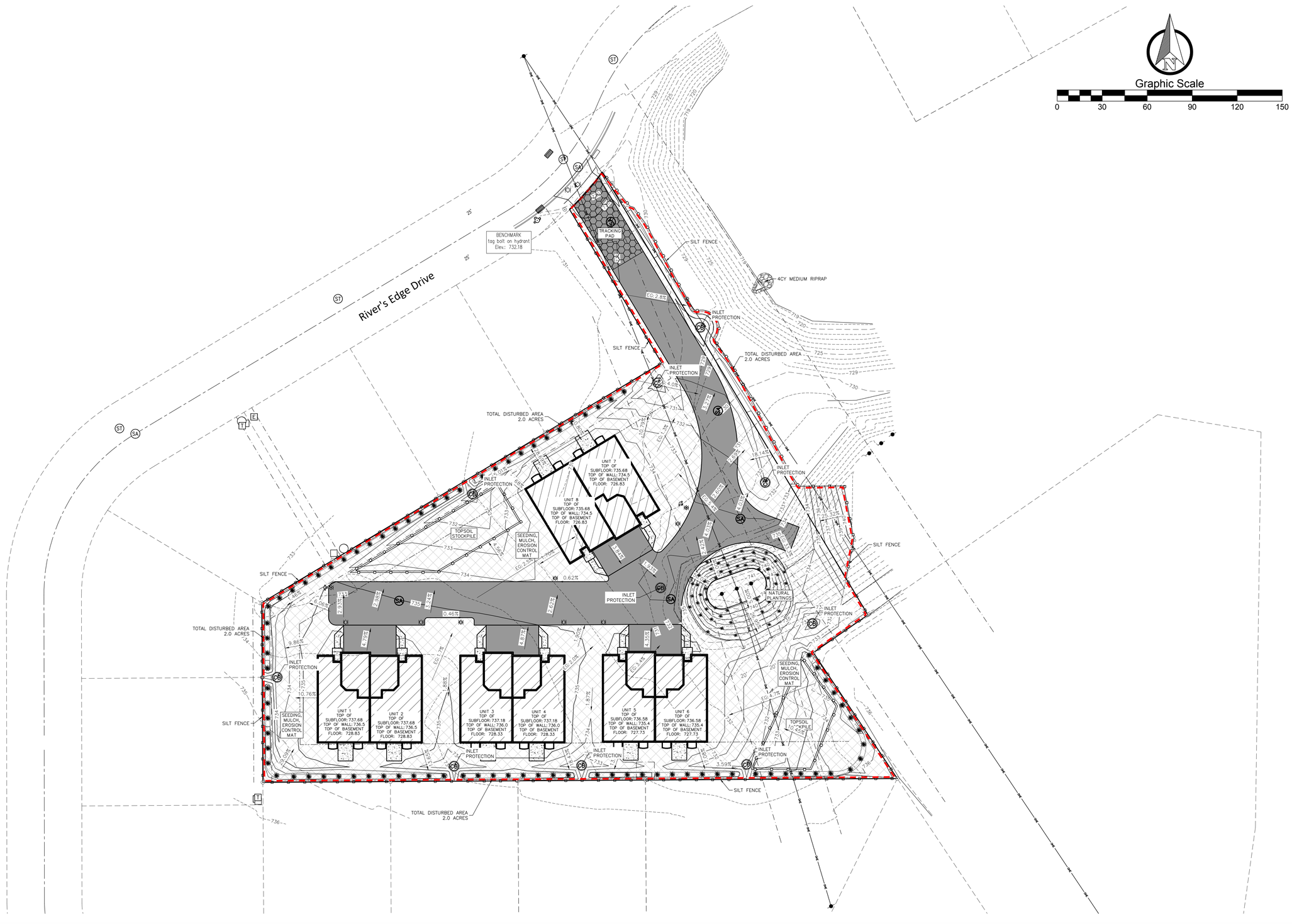
BOSTAD BUILDERS

File: B-3919Eng Lot 27 090319.dwg

PROJECT NO. B-3919

SHEET NO. C2.0

DRAWING NO. S-3172




DESIGNED BY
TJS

DATA FILE
B-3919.txt

DATE
10-15-19

| Number | Date | Comments |
|---|---|---|
| - | - | - |
| - | - | - |
| - | - | - |
| - | - | - |
| - | - | - |


*Mau & Associates*
LAND SURVEYING & PLANNING
CIVIL & WATER RESOURCE ENGINEERING
Phone: 920-434-9670 Fax: 920-434-9672


# EROSION CONTROL PLAN LOT 27

BOSTAD BUILDERS

File: B-3919Eng Lot 27 090319.dwg

PROJECT NO.
B-3919

SHEET NO.
C3.0

DRAWING NO.
S-3172

DESIGNED BY
TJS

DATA FILE
B-3919.txt

DATE
10-15-19

| Number | Date | Comments |
|---|---|---|
| - | - | - |
| - | - | - |
| - | - | - |
| - | - | - |
| - | - | - |


Mau & Associates
LAND SURVEYING & PLANNING
CIVIL & WATER RESOURCE ENGINEERING
Phone: 920-434-9670 Fax: 920-434-9672


# GRADING PLAN
# LOT 27

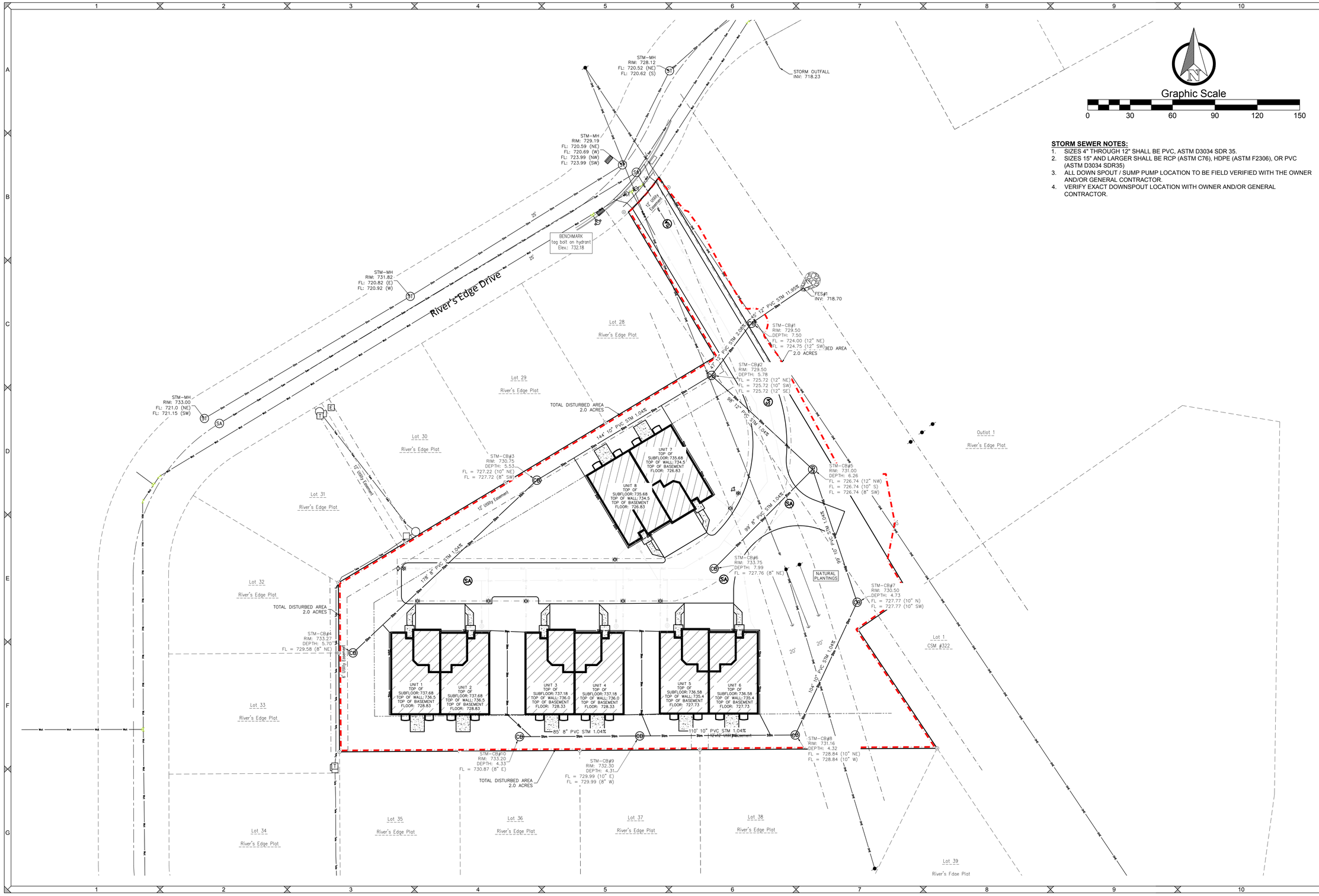
BOSTAD BUILDERS

File: B-3919Eng Lot 27 090319.dwg

PROJECT NO.
B-3919

SHEET NO.
C4.0

DRAWING NO.
S-3172




Graphic Scale

0 30 60 90 120 150

**STORM SEWER NOTES:**

1. SIZES 4" THROUGH 12" SHALL BE PVC, ASTM D3034 SDR 35.
2. SIZES 15" AND LARGER SHALL BE RCP (ASTM C76), HDPE (ASTM F2306), OR PVC (ASTM D3034 SDR35)
3. ALL DOWN SPOUT / SUMP PUMP LOCATION TO BE FIELD VERIFIED WITH THE OWNER AND/OR GENERAL CONTRACTOR.
4. VERIFY EXACT DOWNSPOUT LOCATION WITH OWNER AND/OR GENERAL CONTRACTOR.

DESIGNED BY
TJS

DATA FILE
B-3919.txt

DATE
10-15-19

| Number | Date | Comments |
|---|---|---|
| - | - | - |
| - | - | - |
| - | - | - |
| - | - | - |
| - | - | - |


Mau & Associates
LAND SURVEYING & PLANNING
CIVIL & WATER RESOURCE ENGINEERING
Phone: 920-434-9670 Fax: 920-434-9672

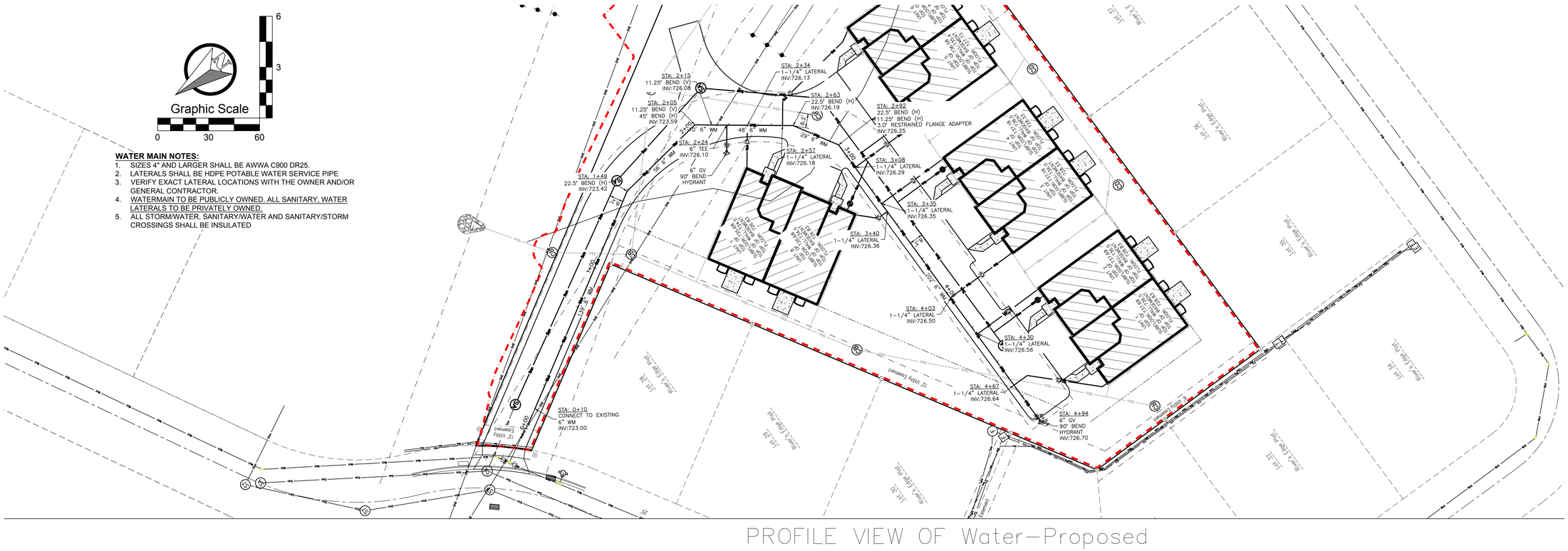

STORM SEWER
UTILITY PLAN LOT 27
BOSTAD BUILDERS

File: B-3919SEng Lot 27 000319.dwg

PROJECT NO.
B-3919

SHEET NO.
C5.0

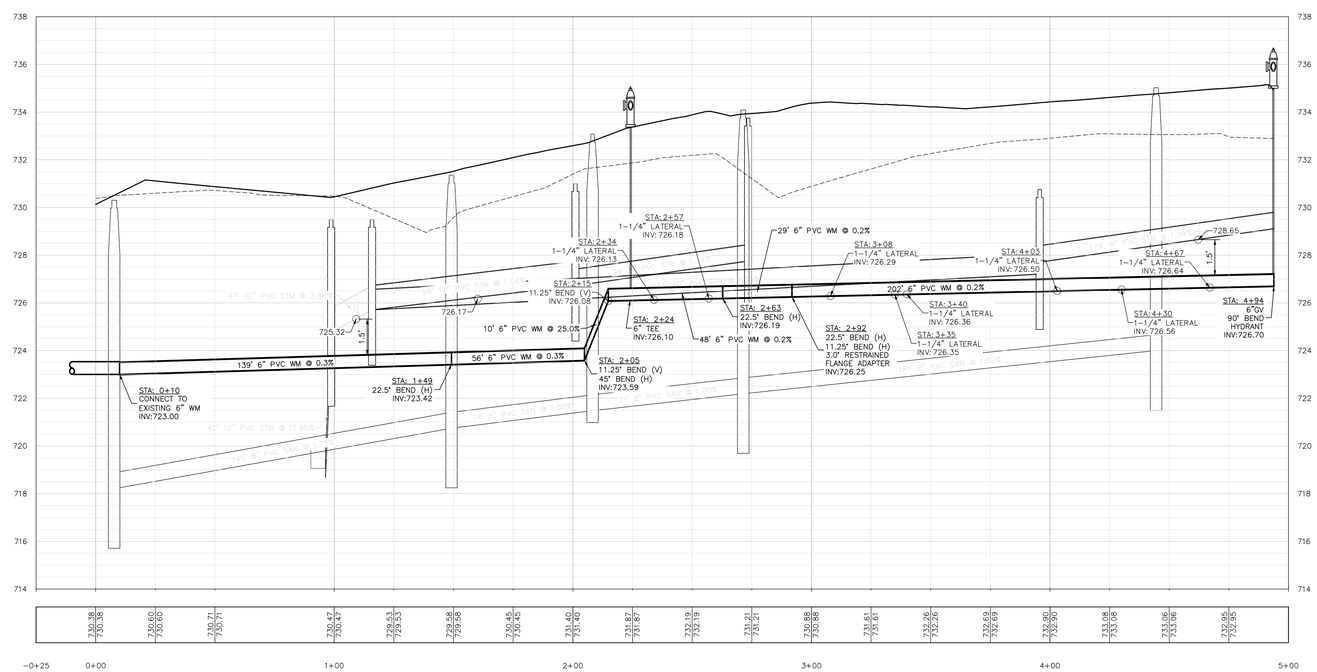
DRAWING NO.
S-3172




**WATER MAIN NOTES:**

1. SIZES 4" AND LARGER SHALL BE AWWA C900 DR25.
2. LATERALS SHALL BE HDPE POTABLE WATER SERVICE PIPE
3. VERIFY EXACT LATERAL LOCATIONS WITH THE OWNER AND/OR GENERAL CONTRACTOR.
4. WATERMAIN TO BE PUBLICLY OWNED. ALL SANITARY, WATER LATERALS TO BE PRIVATELY OWNED.
5. ALL STORM/WATER, SANITARY/WATER AND SANITARY/STORM CROSSINGS SHALL BE INSULATED

## PROFILE VIEW OF Water-Proposed




| | |
|---|---|
| DESIGNED BY | TJS |
| DATA FILE | B-3919.txt |
| DATE | 10-15-19 |

| Number | Date | Comments |
|---|---|---|
| - | - | - |
| - | - | - |
| - | - | - |
| - | - | - |
| - | - | - |
| - | - | - |


Mau & Associates
LAND SURVEYING & PLANNING
CIVIL & WATER RESOURCE ENGINEERING
Phone: 920-434-9670 Fax: 920-434-9672

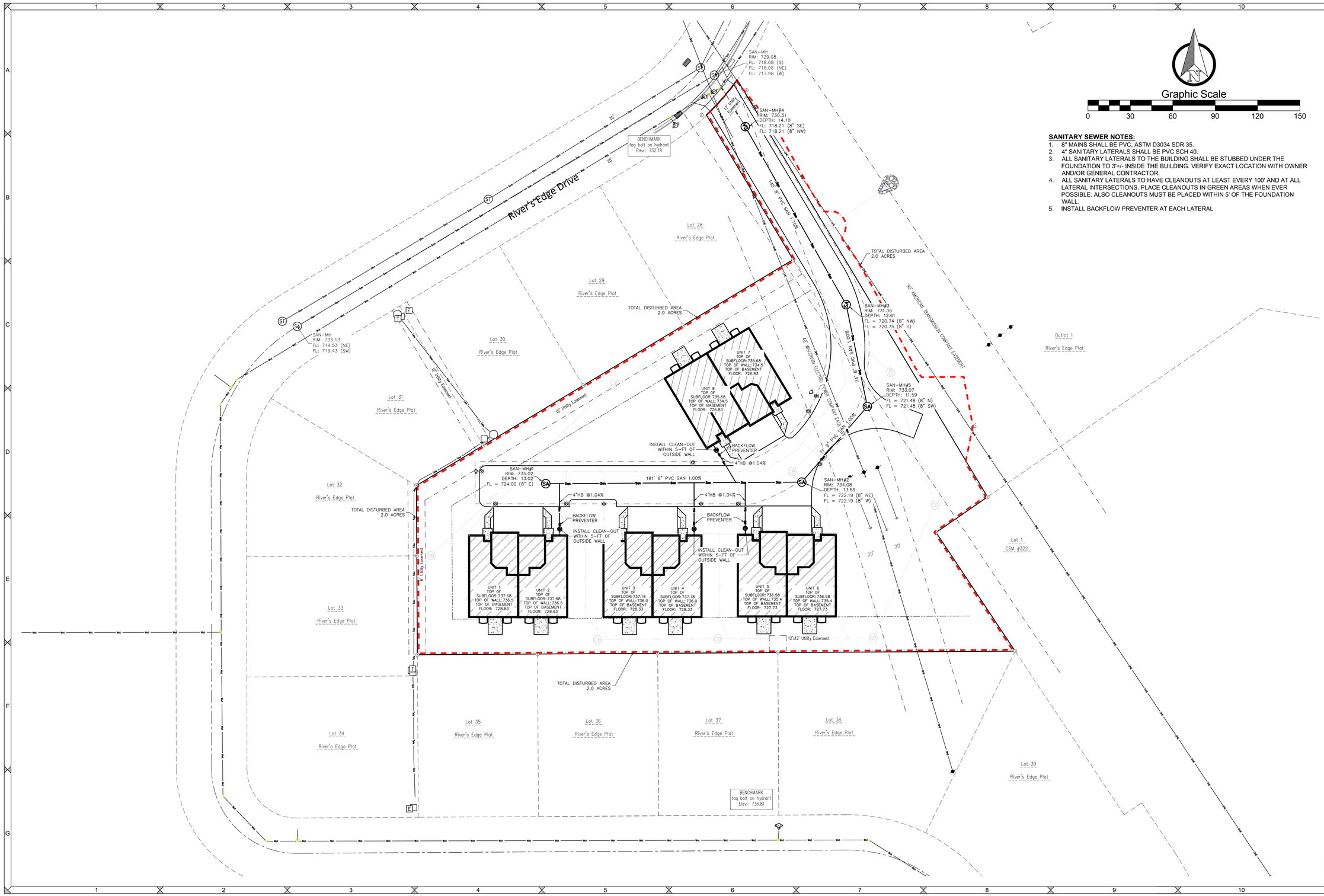

WATER MAIN
UTILITY PLAN LOT 27
BOSTAD BUILDERS

File: B-3919Eng Lot 27 090319.dwg

PROJECT NO.
B-3919

SHEET NO.
C5.1

DRAWING NO.
S-3172




Graphic Scale

0 30 60 90 120 150

**SANITARY SEWER NOTES:**

1. 8" MAINS SHALL BE PVC, ASTM D3034 SDR 35.
2. 4" SANITARY LATERALS SHALL BE PVC SCH 40.
3. ALL SANITARY LATERALS TO THE BUILDING SHALL BE STUBBED UNDER THE FOUNDATION TO 3'+/- INSIDE THE BUILDING. VERIFY EXACT LOCATION WITH OWNER AND/OR GENERAL CONTRACTOR.
4. ALL SANITARY LATERALS TO HAVE CLEANOUTS AT LEAST EVERY 100' AND AT ALL LATERAL INTERSECTIONS. PLACE CLEANOUTS IN GREEN AREAS WHEN EVER POSSIBLE. ALSO CLEANOUTS MUST BE PLACED WITHIN 5' OF THE FOUNDATION WALL.
5. INSTALL BACKFLOW PREVENTER AT EACH LATERAL

DESIGNED BY
TJS

DATA FILE
B-3919.txt

DATE
10-15-19

| Number | Date | Comments |
|---|---|---|
| - | - | - |
| - | - | - |
| - | - | - |
| - | - | - |
| - | - | - |


Mau & Associates
LAND SURVEYING & PLANNING
CIVIL & WATER RESOURCE ENGINEERING
Phone: 920-434-9670 Fax: 920-434-9672


SANITARY SEWER
UTILITY PLAN LOT 27
BOSTAD BUILDERS

File: B-3919Eng Lot 27 090319.dwg

PROJECT NO.
B-3919

SHEET NO.
C5.2

DRAWING NO.
S-3172

## RESPONSE ACTIONS IN THE EVENT OF A SPILL OR RELEASE

IMMEDIATELY TAKE THE FOLLOWING MEASURES TO KEEP THE SPILL FROM ENTERING SEWER OR STORM DRAINS, SPREADING OFF SITE, OR AFFECTING HUMAN HEALTH.

STOP, CONTAIN, AND CLEAN UP CHEMICAL SPILL IF:

- THE SPILLED CHEMICAL AND ITS HAZARDOUS PROPERTIES HAVE BEEN IDENTIFIED
- THE SPILL IS SMALL AND EASILY CONTAINED
- RESPONDER IS AWARE OF THE CHEMICALS' HAZARDOUS PROPERTIES

IF SPILL OR RELEASE CANNOT BE CONTROLLED OR INJURIES HAVE OCCURRED DUE TO THE RELEASE THE FOLLOWING PROCEDURES SHOULD BE IMPLEMENTED:

- SUMMON HELP OR ALERT OTHERS OF THE RELEASE
- EVACUATE IMMEDIATE AREA, PROVIDE CARE TO INJURED, CALL 911
- IF POTENTIAL FOR FIRE OR EXPLOSION - CALL 911
- RESPOND DEFENSIVELY TO ANY UNCONTROLLED SPILLS
  - USE PROTECTIVE EQUIPMENT
  - ATTEMPT TO STOP SOURCE OF RELEASE (IF SAFE TO DO SO)
  - PROTECT DRAINS BY USE OF ABSORBENT, BOOMS OR DRAIN COVERS (IF SAFE TO DO SO)
- NOTIFY ONSITE EMERGENCY CONTACT(S)
- COORDINATE RESPONSE ACTIVITIES WITH LOCAL EMERGENCY PERSONNEL
- BE PREPARED TO PROVIDE MSDS INFORMATION TO EMERGENCY PERSONNEL
- NOTIFY APPROPRIATE AGENCY IF RELEASE HAS ENTERED THE ENVIRONMENT.

## Legend

- 1.32" (O.D.) X 18" IRON PIPE WITH CAP WEIGHTING 1.68 LBS/LIN FT SET
- 1" IRON PIPE FOUND
- COMPUTED POINT
- PK NAIL FOUND
- PK NAIL SET
- CUT + FOUND
- 3/4" IRON PIPE FOUND
- 2" IRON PIPE FOUND
- BROWN COUNTY MONUMENT – TYPE NOTED
- ( ) RECORDED AS BEARING / DISTANCE
- NO ACCESS
- CB ROUND CATCH BASIN
- ST STORM SEWER MANHOLE
- CURB INLET
- Strm STORM SEWER LINE
- SA SANITARY SEWER MANHOLE
- San SANITARY SEWER LINE
- W WATER MANHOLE
- HYDRANT
- Wat WATERMAIN
- WATER VALVE
- WATER VALVE – CURB STOP
- GAS VALVE
- Gas UNDERGROUND GAS LINE
- G GAS METER
- Tele UNDERGROUND TELEPHONE LINE
- T TELEPHONE PEDESTAL
- T TELEPHONE MANHOLE
- Elec UNDERGROUND ELECTRIC LINE
- AC AIR CONDITIONER
- TR ELECTRIC TRANSFORMER
- E ELECTRIC PEDESTAL
- E ELECTRIC MANHOLE
- Co Co UNDERGROUND CABLE TV LINE
- H HANDHOLE BOX
- CO CABLE TV PEDESTAL
- FO UNDERGROUND FIBER OPTIC LINE
- F FIBER OPTIC PEDESTAL
- F FIBER OPTIC MANHOLE
- GROUND LIGHT
- LIGHT POLE
- CONSTRUCTION LIMITS
- POWER POLE
- ANCHOR WIRE
- OHE OVERHEAD WIRES
- CONCRETE CURB & GUTTER LINE
- EXISTING ASPHALT
- PROPOSED ASPHALT
- EXISTING BUILDING
- PROPOSED BUILDING
- CONCRETE
- GRAVEL
- WETLAND AREA
- FLOODPLAIN LIMITS
- FLOODWAY
- SILT FENCE
- INLET PROTECTION
- SLOPE EROSION MAT WISDOT CLASS 1 TYPE A
- CHANNEL EROSION MAT WISDOT CLASS 1 TYPE B
- RIP RAP SIZE AND QUANTITY PER PLAN
- TRACKING PAD
- EXISTING CONTOUR LINE
- PROPOSED CONTOUR LINE
- 176.41 EXISTING GROUND GRADE
- ×174.88 PROPOSED GROUND GRADE
- 2.33% DRAINAGE ARROW
- FENCE LINE
- GUARD RAIL
- GUARD POST
- FLAG POLE
- SIGN
- DECIDUOUS TREE
- CONIFEROUS TREE
- TRAFFIC LIGHT
- MAILBOX
- HANDICAP PARKING SPACE
- MW MONITORING WELL
- ROCK WALL
- WE WELL
- SHRUB

## SPILL PREVENTION AND EMERGENCY RESPONSE PLAN:

EMERGENCY CONTACTS
Bostad Builders
920-406-9292

EMERGENCY RESPONSE CONTACTS
FIRE/PARAMEDICS/POLICE 911
FIRE NON-EMERGENCY LINE (920) 788-7500
COUNTY HEALTH DEPARTMENT(920) 832-5100
DNR SPILL HOTLINE 1-800-943-0003

LOCAL EMERGENCY MEDICAL FACILITY
ST. ELIZABETH HOSPITAL
1506 S. ONEIDA STREET
APPLETON, WI 54915
(920) 738-2000

SPILL PREVENTION
HAZARDOUS SUBSTANCE MANAGEMENT:
ALL HAZARDOUS SUBSTANCES, INCLUDING CHEMICAL WASTES, ARE TO BE MANAGED IN A WAY THAT PREVENTS RELEASE.

## SITE STATISTICS

BEFORE CONSTRUCTION
SITE AREA - 1.967 Acres
PERVIOUS 1.967 Acres (100%)

AFTER CONSTRUCTION
SITE AREA - 1.967 Acres
PAVEMENT 0.436 Acres (22.2%)
BUILDINGS 0.385 Acres (19.6%)
PERVIOUS 1.146 Acres (58.2%)

## CONSTRUCTION SITE EROSION CONTROL

THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING AND MAINTAINING EROSION AND SEDIMENT CONTROL MEASURES. ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE IN ACCORDANCE WITH THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS AND IF NO STANDARD EXISTS THE WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK (CURRENT EDITION) SHALL BE REFERENCED. EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE IN PLACE PRIOR TO DISTURBING THE SITE. CONTRACTORS SHALL MINIMIZE THE DURATION AND SIZE OF DISTURBED AREAS TO THE MAXIMUM EXTENT PRACTICABLE. EROSION AND SEDIMENT CONTROL PRACTICES PROPOSED FOR THIS PROJECT ARE DESCRIBED AS FOLLOWS:

SEDIMENT TRACKING FROM CONSTRUCTION SITE:

- STONE TRACKING PAD(S) - TECHNICAL STANDARD 1057

  STONE TRACKING PADS WILL BE INSTALLED AT ENTRANCES SHOWN ON THE SITE. TRACKING PADS SHALL BE IN PLACE PRIOR TO LAND DISTURBING ACTIVITIES.

  WASH WATER FROM VEHICLE AND WHEEL WASHING SHALL BE TREATED BEFORE ENTERING WATERS OF THE STATE.
- STREET SWEEPING/CLEANING

  SEDIMENT TRACKED FROM THE CONSTRUCTION SITE SHALL BE CLEANED UP AT THE END OF EACH WORK DAY UNLESS THE SEDIMENT PRESENTS A HAZARD. SEDIMENT PRESENTING A HAZARD MUST BE CLEANED UP IMMEDIATELY.

SEDIMENT CARRIED OFF-SITE BY OVERLAND FLOW OR RUNOFF:

- SILT FENCE - TECHNICAL STANDARD 1056

  SILT FENCE WILL BE INSTALLED DOWN-SLOPE OF ALL DISTURBED AREAS OF THE SITE. THE FENCE SHALL BE INSTALLED ALONG THE CONTOURS AND BE IN-PLACE PRIOR TO LAND DISTURBING ACTIVITIES.
- SEEDING - TECHNICAL STANDARD 1059; MULCHING - TECHNICAL STANDARD 1058

  DISTURBED AREAS OF THE SITE SHALL BE SEEDED AND MULCHED AS SOON AS THEY ARE BROUGHT TO FINISHED GRADE. IN ADDITION, ANY STOCK PILES IN PLACE FOR 7 DAYS OR MORE SHALL BE SEEDED AND MULCHED.
- NON-CHANNEL EROSION MAT - TECHNICAL STANDARD 1052

  EROSION CONTROL MAT SHALL BE PLACED AS SHOWN ON THE PLANS, AND/OR AS DETERMINED IN THE FIELD, TO PROTECT THE DISTURBED SLOPES FROM EROSION. NON-CHANNEL EROSION MAT SHALL BE INSTALLED AS SOON AS THE SLOPE HAS BEEN BROUGHT TO FINISHED GRADE.
- CONSTRUCTION SITE DIVERSION - TECHNICAL STANDARD 1066

  WHERE POSSIBLE, THE SITE WILL BE GRADED SUCH THE RUNOFF FROM UNDISTURBED AREAS IS ROUTED AROUND DISTURBED AREAS OF THE SITE.

SEDIMENT CARRIED OFF-SITE BY DEWATERING OPERATIONS:

- DEWATERING - TECHNICAL STANDARD 1061

  DEWATERING IS NOT ANTICIPATED FOR THIS PROJECT. IF IT IS REQUIRED, DEWATERING SHALL BE IN ACCORDANCE WITH THE DEWATERING TECHNICAL STANDARD. ANY NECESSARY PERMITS SHALL BE OBTAINED PRIOR TO DEWATERING OPERATIONS TAKE PLACE.

SEDIMENT ENTERING STORM DRAIN INLETS:

- STORM DRAIN INLET PROTECTION - TECHNICAL STANDARD 1060

  ALL INLETS, PROPOSED AND EXISTING, ACCEPTING RUNOFF FROM DISTURBED AREAS OF THE SITE SHALL HAVE INLET PROTECTION INSTALLED PRIOR TO LAND DISTURBING ACTIVITY WITHIN THE AREA DISCHARGING TO THE INLET.

SEDIMENT BEING CARRIED OFF-SITE BY WIND:

- DUST CONTROL - TECHNICAL STANDARD 1068

  WHEN REQUIRED, DUST CONTROL MEASURES SHALL BE EMPLOYED TO PREVENT DUST FROM BLOWING OFF-SITE.

CONCRETE WASHOUT

- CONCRETE WASHOUT SHALL BE COLLECTED AND RETAINED, BOTH WATER AND CONCRETE, IN LEAK PROOF CONTAINERS. WASHOUT CAN BE RECYCLED OR REUSED. SEE http://water.epa.gov/polwaste/npdes/swbmp/upload/concretewashout.pdf FOR DETAILS.

## GENERAL NOTES:

1. ALL CLEARING, GRADING, GRAVELING, PAVING, AND RESTORATION SHALL BE DONE IN ACCORDANCE WITH THE WISCONSIN DOT STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, CURRENT EDITION.

2. A COPY OF THE EROSION CONTROL PLAN SHALL BE KEPT ON SITE AT ALL TIMES.

3. EROSION CONTROL METHODS SHALL BE IMPLEMENTED, AS DIRECTED BY THE ENGINEER, PRIOR TO AND DURING CONSTRUCTION, TO CONTROL WATER POLLUTION, EROSION, AND SILTATION. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE WIDNR TECHNICAL STANDARDS.

4. CONTRACTOR IS RESPONSIBLE FOR CONTACTING DIGGERS HOTLINE FOR THE LOCATION OF THE UTILITIES.

5. CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND DISPOSAL OF ALL STUMPS.

6. EXCESS TOPSOIL SHALL BE STOCKPILED ON THE SITE WITH THE PROPER EROSION CONTROL AT A LOCATION ACCEPTABLE TO THE OWNER.

7. CONTRACTOR SHALL DISPOSE OF ALL WASTE AND EXCESS MATERIAL AT AN APPROVED LOCATION.

8. CONTRACTOR SHALL PROTECT ALL PROPERTY IRONS. A LICENSED LAND SURVEYOR, AT THE CONTRACTORS EXPENSE, SHALL REPLACE ANY PROPERTY IRONS REMOVED DURING CONSTRUCTION.

## INSPECTION AND MAINTENANCE

THE CONTRACTOR IS RESPONSIBLE FOR INSPECTION AND MAINTENANCE OF EROSION AND SEDIMENT CONTROLS UNTIL THE CONSTRUCTION SITE IS PERMANENTLY STABILIZED WITH A DENSE GRASS COVER. THE CONTRACTOR SHALL INSPECT EROSION AND SEDIMENT CONTROLS WEEKLY AND WITHIN 24 HOURS AFTER A RAINFALL EVENT OF 0.5 INCHES OR GREATER. THE CONTRACTOR SHALL INSPECT EROSION AND SEDIMENT CONTROLS FOR STRUCTURAL DAMAGE, SEDIMENT ACCUMULATION, OR ANY OTHER UNDESIRABLE CONDITION. THE CONTRACTOR SHALL REPAIR DAMAGED STRUCTURES PRIOR TO THE END OF EACH WORKING DAY. SEDIMENT SHALL BE REMOVED FROM THE STRUCTURE WHEN THE DEPTH OF SEDIMENT HAS ACCUMULATED TO ONE HALF THE HEIGHT OF THE DEVICE OR AS REQUIRED BY THE APPLICABLE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARD (CURRENT EDITION).

THE CONTRACTOR SHALL SUMMARIZE WEEKLY INSPECTION AND MAINTENANCE ACTIVITIES ON A WEEKLY INSPECTION REPORT THAT IS AVAILABLE THROUGH THE WDNR.

THE WEEKLY INSPECTION REPORT SHALL INCLUDE THE FOLLOWING MINIMUM INFORMATION:

NAME OF INDIVIDUAL PERFORMING INSPECTION;

DATE, TIME, AND PLACE OF INSPECTION;

A DESCRIPTION OF THE CONSTRUCTION PHASE;

A DESCRIPTION OF EROSION AND SEDIMENT CONTROL INSTALLATIONS;

A DESCRIPTION OF EROSION AND SEDIMENT CONTROL MAINTENANCE ACTIVITIES;

AND AN ASSESSMENT OF EROSION AND SEDIMENT CONTROL CONDITIONS.

THE CONTRACTOR SHALL PROMPTLY FURNISH THE ORIGINAL WEEKLY INSPECTION REPORTS TO THE OWNER, OWNER'S REPRESENTATIVE, OR WISCONSIN DEPARTMENT OF NATURAL RESOURCES WHEN REQUESTED. THE CONTRACTOR SHALL KEEP A COPY OF THE APPROVED EROSION & SEDIMENT CONTROL PLAN, PERMITS, AND WEEKLY INSPECTION REPORTS ON-SITE AT ALL TIMES.

ALL WASTE FROM THE CONSTRUCTION SITE SHALL BE PROPERLY DISPOSED OF AND NOT BE ALLOWED TO ENTER THE STORM SEWER SYSTEM, DRAINAGE SYSTEM, OR OTHER ENVIRONMENTALLY SENSITIVE AREAS LOCATED WITHIN THE CONSTRUCTION SITE, INCLUDING GARNERS CREEK.

## SEQUENCE OF CONSTRUCTION

NOVEMBER 2019
A. INSTALL TRACKOUT PROTECTION AND SILT FENCE AS SOON AS PRACTICABLE. PERFORM STREET SWEEPING AS NEEDED.
B. CONTACT THE VILLAGE OF KIMBERLY TO NOTIFY THEM THAT SITE GRADING IS TO BEGIN AND INITIAL EROSION CONTROLS ARE INSTALLED.
C. STRIP AND STOCKPILE TOPSOIL.
D. ROUGH GRADING OF PRIVATE DRIVE
E. INSTALL SANITARY SEWER

APRIL 2020
F. INSTALL WATER MAIN
G. SALVAGE SUITABLE MATERIAL FOR FILL MATERIAL. DISPOSE OF NON-SUITABLE OR EXCESS SOILS AT A PERMITTED OFF-SITE LOCATION.
H. INSTALL STORM SEWER
I. PERFORM STREET SWEEPING AND TEMPORARY MULCHING/SEEDING AS NEEDED AND REQUIRED.
J. INSTALL FOUNDATIONS
K. COMPLETE FINE GRADING OF DRIVEWAY AND PAVE.
L. COMPLETE FINE GRADING OF LANDSCAPING. PERMANENTLY STABILIZE EACH AREA OF THE CONSTRUCTION SITE WITH TOPSOIL. SEED, FERTILIZE, AND MULCH AS SOON AS PRACTICABLE AFTER FINAL GRADING.

JUNE 2020
M. REMOVE AND DISPOSE OF EROSION AND SEDIMENT CONTROL MEASURES WITHIN 30 DAYS OF FINAL SITE STABILIZATION (I.E. SILT FENCE). VEGETATION SHALL ACHIEVE 70% GROWTH TO BE CONSIDERED STABILIZED.

DESIGNED BY TJS
DATA FILE B-3919.txt
DATE 10-15-19

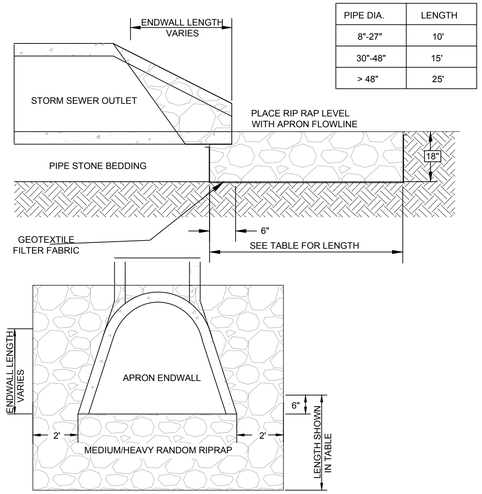
| Number | Date | Comments |
|---|---|---|
| ' | ' | ' |
| ' | ' | ' |
| ' | ' | ' |
| ' | ' | ' |
| ' | ' | ' |

Mau & Associates
LAND SURVEYING & PLANNING
CIVIL & WATER RESOURCE ENGINEERING
Phone: 920-434-9670 Fax: 920-434-9672

NOTES
BOSTAD BUILDERS

File: B-3919Eng Lot 27 090319.dwg

PROJECT NO. B-3919
SHEET NO. C6.0
DRAWING NO. S-3172




| PIPE DIA. | LENGTH |
|---|---|
| 8"-27" | 10' |
| 30"-48" | 15' |
| > 48" | 25' |

NOTES:

1) ENDWALLS 36" AND GREATER SHALL HAVE JOINT TIES TO PIPE SECTIONS.

2) TWIN APRON INSTALLATIONS SHALL BE GOVERNED BY THE SIZE OF THE LARGER PIPE.

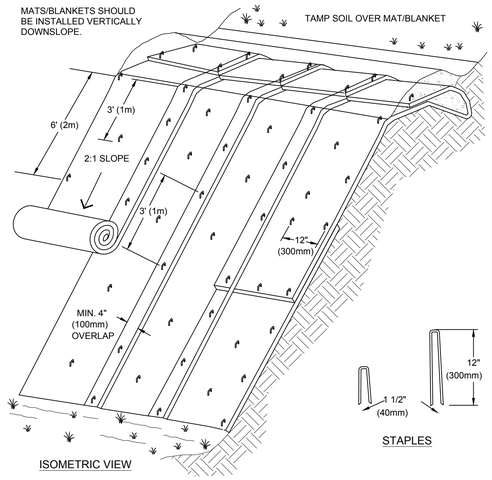
3) TRASH GRATES REQUIRED ON ALL ENDWALLS 18" AND GREATER.

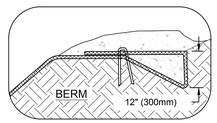
4) RIPRAP SHALL BE MEDIUM OR HEAVY RIPRAP AS DEFINED IN SECTION 606 OF THE WISCONSIN DOT STANDARD SPECIFICATIONS.

5) USE HEAVY RIPRAP FOR ENDWALLS 30" AND GREATER.

RIPRAP APRON

N.T.S.




TYPICAL SLOPE SOIL STABLIZATION

NOTES:

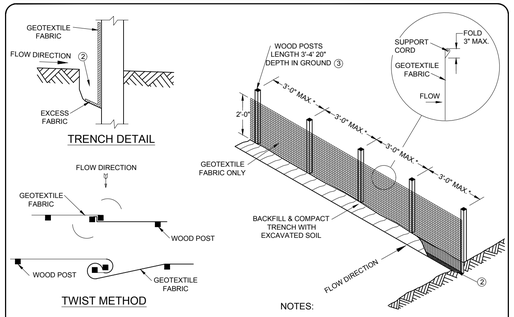
1. SLOPE SURFACE SHALL BE FREE OF ROCKS, CLODS, STICKS AND GRASS. MATS/ BLANKETS SHALL HAVE GOOD SOIL CONTACT.

2. APPLY PERMANENT SEEDING BEFORE PLACING BLANKETS.

3. LAY BLANKETS LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH THE SOIL. DO NOT STRETCH.

EROSION CONTROL MAT FOR SLOPE INSTALLATION

N.T.S.

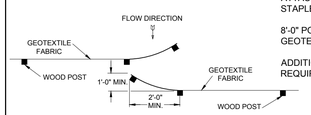



NOTES:

ATTACH THE FABRIC TO THE POSTS WITH WIRE STAPLES OR WOODEN LATH AND NAILS.

8'-0" POST SPACING ALLOWED IF A WOVEN GEOTEXTILE FABRIC IS USED.

ADDITIONAL POST DEPTH OR TIE BACKS MAY BE REQUIRED IN UNSTABLE SOILS.




HOOK METHOD

JOINING TWO LENGTHS OF SILT FENCE ⑥

GENERAL NOTES:

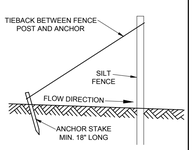
1. HORIZONTAL BRACE REQUIRED WITH 2" X 4" WOODEN FRAME OR EQUIVALENT AT TOP OF POSTS.

2. TRENCH SHALL BE A MINIMUM OF 4" WIDE & 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FOLD MATERIAL TO FIT TRENCH AND BACKFILL & COMPACT TRENCH WITH EXCAVATED SOIL.

3. WOOD POSTS SHALL BE A MINIMUM SIZE OF 1„" X 1„" OF OAK OR HICKORY.

4. SILT FENCE TO EXTEND ACROSS THE TOP OF THE PIPE.

5. CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL IF POSSIBLE BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY USE ONE OF THE FOLLOWING TWO METHODS; A) OVERLAP THE END POSTS AND TWIST, OR ROTATE, AT LEAST 180 DEGREES, B) HOOK THE END OF EACH SILT FENCE LENGTH.



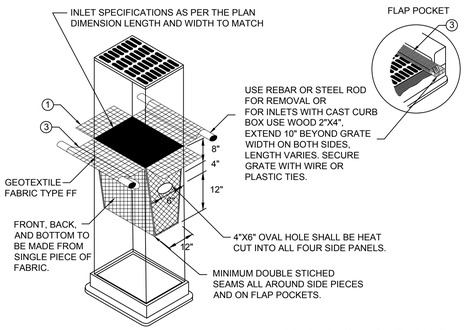

SILT FENCE TIE BACK

(WHEN ADDITIONAL SUPPORT REQUIRED)

This drawing based on Wisconsin Department of Transportation Standard Detail Drawing 8 E 9-6

SILT FENCE

N.T.S.




INLET PROTECTION, TYPE D

(CAN BE INSTALLED IN ANY INLET TYPE WITH OR WITHOUT A CURB BOX AS PER NOTE 2)

GENERAL NOTES

MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE DEPARTMENT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED. WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.

1.) FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.

2.) FOR INLET PROTECTION, TYPE C (WITH CURB BOX), AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.

3.) FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2X4.

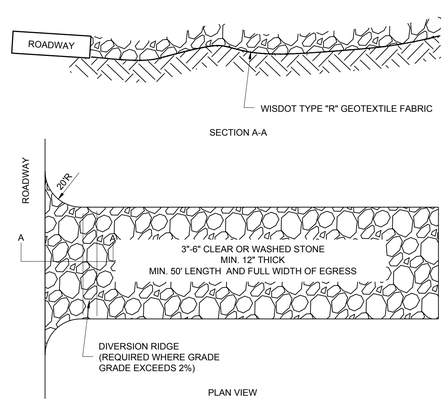
INSTALLATION NOTES TYPE D

DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30", MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.
TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.
THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3".
WHERE NECESSARY THE CONTRACTOR SHALL CINCH THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.

This drawing based on Wisconsin Department of Transportation Standard Detail Drawing 8 E 10-2.

INLET PROTECTION TYPE D

N.T.S.




NOTES:

1. SURFACE WATER MUST BE DIVERTED AROUND OR UNDER THE TRACKING PAD. TO DIVERT SURFACE WATER UNDER THE TRACKING PAD, INSTALL CULVERT WITH A MINIMUM 18" COVER.

2. ROCKS LODGED IN TIRES MUST BE REMOVED PRIOR TO LEAVING THE SITE.

3. TRACKING PADS SHALL BE INSTALLED AND MAINTAINED AT ALL EGRESS POINTS FROM THE SITE.

4. SEDIMENT TRACKED ONTO A ROAD SHALL BE REMOVED BY THE END OF THE WORKING DAY. IF THE TRACKED SEDIMENT PRESENTS A HAZARD IT SHALL BE REMOVED IMMEDIATELY.

5. TRACKING PADS SHALL BE MAINTAINED BY SCRAPING OR TOP-DRESSING WITH ADDITIONAL AGGREGATE. A MINIMUM 12" PAD SHALL BE MAINTAINED.

STONE TRACKING PAD

N.T.S.

DESIGNED BY TJS

DATA FILE B-3919.txt

DATE 10-15-19

| Number | Date | Comments |
|---|---|---|
| - | - | - |
| - | - | - |
| - | - | - |
| - | - | - |
| - | - | - |


Mau & Associates
LAND SURVEYING & PLANNING
CIVIL & WATER RESOURCE ENGINEERING
Phone: 920-434-9670 Fax: 920-434-9672

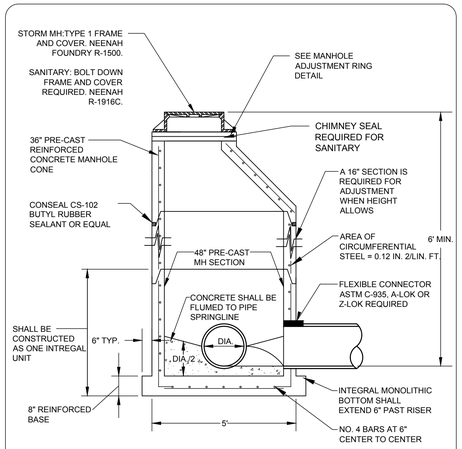

DETAILS
BOSTAD BUILDERS

File: B-3919SEng Lot 27 090319.dwg

PROJECT NO. B-3919

SHEET NO. C7.0

DRAWING NO. S-3172

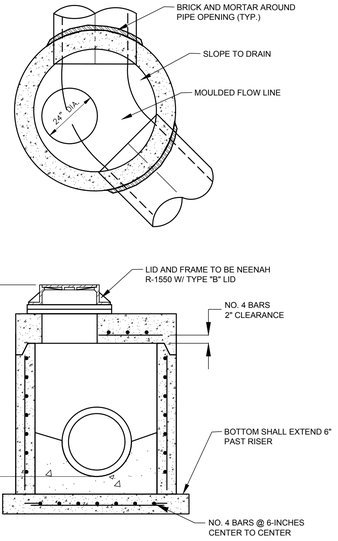



NOTE:
① STANDARD REINFORCED CONCRETE MANHOLES SHALL MEET ASTM C-478

② STEPS SHALL BE 12-INCHES WIDE AND PROJECT FROM THE WALL BETWEEN 5-INCHES AND 7-INCHES.

STANDARD TYPE "A"
SANITARY/STORM MANHOLE

N.T.S.



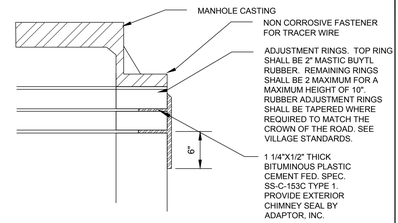

NOTE:

1.) STANDARD REINFORCED CONCRETE MANHOLES SHALL MEET ASTM C-478

2.) STEPS SHALL BE 12-INCHES WIDE AND PROJECT FROM THE WALL BETWEEN 5-INCHES AND 7-INCHES.

STORM MANHOLE

N.T.S.



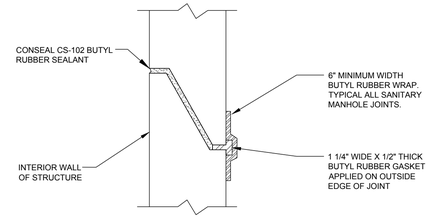

ADJUSTMENT RINGS JOINT DETAIL

NOTES

1. FINAL ADJUSTMENT RING SHALL BE A 2-INCH MASTIC BUTYL RUBBER FOR MANHOLES WITHIN THE ROAD SECTION.

2. SEAL SPACES BETWEEN RUBBER RINGS WITH POLYURETHANE SEALANT.

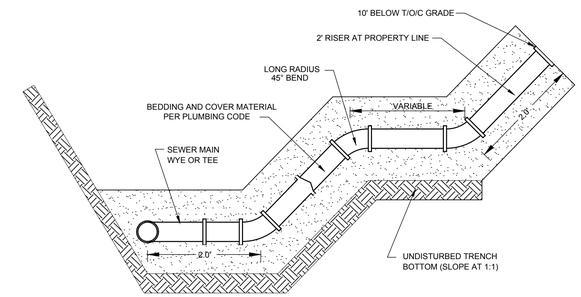
3. MANHOLES IN ROADWAYS REQUIRE CHIMNEY SEALS.




TYPICAL MANHOLE JOINT DETAIL

MANHOLE JOINT

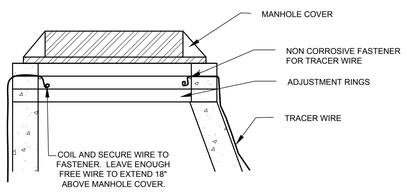
N.T.S.




NOTE:
22.5° BENDS MAY BE ALLOWED ON A CASE BY CASE BASIS PER VILLAGE OF BELLEVUE

STANDARD RISER FOR
SERVICE CONNECTION

N.T.S.




NOTES

1. TRACER WIRE SHALL BE 12 GAUGE OR HEAVIER COPPER SINGLE-CONDUCTOR WIRE WITH TYPE UF (UNDERGROUND FED) INSULATION. INSULATION SHALL BE BLUE FOR WATER MAIN BROWN FOR STORM SEWER, AND GREEN FOR SANITARY SEWER.

2. TRACER WIRE SHALL BE INSTALLED OVER THE CENTER OF THE PIPE, SECURED WITH TAPE AT LEAST EVERY 5'.

3. TRACER WIRE SHALL BE BROUGHT UP AT ALL MANHOLES, CURB INLETS, AND CATCH BASINS ACCORDING TO THE ABOVE DETAIL UNLESS OTHERWISE NOTED.

4. TRACER WIRE SHALL BE BROUGHT UP AT ALL VALVE BOXES. SPIRAL TRACER WIRE UP AROUND THE VALVE BOX. DRILL 3/16" HOLE 4 1/2" FROM THE TOP OF THE VALVE BOX. FEED AT LEAST 16" OF TRACER WIRE THROUGH THE HOLE. KNOT THE WIRE SUCH THAT 16" OF WIRE REMAIN COILED IN THE VAVLE BOX.

5. TRACER WIRE SHALL BE BROUGHT UP AT ALL HYDRANTS. INSTALL A TRACER WIRE ACCESS BOX AND FROST SLEEVE (2" DIA. PVC) ADJACENT TO HYDRANT.

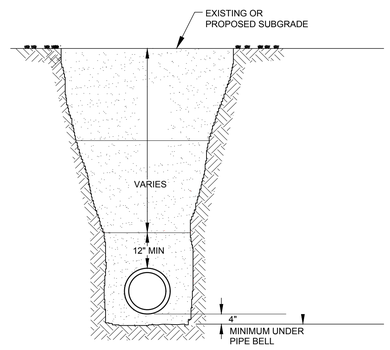
6. CONNECT TRACER WIRE TO THE COVER OF THE TRACER WIRE ACCESS BOX AT THE TOP OF THE FROST SLEEVE WITH AT LEAST ONE (1') FOOT OF EXCESS LENGTH AT THE CONNECTION. THE TRACER WIRE ACCESS BOX SHALL HAVE A CAST IRON COLLAR AND COVER AND SHALL BE AS MANUFACTURED BY C.P. TEST SERVICES-VALVCO OR APPROVED EQUAL. THE COVER SHALL BE STAMPED WITH THE WORD "WATER". THE TOP OF THE FROST SLEEVE SHALL BE INSTALLED INSIDE THE ACCESS BOX AND AT A MINIMUM OF SIX (6") INCES BELOW THE TOP OF THE ACCESS BOX.

7. ATTACH THE TRACER WIRE TO THE ACCESS BOX USING THE STAINLESS STEEL TERMINAL BOLTS ON THE COVER.

8. DIRECT BURY LUGS SHALL BE USED WHEN JOINING TRACER WIRE.

TRACER WIRE

N.T.S.



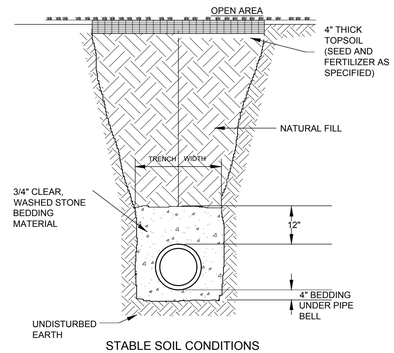

STANDARD TRENCH COMPACTION
USE MECHANICAL COMPACTION TO COMPACT BACKFILL IN TRENCHES IN 12 INCH LAYERS FROM ONE FOOT ABOVE TOP OF PIPE TO FINISHED GRADE TO MINIMUM DENSITY OF 95% STANDARD PROCTOR.

TESTING
PERFORM AT LEAST TWO FIELD DENSITY TESTS IN RANDOM COMPACTED BACKFILL LAYERS FOR EVERY 400 LINEAR FEET OF TRENCH, OR FRACTION THEREOF. DENSITY TESTS SHALL BE AT RANDOMLY SELECTED LOCATIONS AND IN ACCORDANCE WITH ASTM D1556/AASHTO T191 OR ASTM D2922/AASHTO T310.

TRENCH COMPACTION DETAIL

N.T.S.

SURFACE RESTORATION



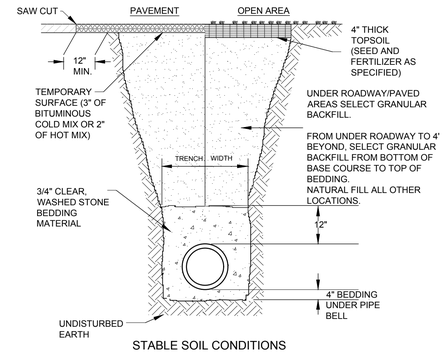

STABLE SOIL CONDITIONS

NOTE:
ALL PIPE SHALL BE INSTALLED IN ACCORDANCE WITH ASTM DESIGNATION D 2321. IF RUNNING, CAVING OR SQUEEZING SOILS ARE ENCOUNTERED, THE ENGINEER SHALL BE IMMEDIATELY NOTIFIED IN ORDER TO DETERMINE WHAT CORRECTIVE MEASURES SHALL BE TAKEN.

TYPICAL TRENCH DETAIL IN TYPICAL OPEN AREA

N.T.S.

SURFACE RESTORATION




STABLE SOIL CONDITIONS

NOTE:
ALL PIPE SHALL BE INSTALLED IN ACCORDANCE WITH ASTM DESIGNATION D 2321. IF RUNNING, CAVING OR SQUEEZING SOILS ARE ENCOUNTERED, THE ENGINEER SHALL BE IMMEDIATELY NOTIFIED IN ORDER TO DETERMINE WHAT CORRECTIVE MEASURES SHALL BE TAKEN.

TYPICAL TRENCH DETAIL AT PAVEMENT

N.T.S.

DESIGNED BY TJS

DATA FILE B-3919.txt

DATE 10-15-19

| Number | Date | Comments |
|---|---|---|
| ' | ' | ' |
| ' | ' | ' |
| ' | ' | ' |
| ' | ' | ' |
| ' | ' | ' |


Mau & Associates
LAND SURVEYING & PLANNING
CIVIL & WATER RESOURCE ENGINEERING
Phone: 920-434-9670 Fax: 920-434-9672

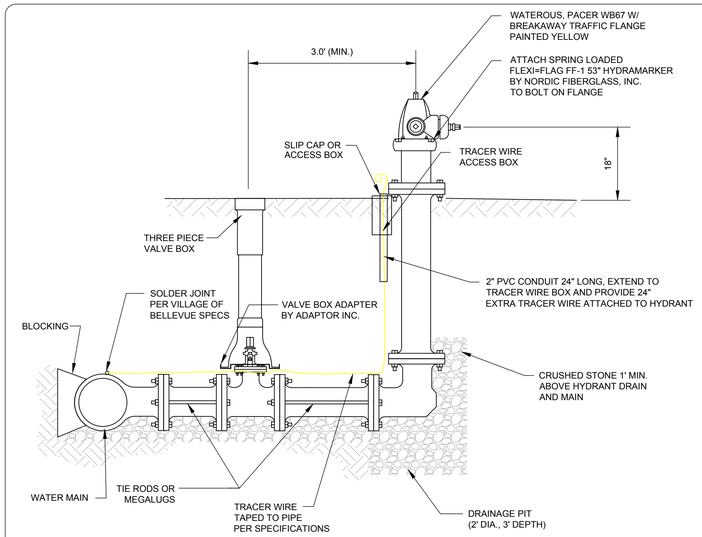

DETAILS
BOSTAD BUILDERS

File: B-3919Eng Lot 27 090319.dwg

PROJECT NO. B-3919

SHEET NO. C7.1

DRAWING NO. S-3172




NOTE:
1. POLY WRAP HYDRANT VALVES, BARREL, BOX, AND ANY OTHER DUCTILE IRON PIPE/FIXTURES WITH POLYETHYLENE WRAP. TAPE WRAP AT FLANGE OF HYDRANT.

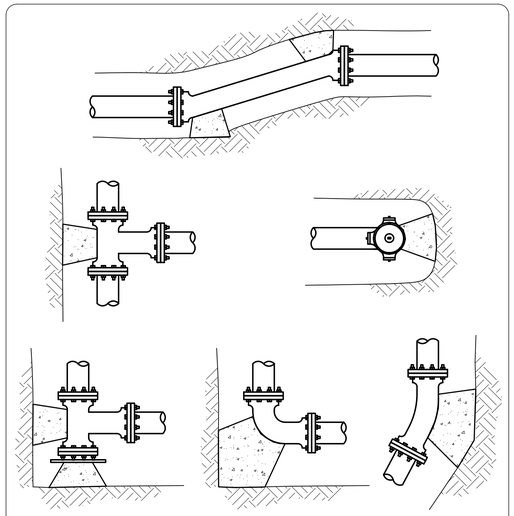
2. TRACER WIRE SHALL BE BROUGHT UP AT ALL HYDRANTS. INSTALL A TRACER WIRE ACCESS BOX AND FROST SLEEVE (2" DIA. PVC) ADJACENT TO HYDRANT.

3. HYDRANTS SHALL BE LOCATED 5' OFF BACK OF CURB AND NOZZLES POINTED TO BACK OF CURB.

4. SEE PLANS FOR LOCATIONS OF ANCHOR TEES.

HYDRANT INSTALLATION

N.T.S.



NOTES:
1) CONCRETE SHALL HAVE A MIN. COMPRESSIVE STRENGTH OF 2000 PSI AND SHALL BE CAST AGAINST THE UNDISTURBED EARTH.

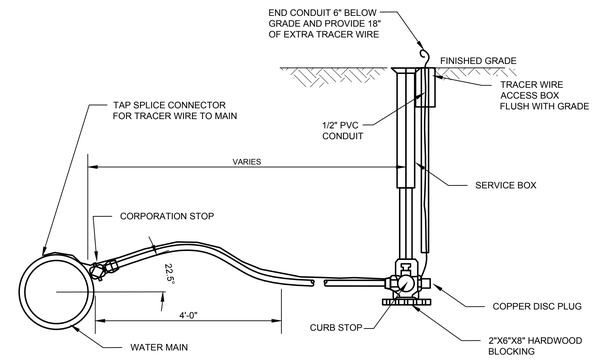
2) FITTINGS SHALL BE WRAPPED IN POLYETHYLENE WRAP TO PREVENT CONCRETE FROM BONDING TO FITTING.

3) CONCRETE SHALL BE FORMED AS REQUIRED TO PREVENT CONTACT OR INTERFERENCE WITH JOINTS.

4) LENGTH OF THRUST BLOCK SHALL BE TWICE THE WIDTH. BEARING AREA = LENGTH X WIDTH.

THRUST BLOCK LOCATIONS

N.T.S.




NOTES:

1) CORPORATION STOPS SHALL BE INSTALLED AT 10 O'CLOCK AND 2 O'CLOCK ON THE PIPE CIRCUMFERENCE.

2) TAPS SHALL NOT BE INSTALLED CLOSER THAN 18-INCHES BETWEEN TAPS OR 24-INCHES FROM END OF PIPE.

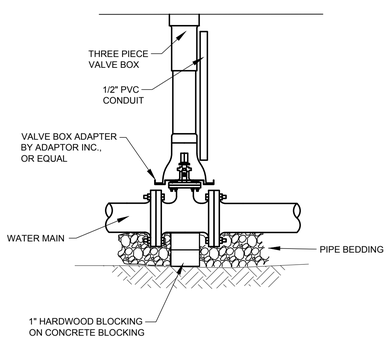
3) CORPORATION STOPS SHALL BE INSTALLED AT NORMAL WORKING PRESSURE TO VISUALLY OBSERVE LEAKS.

4) CURB STOPS SHALL BE INSTALLED AT THE PROPERTY LINE UNLESS SPECIFIED OTHERWISE ON DRAWINGS.

5) ALL UNDERGROUND ITEMS SHALL BE POLYWRAPPED.

STANDARD WATER SERVICE

N.T.S.




NOTES:

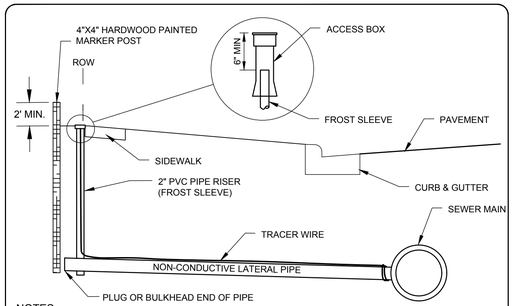
1) UNDERGROUND PORTIONS OF VALVES AND VALVE BOXES SHALL BE WRAPPED WITH POLYETHYLENE WRAP.

2) VALVE BOXES SHALL BE CAST IRON, THREE-PIECE SCREW TYPE, 5 1/4" SHAFT, ROUND OR OVAL BASE SIZED FOR THE VALVE.

3) VALVE BOX COVER SHALL BE ANTI-RATTLE TYPE WITH THE WORD "WATER" ON TOP.

GATE VALVE

N.T.S.

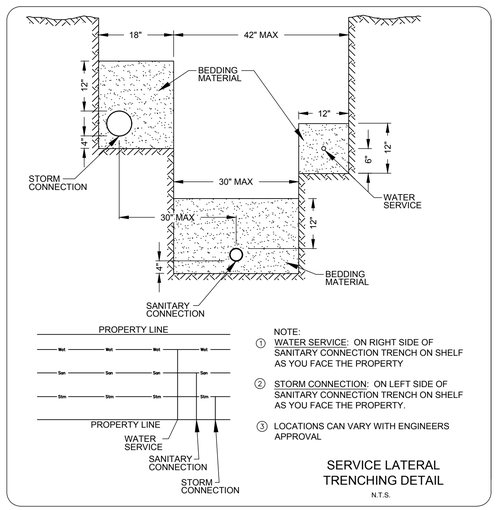



NOTES

1. TRACER WIRE SHALL BE 12 GAUGE OR HEAVIER COPPER SINGLE-CONDUCTOR WIRE WITH TYPE UF (UNDERGROUND FED) INSULATION.
2. INSULATION SHALL BE GREEN FOR SANITARY SEWER SERVICE LATERALS, BROWN FOR STORM SEWER SERVICE LATERALS, AND BLUE FOR WATER LATERALS.
3. STRIP THE INSULATION FROM THE END OF THE TRACER WIRE AT THE MAIN LINE TO GET ENOUGH BARE WIRE TO WRAP AROUND THE LATERAL PIPE TWICE AND KNOT AS CLOSE TO THE STRUCTURE OR MAIN LINE PIPE AS POSSIBLE. THE TRACER WIRE SHALL BE PLACED ON TOP OF THE LATERAL, THEN INSIDE THE FROST SLEEVE, AND UP TO THE TOP OF THE FROST SLEEVE. TIE TRACER WIRE TO LATERAL WITH ELECTRICAL TAPE OR PLASTIC ZIP TIES AT SIX (6') MAX. SPACING. CUT A SLOT IN THE BOTTOM OF THE FROST SLEEVE FOR THE TRACER WIRE TO PASS THROUGH. SPLICES IN THE TRACER WIRE WILL NOT BE ALLOWED. THE TRACER WIRE SHALL NOT BE SPIRAL WRAPPED AROUND THE PIPE.
4. INSTALL TRACER WIRE ACCESS BOXES AT WATER SERVICES AND AT HYDRANTS. IF SEWER AND WATER SERVICES ARE INSTALLED INT EH SAME TRENCH, INSTALL ONLY ONE (1) ACCESS BOX. IF SEWER AND WATER SERVICES ARE INSTALLED INS EPARATE TRENCHES, THEN INSTALL ONE (1) ACCESS BOX PER SERVICE. TRACER WIRE IS NOT REQUIRED TO BE INSTALLED AT THE LAVE BOX LOCATIONS.
5. CONNECT TRACER WIRE TO THE COVER OF THE TRACER WIRE ACCESS BOX AT THE TOP OF THE FROST SLEEVE WITH AT LEAST ONE (1') FOOT OF EXCESS LENGTH AT THE CONNECTION. THE TRACER WIRE ACCESS BOX SHALL HAVE A CAST IRON COLLAR AND COVER AND SHALL BE MANUFACTURED BY C.P. TEST SERVICES-VALVCO OR APPROVED EQUAL. THE COVER SHALL BE STAMPED WITH THE WORDS "STORM SEWER" FOR STORM SEWER SERVICE LATERALS AND "SEWER" FOR SANITARY SEWER SERVICE LATERALS. THE TOP OF THE FROST SLEEVE SHALL BE INSTALLED INSIDE THE ACCESS BOX AND AT A MINIMUM OF SIX (6") INCES BELOW THE TOP OF THE ACCESS BOX.
6. ATTACH THE TRACER WIRE TO THE ACCESS BOX USING THE STAINLESS STEEL TERMINAL BOLTS ON THE COVER.
7. INSTALL ONE TRACER WIRE FOR EACH NON-CONDUCTIVE LATERAL.
8. INSTALL ACCESS BOX FLUSH WITH THE FINISHED GRADE AND ADJACENT TO THE STREET SIDE OF THE REQUIRED 4"X4" MARKING POST.
9. IF THE FROST SLEEVE ASSEMBLY IS LOCATED IN AN AREA SUBJECT TO VEHICULAR TRAFFIC THE TOP OF THE FROST SLEEVE SHALL TERMINATE IN A CONCRETE PAD AT LEAST FOUR (4") INCHES THICK AND EXTENDING AT LEAST NINE (9") INCHES FROM THE SLEEVE ON ALL SIDES, SLOPING AWAY FROM THE SLEEVE.

TRACER WIRE FOR
NON-CONDUCTIVE LATERALS

N.T.S.



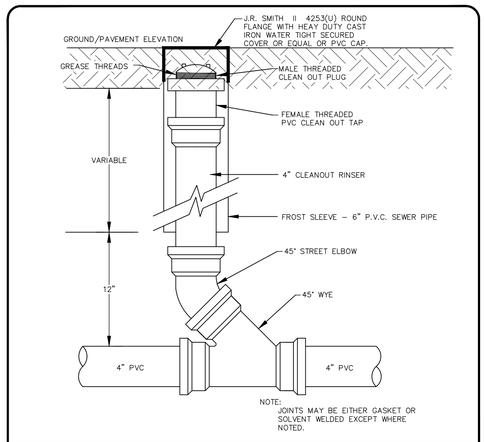

NOTE:
① WATER SERVICE: ON RIGHT SIDE OF SANITARY CONNECTION TRENCH ON SHELF AS YOU FACE THE PROPERTY

② STORM CONNECTION: ON LEFT SIDE OF SANITARY CONNECTION TRENCH ON SHELF AS YOU FACE THE PROPERTY.

③ LOCATIONS CAN VARY WITH ENGINEERS APPROVAL

SERVICE LATERAL
TRENCHING DETAIL

N.T.S.




SANITARY SERVICE LATERAL CLEANOUT WITH FROST SLEEVE

DESIGNED BY
TJS

DATA FILE
B-3919.txt

DATE
10-15-19

| Number | Date | Comments |
|---|---|---|
| - | - | - |
| - | - | - |
| - | - | - |
| - | - | - |
| - | - | - |


Mau & Associates
LAND SURVEYING & PLANNING
CIVIL & WATER RESOURCE ENGINEERING
Phone: 920-434-9670 Fax: 920-434-9672


DETAILS
BOSTAD BUILDERS

File: B-3919Eng Lot 27 080319.dwg

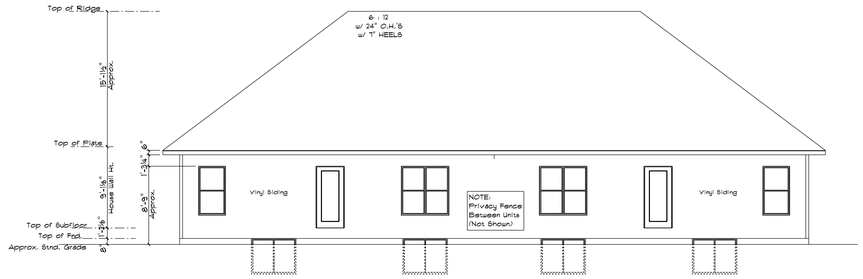
PROJECT NO.
B-3919

SHEET NO.
C7.2

DRAWING NO.
S-3172

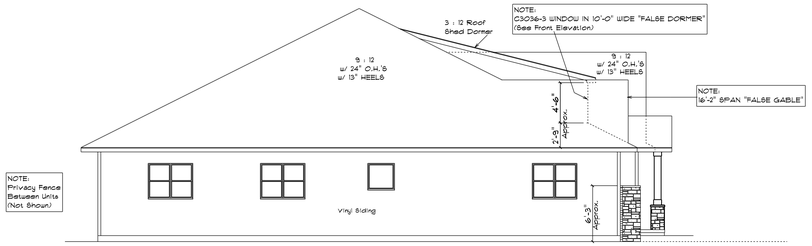
## SQUARE FOOTAGE:

| | |
|---|---|
| UNIT A FIRST FLOOR: | 1561 |
| UNIT A FINISHED BASEMENT: | n/a |
| UNIT A GARAGE: | 458 |
| UNIT A FRONT COVERED PORCH: | 54 |
| UNIT A REAR WOOD DECK PATIO: | T.B.D. |
| UNIT B FIRST FLOOR: | 1561 |
| UNIT B FINISHED BASEMENT: | n/a |
| UNIT B GARAGE: | 500 |
| UNIT B FRONT COVERED PORCH: | 52 |
| UNIT B REAR WOOD DECK PATIO: | T.B.D. |



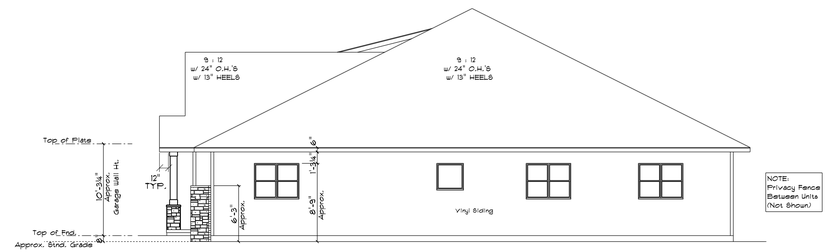

## REAR ELEVATION

SCALE: 1/8" = 1'-0"



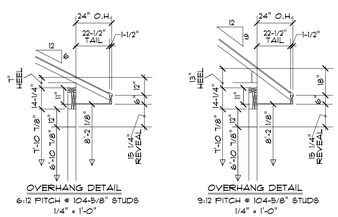

## LEFT ELEVATION

SCALE: 1/8" = 1'-0"




## RIGHT ELEVATION

SCALE: 1/8" = 1'-0"




OVERHANG DETAIL
6:12 PITCH @ 104-5/8" STUDS
1/4" = 1'-0"




OVERHANG DETAIL
9:12 PITCH @ 104-5/8" STUDS
1/4" = 1'-0"

## FRONT ELEVATION

SCALE: 1/4" = 1'-0"

NOTE:
GRADE LINES SHOWN ARE APPROXIMATE ONLY
AND MUST BE FIELD-VERIFIED BY BUILDER.

**NOTE:**

THIS CONSTRUCTION PLAN CURRENTLY DOESN'T NOTATE PROPER WALL BRACING REQUIREMENTS. PLEASE CONTACT WISCONSIN BUILDING SUPPLY PRIOR TO APPLYING FOR PERMITS TO INITIATE THE START OF THE WALL BRACING PLAN/CALCULATIONS

CUSTOM DESIGNED FOR:

JOB NAME: LOT 21 DUPLEX JOB

DATE: 23 June 2016

DRAWN BY: Chris Schuette

REVISIONS:
29 June 2016
07 Feb. 2018

PLAN # OFF. PLANS: 18-460-D 18-461-D

19-193-D

BOSTAD BUILDERS

**IMPORTANT NOTE:**

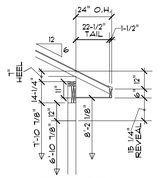
- IT IS AGREED THAT ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS TO ACCURATELY REPRESENT THE DETAILS AND NOTES BEFORE BEGINNING ANY CONSTRUCTION AND IS HEREBY HELD RESPONSIBLE FOR ANY DISCOVERED DISCREPANCIES.
- IT IS UNDERSTOOD THAT THE WISCONSIN SAFETY AND PROFESSIONAL SERVICES CODE AND LAYOUT DRAWINGS FOR FLOOR AND ROOF TRUSSES SHALL TAKE FINAL PRECEDENCE OVER THESE ARCHITECTURAL PLANS.


MAILING ADDRESS:
P.O. BOX 10001
GREEN BAY, WI 54307-0001

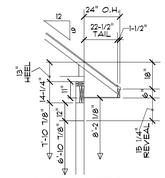
OFFICE:
1990 LARSEN ROAD
GREEN BAY, WI 54303
PHONE (920)494-5050
FAX (920)494-9570

COMPONENTS:
1145 MORAINE TERRACE
GREEN BAY, WI 54303
PHONE (920)494-5094
FAX (920)498-1219

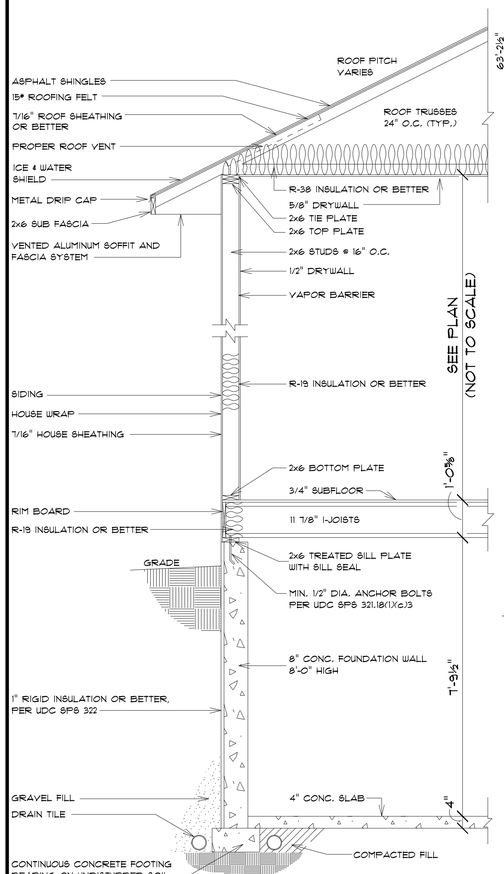
Wisconsin BUILDING SUPPLY




OVERHANG DETAIL
6:12 PITCH @ 104-5/8" STUDS
1/4" = 1'-0"



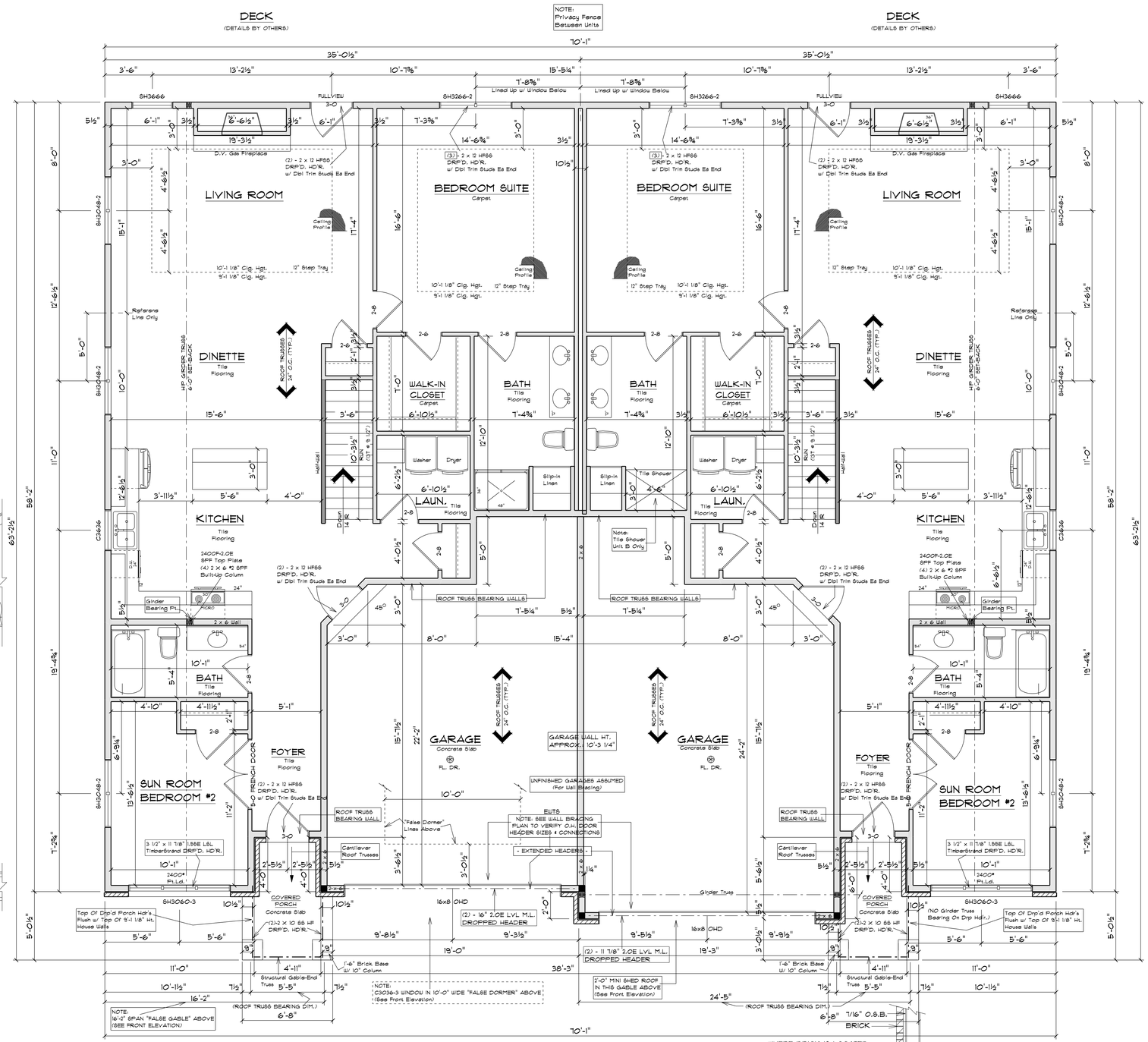

OVERHANG DETAIL
9:12 PITCH @ 104-5/8" STUDS
1/4" = 1'-0"




TYPICAL RANCH SECTION

SCALE: 1/2" = 1'-0"

ALL ITEMS TO BE VERIFIED BY CONTRACTOR



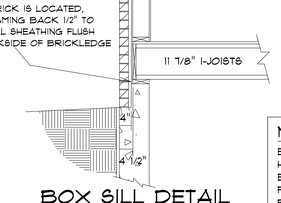

UNIT A

UNIT B

FLOOR PLAN

SCALE: 1/4" = 1'-0"

9'-1 1/8" CLG. HGT.

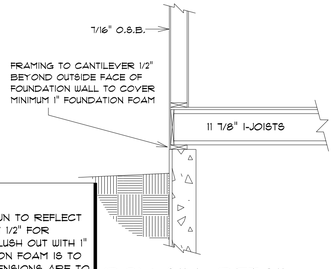



BOX SILL DETAIL WITH BRICK EXTERIOR

SCALE: 1/2" = 1'-0"

NOTE:

EXTERIOR DIMENSIONS ARE SHOWN TO REFLECT HOUSE FRAMING WALLS HELD OUT 1/2" FOR EXTERIOR WALL SHEATHING TO FLUSH OUT WITH 1" FOUNDATION FOAM. IF FOUNDATION FOAM IS TO BE OTHER THAN 1", FRAMING DIMENSIONS ARE TO BE FIELD ADJUSTED AND MAINTAIN ALL CODE COMPLIANCE ACCORDINGLY.




BOX SILL DETAIL

SCALE: 1/2" = 1'-0"

## SQUARE FOOTAGE:

| | |
|---|---|
| UNIT A FIRST FLOOR: | 1561 |
| UNIT A FINISHED BASEMENT: | n/a |
| UNIT A GARAGE: | 458 |
| UNIT A FRONT COVERED PORCH: | 54 |
| UNIT A REAR WOOD DECK PATIO: | T.B.D. |
| UNIT B FIRST FLOOR: | 1561 |
| UNIT B FINISHED BASEMENT: | n/a |
| UNIT B GARAGE: | 500 |
| UNIT B FRONT COVERED PORCH: | 52 |
| UNIT B REAR WOOD DECK PATIO: | T.B.D. |

## PLAN SPECIFICATIONS:

**• THE CONDITIONS LISTED BELOW ARE STANDARD FOR THIS PLAN ONLY - EXCEPTIONS ARE NOTED ON THE PLAN ITSELF**

**WALL INFORMATION:**
HOUSE FOUNDATION:
8" x 8'-0" POURED CONCRETE
GARAGE FOUNDATION:
6" x 4'-0" POURED CONCRETE
PORCH/PATIO FOUNDATION:
6" POURED CONCRETE, MIN. 4'-0" TALL

HOUSE EXTERIOR:
FIRST FLOOR: 2 x 6 x 9'-1 1/8", STUDS @ 16" O.C.
HOUSE INTERIOR:
FIRST FLOOR: 2 x 4 x 9'-1 1/8", STUDS @ 16" O.C.
GARAGE: 2 x 6 x 10'-3 1/4", STUDS @ 16" O.C.

- TALL WALLS ARE EXTERIOR WALLS WITH STUDS TALLER THAN 10'-0" AND NEED TO BE DESIGNED BY ENGINEERED WOOD PRODUCTS SUPPLIER
- TAPERED WALLS ARE TO BE FRAMED TO UNDERSIDE OF SCISSORS ROOF TRUSSES

**STAIR INFORMATION:**
BASEMENT TO FIRST FLOOR:
14 RISERS @ 7 9/16", 13 TREADS @ 9 1/2"
BASEMENT TO GARAGE:
n/a

**FLOOR SYSTEM(S):**
BASEMENT:
4" REINFORCED CONCRETE SLAB
FIRST FLOOR:
11 7/8" I-JOISTS @ 16" O.C.
STD. LOADING (PER SQ. FT.):
40# LL, 10# DL
ADDITIONAL LOADING (PER SQ. FT.):
10# DL FOR TILE FLOOR
25# DL FOR GRANITE
DEFLECTION: LL(L/480) DL(L/240)
DURATION OF LOAD: 1.00%
- FRAMER TO REFERENCE JOIST/TRUSS LAYOUT PLANS TO VERIFY EXACT SIZE AND LOCATION OF ALL FLUSH HEADERS AND BEAMS IN FLOOR SYSTEM

**ROOF SYSTEM:**
ENGINEERED WOOD TRUSSES @ 24" O.C.
DESIGNED FOR OUTAGAMIE COUNTY - ZONE #2
STD. LOADING (PER SQ. FT.):
30# TCLL 10# TCDL 10# BCDL
DEFLECTION: LL(L/240) DL(L/180)
DURATION OF LOAD: 1.15%
- FRAMER TO REFERENCE TRUSS LAYOUT PLANS TO VERIFY EXACT LOCATIONS OF GIRDER TRUSSES AND THEIR RESPECTIVE BEARING REQUIREMENTS & UPLIFT ANCHORING REQUIREMENTS

**HEADERS:**
- STD. HEADERS: (2) 2 x 12 HEM-FIR SELECT STRUCTURAL
- TOP OF WINDOW R.O.S:
FIRST FLOOR @ 6'-10 7/8" ABOVE SUBFLOOR
- MINIMUM OF (2) TRIM STUDS AT EACH END FOR ALL OPENINGS 6'-0" AND LARGER

**WINDOWS:**
- ALLIANCE, VINYL, SINGLE-HUNG
- MANUFACT. TO PROVIDE SUPPLIER WITH EXACT R.O. SIZES AND DETAILS. SUPPLIER TO VERIFY THAT ALL CODE REQUIREMENTS ARE MET.

**GENERAL INFORMATION:**
- THE FOLLOWING ITEMS ARE TO BE LOCATED IN THE FOUNDATION BY THE GENERAL CONTRACTOR:
BASEMENT WINDOWS — FLOOR DRAINS
ELECTRIC SERVICES — WATER HEATER
SUMP PIT & PUMP — FURNACE
- BUILDER TO PROVIDE HEADERS AT CONCRETE OPENINGS IF NOT NOTED ON THE FOUNDATION PLAN
- POURED CONCRETE FOOTINGS TO BEAR ON UNDISTURBED SOIL BELOW THE FROST LINE
- STEEL COLUMNS TO SUPPORT 12,000#
- INTERIOR BEARING WALLS TO SIT ON CONTINUOUS CONCRETE FOOTINGS, STUDS @ 16" O.C. WITH BLOCKING OR LATERAL BRACING
- CONCRETE CONTRACTOR AND BUILDER ARE RESPONSIBLE TO DETERMINE SITE SOIL CONDITIONS AND FOLLOW STANDARDS PER SPS 320.24. THE MOST RESTRICTIVE STANDARDS OF SPS 321.15 - SPS 321.18, ACI 318-14, AND ACI 332-14 FOR ALL FOOTING & WALL REINFORCEMENT, IF NEEDED, MUST BE FOLLOWED
- ASSUMED SOIL CAPACITY IS 3,000 PSF, FTG SIZES MUST BE ADJUSTED FOR VARYING SITE DETERMINED SOIL BEARING CONDITIONS
- ALL LUMBER IN PERMANENT CONTACT W/ CONCRETE MUST BE PRESSURE TREATED LUMBER AS PER WI SPS 321.10
- DUE TO UNKNOWN GRADE CONDITIONS, ACTUAL STEPS IN FOUNDATION WALLS AND LOCATION OF WINDOW WELLS TO BE DETERMINED ON SITE BY GENERAL CONTRACTOR
- FRAMER IS RESPONSIBLE FOR TRANSFERRING POINT LOADS FROM ABOVE, THROUGH THE FLOOR SYSTEM(S) AND WALLS, W/ SOLID BLOCKING DOWN TO CONCRETE FOUNDATION WALLS BELOW
- PLAN IS DRAWN ACCORDINGLY FOR 2 3/4" CASING
- ALL DIMENSIONS SHOWN ARE FROM STUD TO STUD
- BUILDER TO PROVIDE ATTIC SCUTTLE AND LOCATION
- FIRE SEPARATION MUST BE PROVIDED BETWEEN HOUSE AND GARAGE (SEE CODE FOR DETAILS)
- ALL CABINET LAYOUTS ARE CONCEPTUAL. CONSULT CABINET DESIGNER/ PROVIDER FOR EXACT SIZES AND LOCATIONS OF CABINETS, APPLIANCES, AND WINDOWS

**IMPORTANT NOTE:**

• IT IS AGREED THAT ALTHOUGH EVERY EFFORT HAS BEEN MADE IN GENERATING THESE PLANS, THE GENERAL CONTRACTOR/OWNER MUST REVIEW ALL DIMENSIONS, DETAILS AND NOTES BEFORE BEGINNING ANY CONSTRUCTION AND IS HEREBY HELD RESPONSIBLE FOR ANY DISCOVERED DISCREPANCIES.

• IT IS UNDERSTOOD THAT THE WISCONSIN SAFETY AND PROFESSIONAL SERVICES CODE AND LAYOUT DRAWINGS FOR FLOOR AND ROOF TRUSSES SHALL TAKE FINAL PRECEDENCE OVER THESE ARCHITECTURAL PLANS.

CUSTOM DESIGNED FOR:

JOB NAME: LOT 21 DUPLEX JOB

DATE: 23 June 2016

DRAWN BY: Chris Schuette

REVISIONS:
29 June 2016
01 July 2016

PLANS OFF: 18-462-D 18-463-D

19-193-D

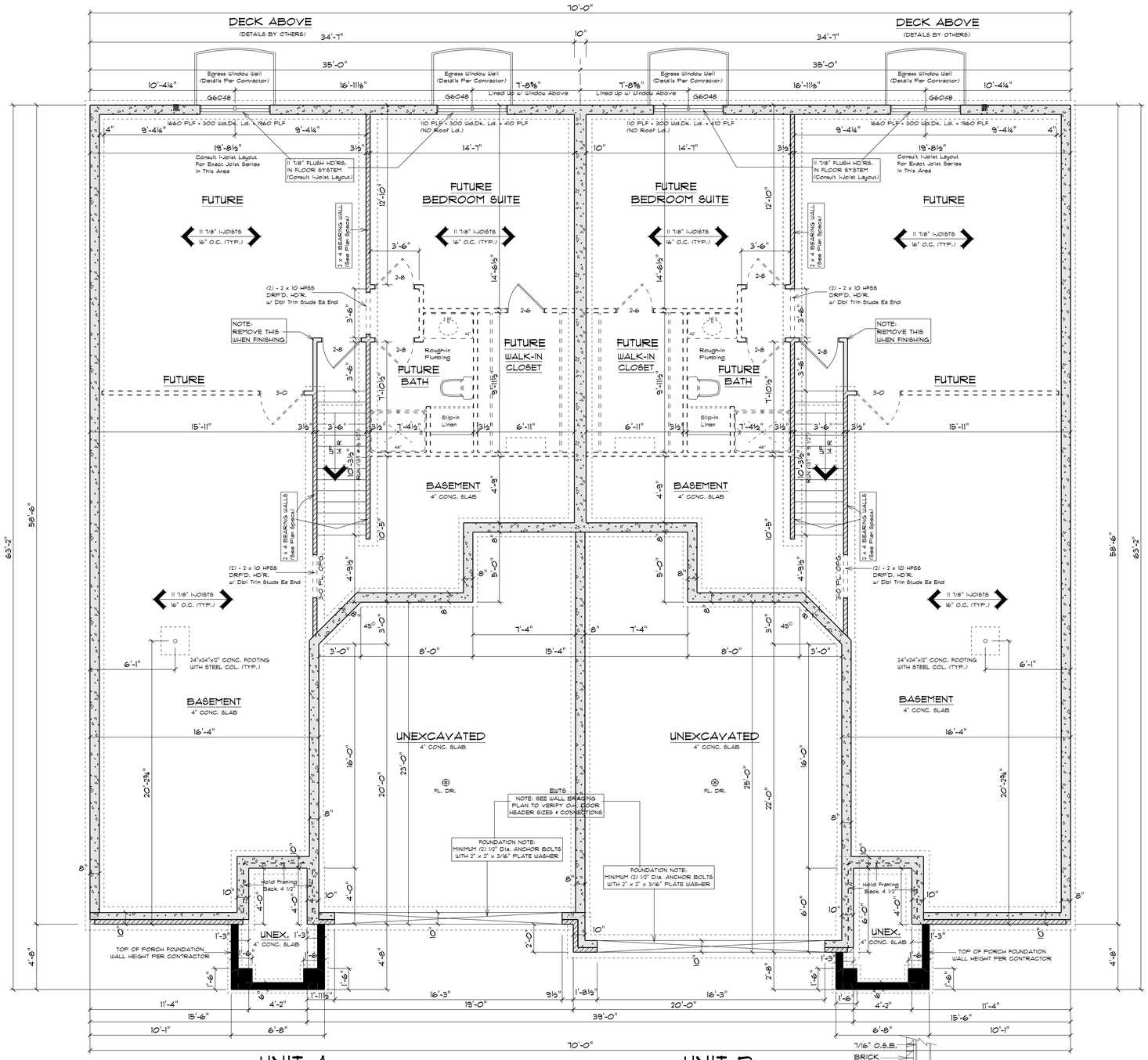
BOSTAD BUILDERS


MAILING ADDRESS:
P.O. BOX 10001
GREEN BAY, WI 54307-0001

OFFICE:
1960 LARSEN ROAD
GREEN BAY, WI 54423
PHONE (920)494-9094
FAX (920)494-9570

COMPONENTS:
1145 MORAINE TERRACE
GREEN BAY, WI 54303
PHONE (920)496-5080
FAX (920)498-1213

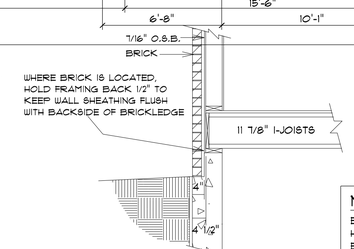
Wisconsin BUILDING SUPPLY




# FOUNDATION PLAN

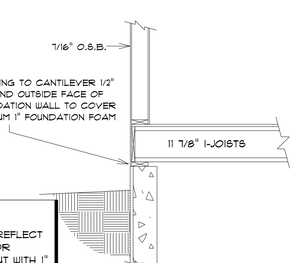
SCALE: 1/4" = 1'-0"
8'-0" CONC. WALLS

**NOTE:**
EXTERIOR DIMENSIONS ARE TO FACE OF FOUNDATION WALLS.




## BOX SILL DETAIL WITH BRICK EXTERIOR

SCALE: 1/2" = 1'-0"




**NOTE:**
EXTERIOR DIMENSIONS ARE SHOWN TO REFLECT HOUSE FRAMING WALLS HELD OUT 1/2" FOR EXTERIOR WALL SHEATHING TO FLUSH OUT WITH 1" FOUNDATION FOAM. IF FOUNDATION FOAM IS TO BE OTHER THAN 1", FRAMING DIMENSIONS ARE TO BE FIELD ADJUSTED AND MAINTAIN ALL CODE COMPLIANCE ACCORDINGLY.

## BOX SILL DETAIL

SCALE: 1/2" = 1'-0"

## SQUARE FOOTAGE:

| | |
|---|---|
| UNIT A FIRST FLOOR: | 1561 |
| UNIT A FINISHED BASEMENT: | n/a |
| UNIT A GARAGE: | 458 |
| UNIT A FRONT COVERED PORCH: | 54 |
| UNIT A REAR WOOD DECK PATIO: | T.B.D. |
| UNIT B FIRST FLOOR: | 1561 |
| UNIT B FINISHED BASEMENT: | n/a |
| UNIT B GARAGE: | 500 |
| UNIT B FRONT COVERED PORCH: | 52 |
| UNIT B REAR WOOD DECK PATIO: | T.B.D. |

## PLAN SPECIFICATIONS:

**• THE CONDITIONS LISTED BELOW ARE STANDARD FOR THIS PLAN ONLY - EXCEPTIONS ARE NOTED ON THE PLAN ITSELF**

**WALL INFORMATION:**
HOUSE FOUNDATION:
8" x 8'-0" POURED CONCRETE
GARAGE FOUNDATION:
6" x 4'-0" POURED CONCRETE
PORCH/PATIO FOUNDATION:
6" POURED CONCRETE, MIN. 4'-0" TALL

HOUSE EXTERIOR:
FIRST FLOOR: 2 x 6 x 9'-1 1/8", STUDS @ 16" O.C.
HOUSE INTERIOR:
FIRST FLOOR: 2 x 4 x 9'-1 1/8", STUDS @ 16" O.C.
GARAGE: 2 x 6 x 10'-3 1/4", STUDS @ 16" O.C.

- TALL WALLS ARE EXTERIOR WALLS WITH STUDS TALLER THAN 10'-0" AND NEED TO BE DESIGNED BY ENGINEERED WOOD PRODUCTS SUPPLIER
- TAPERED WALLS ARE TO BE FRAMED TO UNDERSIDE OF SCISSORS ROOF TRUSSES

**STAIR INFORMATION:**
BASEMENT TO FIRST FLOOR:
14 RISERS @ 7 9/16", 13 TREADS @ 9 1/2"
BASEMENT TO GARAGE:
n/a

**FLOOR SYSTEM(S):**
BASEMENT:
4" REINFORCED CONCRETE SLAB
FIRST FLOOR:
11 7/8" I-JOISTS @ 16" O.C.
STD. LOADING (PER SQ. FT.):
40# LL, 10# DL
ADDITIONAL LOADING (PER SQ. FT.):
10# DL FOR TILE FLOOR
25# DL FOR GRANITE
DEFLECTION: LL(L/480) DL(L/240)
DURATION OF LOAD: 1.00%
- FRAMER TO REFERENCE JOIST/TRUSS LAYOUT PLANS TO VERIFY EXACT SIZE AND LOCATION OF ALL FLUSH HEADERS AND BEAMS IN FLOOR SYSTEM

**ROOF SYSTEM:**
ENGINEERED WOOD TRUSSES @ 24" O.C.
DESIGNED FOR OUTAGAMIE COUNTY - ZONE #2
STD. LOADING (PER SQ. FT.):
30# TCLL 10# TCDL 10# BCDL
DEFLECTION: LL(L/240) DL(L/180)
DURATION OF LOAD: 1.15%
- FRAMER TO REFERENCE TRUSS LAYOUT PLANS TO VERIFY EXACT LOCATIONS OF GIRDER TRUSSES AND THEIR RESPECTIVE BEARING REQUIREMENTS & UPLIFT ANCHORING REQUIREMENTS

**HEADERS:**
- STD. HEADERS: (2) 2 x 12 HEM-FIR SELECT STRUCTURAL
- TOP OF WINDOW R.O.S.:
FIRST FLOOR @ 6'-10 7/8" ABOVE SUBFLOOR
- MINIMUM OF (2) TRIM STUDS AT EACH END FOR ALL OPENINGS 6'-0" AND LARGER

**WINDOWS:**
- ALLIANCE VINYL SINGLE-HUNG
- MANUFACTURER TO PROVIDE SUPPLIER WITH EXACT R.O. SIZES AND DETAILS. SUPPLIER TO VERIFY THAT ALL CODE REQUIREMENTS ARE MET.

**GENERAL INFORMATION:**
- THE FOLLOWING ITEMS ARE TO BE LOCATED IN THE FOUNDATION BY THE GENERAL CONTRACTOR:
BASEMENT WINDOWS — FLOOR DRAINS
ELECTRIC SERVICES — WATER HEATER
SUMP PIT & PUMP — FURNACE
- BUILDER TO PROVIDE HEADERS AT CONCRETE OPENINGS IF NOT NOTED ON THE FOUNDATION PLAN.
- POURED CONCRETE FOOTINGS TO BEAR ON UNDISTURBED SOIL BELOW THE FROST LINE
- STEEL COLUMNS TO SUPPORT 12,000#
- INTERIOR BEARING WALLS TO SIT ON CONTINUOUS CONCRETE FOOTINGS, STUDS @ 16" O.C. WITH BLOCKING OR LATERAL BRACING
- CONCRETE CONTRACTOR AND BUILDER ARE RESPONSIBLE TO DETERMINE SITE SOIL CONDITIONS AND FOLLOW STANDARDS PER SPS 320.24. THE MOST RESTRICTIVE STANDARDS OF SPS 312.15 - SPS 321.18, ACI 318-14, AND ACI 332-14 FOR ALL FOOTING & WALL REINFORCEMENT, IF NEEDED, MUST BE FOLLOWED
- ASSUMED SOIL CAPACITY IS 3,000 PSF, FTG SIZES MUST BE ADJUSTED FOR VARYING SITE DETERMINED SOIL BEARING CONDITIONS
- ALL LUMBER IN PERMANENT CONTACT W/ CONCRETE MUST BE PRESSURE TREATED LUMBER AS PER UI SPS 321.10
- DUE TO UNKNOWN GRADE CONDITIONS, ACTUAL STEPS IN FOUNDATION WALLS AND LOCATION OF WINDOW WELLS TO BE DETERMINED ON SITE BY GENERAL CONTRACTOR
- FRAMER IS RESPONSIBLE FOR TRANSFERRING POINT LOADS FROM ABOVE, THROUGH THE FLOOR SYSTEM(S) AND WALLS, W/ SOLID BLOCKING DOWN TO CONCRETE FOUNDATION WALLS BELOW
- PLAN IS DRAWN ACCORDINGLY FOR 2 3/4" CASING
- ALL DIMENSIONS SHOWN ARE FROM STUD TO STUD
- BUILDER TO PROVIDE ATTIC SCUTTLE AND LOCATION
- FIRE SEPARATION MUST BE PROVIDED BETWEEN HOUSE AND GARAGE (SEE CODE FOR DETAILS)
- ALL CABINET LAYOUTS ARE CONCEPTUAL. CONSULT CABINET DESIGNER/ PROVIDER FOR EXACT SIZES AND LOCATIONS OF CABINETS, APPLIANCES, AND WINDOWS

**IMPORTANT NOTE:**

• IT IS AGREED THAT ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THE PLANS TO ELIMINATE ERRORS AND OMISSIONS, GENERAL CONTRACTOR/OWNER MUST REVIEW ALL DIMENSIONS, DETAILS AND NOTES BEFORE BEGINNING ANY CONSTRUCTION AND IS HEREBY HELD RESPONSIBLE FOR ANY DISCOVERED DISCREPANCIES.

• IT IS UNDERSTOOD THAT THE WISCONSIN SAFETY AND PROFESSIONAL SERVICES CODE AND LAYOUT DRAWINGS FOR FLOOR AND ROOF TRUSSES SHALL TAKE FINAL PRECEDENCE OVER THESE ARCHITECTURAL PLANS.

CUSTOM DESIGNED FOR:

JOB NAME: LOT 21 DUPLEX JOB
DATE: 23 June 2016
DRAWN BY: Chris Schuette
PLANS: FLAT, OFF, 15-460-D, 15-460-D
REVISIONS:
23 June 2016
07 Feb 2018
19-193-D

BOSTAD BUILDERS


MAILING ADDRESS:
P.O. BOX 10001
GREEN BAY, WI 54307-10001

OFFICE:
1930 LARSEN ROAD
GREEN BAY, WI 54303
PHONE (920)496-5090
FAX (920)494-9370

COMPONENTS:
1165 MORAINE TERRACE
GREEN BAY, WI 54303
PHONE (920)496-5094
FAX (920)498-1219

Wisconsin BUILDING SUPPLY