



**VILLAGE OF KIMBERLY, WI**  
**NOTICE OF VILLAGE PLAN COMMISSION MEETING**

**DATE:** Tuesday, December 17, 2024  
**TIME:** 5:00 pm  
**LOCATION:** Village Hall, Rick J. Hermus Council Chambers  
515 W. Kimberly Ave.  
Kimberly, WI 54136

Notice is hereby given that a Plan Commission meeting will be held on Tuesday, December 17, 2024, at the Village Hall. This meeting is open to the public and the agenda is listed below.

- 1) Call to Order
- 2) Roll Call
- 3) Moment of Silent Reflection, Pledge of Allegiance
- 4) Approval of Minutes from the 11/19/2024 Meeting
- 5) Unfinished Business
  - a) None
- 6) New Business for Consideration and Approval
  - a) Site & Architectural Review – Rebman Plumbing Addition located at 700 W Kimberly Avenue
  - b) Site & Architectural Review – Caseys Rental LLC Redevelopment located at 420 S Washington Street
- 7) Adjournment

**Plan Commission**

**Please join my meeting from your computer, tablet or smartphone.**

<https://meet.goto.com/894788813>

**You can also dial in using your phone.**

Access Code: 894-788-813

United States (Toll Free): [1 866 899 4679](tel:18668994679)

United States: [+1 \(571\) 317-3116](tel:+15713173116)

Any person wishing to attend the meeting who because of their disability is unable to attend, is requested to contact the ADA Coordinator at 920-788-7500 at least 48 hours prior to the meeting so that reasonable accommodations may be made.

**VILLAGE OF KIMBERLY  
PLAN COMMISSION MINUTES  
11/19/2024**

A meeting of the Village Kimberly Plan Commission was called to order on Tuesday, November 19, 2024 at 5:00pm in the Rick J. Hermus Council Chambers, 515 W. Kimberly Ave by President Kuen.

Commissioners Present: President Chuck Kuen, Commissioners: Norb Karner, Todd Schneider, Michael Robach, Dave Vander Velden and Dean Schiesl  
Commissioners Excused: Commissioner Jeremy Freund  
Staff Present: Deputy Clerk Erica Ziegert, Administrator/Public Works Director Danielle Block, Community Development Director Sam Schroeder and Brad Werner of McMahan

**Approval of Minutes from the 09-17-2024 Meeting**

Commissioner Karner moved, Commissioner Schneider seconded the motion to approve the minutes from the 09-17-2024 Plan Commission meeting. Motion carried by unanimous vote.

**Unfinished Business**

None

**New Business**

**Certified Survey Map – Lot Consolidation – Aspire Senior Living Community located at 825 Cobblestone Ln**

Commissioner Karner moved, Commissioner Schiesl seconded the motion to approve the Certified Survey Map as presented for Lot Consolidation located at 825 Cobblestone Ln for Aspire Senior Living Community. Motion carried by unanimous vote.

**Certified Survey Map – Lot Consolidation – Crane Engineering Site located at 707 Ford Street**

Commissioner Schiesl moved, Commissioner Karner seconded the motion to approve the proposed Certified Survey Map as presented contingent upon an affidavit of correction removing the 30-ft front yard setback is approved by the Village Board prior to recording. Motion carried by unanimous vote.

**Site & Architectural Review – Crane Engineering Building Expansion located at 707 Ford Street**

Commissioner Karner moved, Commissioner Schnieder seconded the motion to approve the site plan and architectural components of the Crane Engineering building expansion, contingent upon the following: 1) A Certified Survey Map combining all four properties is recorded prior to the issuance of permit. 2) The 30-foot front yard setback as noted on the original plat and as documented in the covenants is released or reduced to allow the proposed development as presented. 3) Stormwater management plan shall be reviewed, and a stormwater management agreement is recorded for the property. Motion carried by unanimous vote.

**Affidavit of Correction – Kimberly Industrial Park Plat – Removal of the 30 Foot Front Yard Setback**

Commissioner Schneider moved, Commissioner Karner seconded the motion to approve the affidavit of correction removing the 30-foot front yard setback restriction from the Kimberly Industrial Park Plat as presented. Motion carried by unanimous vote.

**Site & Architectural Review – Clubhouse remodel for proposed wine bar and social space located at 345 N Main Street**

Commissioner Karner moved, Commissioner Schneider seconded the motion to approve the site plan and architectural components of the redevelopment of the Clubhouse development at 345 N. Main Street as presented, contingent upon the following: 1) Liquor License is approved by the Village Board. 2) Dumpster/refuse shall be located off Clubhouse Ln and shall be fully screened from off-site view, subject to future consideration. 3) Addl. landscaping subject to staff approval shall be installed along residential property line to the east. 4) Sidewalk along full southern portion of property along Clubhouse Ln shall be installed and meet code w/in 6 months of occupancy of the 1<sup>st</sup> floor. 5) Any major site modifications including a future wine shack shall require further review. Motion carried by unanimous vote.

**Adjournment**

Commissioner Karner moved, Commissioner Schiesl seconded the motion to adjourn. Motion carried by unanimous vote at 5:23pm.

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Erica Ziegert  
Deputy Clerk  
Dated 11/20/2024



## Village of Kimberly Request for Plan Commission Recommendation

**ITEM DESCRIPTION:** Site & Architectural Review – Rebman Plumbing located at 700 W Kimberly Avenue

**REPORT PREPARED BY:** Sam Schroeder, Community Development Director

**REPORT DATE:** December 17, 2024

**EXPLANATION:** Robert E. Lee & Associates on behalf of Rebman Plumbing has submitted a site review application for a proposed building addition to the existing Rebman Plumbing facility at 700 W Kimberly Avenue. The building addition would include a large garage for Rebman Plumbing and three contractor shop/office spaces. The Plan Commission did approve a conditional use for the proposed development on May 6, 2024. The conditional use permit was not brought forward, however, to the Village Board for review. If the Site and Architectural Review is approved by the Plan Commission, the Village Board will review both the specific development details and the conditional use permit at a subsequent meeting.

The site being the former carwash property totals 0.44 acres, zoned B-1, general business district.

Attached to this staff report includes:

1. Site Plan Review Application
2. Project Description
3. Plan Drawings
4. Engineer Review Comments

**Scope of Construction – Reference Project Description and Plans for additional insight.**

1. 5,408 SF building addition to the western portion of the building primarily over the former carwash area
2. Addition includes three contractor shops/offices each totaling 1,022sf with the remaining 2,080sf being part of Rebman Plumbing operations. Each unit will have an overhead garage door facing Kimberly Avenue, a service door with an overhead canopy, a rear service door, an interior bathroom, and an interior office.
3. The primary exterior façade material will be vinyl siding with decorative brick along the southern and eastern portions of the addition tying it with the existing development.
4. The applicant has proposed a fence along the eastern property line to match the existing rear fence as well as providing a small landscape area between the parking area and the Kimberly Avenue right of way on staff's request.
5. The only lighting proposed for the site will be minor recessed lighting within the soffit over the front façade.
6. The site currently is impervious and is part of a regional stormwater basin so no on-site treatment is proposed or needed.

The staff zoning review identified the proposed project complies with applicable ordinances. Staff has completed a review of the site for compliance with the Kimberly Municipal Code whereas the proposed project substantially meets code and notes the following:

1. **Grading and Drainage.** The Village has received complaints and issues with stormwater runoff affecting properties to the north and east. The property to the east, Fringe at 650 W Kimberly Ave, has modified their yard which has minimized impacts. Staff and the Village Engineer are proposing roof drains be added to a private stormwater system to bring all of the roof drainage towards the stormwater main within W Kimberly Avenue.
2. **Lighting.** A photometric plan was not submitted. The proposed recessed lighting should be minimal with minimal impacts upon adjoining properties. The Village would reserve the right to review the lighting to ensure code is being met following the installation.
3. **Outside Storage.** The development is designed that storage of materials, equipment and work vehicles would be stored within the enclosed building and out of sight of the general public. Staff is recommending exterior storage be limited and noted as part of a condition of approval.
4. **Site development.** The applicant has implemented many of staff's preliminary recommendations including adding brick to the street facing façade, adding canopy's above the service door to soften the façade, identifying proposed lighting, adding fencing along the eastern property line north of the building to provide screening, adding rear service doors, adding office spaces to align with the business zoning classification, and adding a landscape strip along the W Kimberly Avenue right-of-way. The landscaping plan calls for 16 green mountain boxwoods. Staff is proposing some diversity and trees be planted.
5. **Engineering Comments.** Further recommendations and reviews are attached to this memo.
6. **Building Inspections and Approvals.** Building plan review and inspections will be completed by the State of Wisconsin, unless delegation authority is completed by the Village of Kimberly.

**RECOMMENDED ACTION:** Staff recommends approval of the site plan and architectural components of the Rebman Plumbing expansion as presented, contingent upon the following:

1. Roof drains into a private storm system shall be installed to reduce the runoff off-site.
2. Six of the proposed shrubs shall be replaced with two deciduous trees as well as all landscaping shall meet the vision control requirements.
3. The proposed brick shall complement the existing building and any changes to the existing building shall complement the proposed addition and shall require staff approval.
4. All storage of materials shall be held within the enclosed buildings.
5. All storage of work vehicles, trailers and other equipment shall be stored within the enclosed building or the rear of the building outside of the general public view.



VILLAGE OF KIMBERLY  
Site Review Application

Submit to:

Planning & Zoning  
515 W. Kimberly Ave.  
Kimberly WI 54136  
920-788-7500

Applicant Information

Petitioner: ROBERT E LEE & ASSOC. - AMNON SAEITENFELDT Date: 12/3/24

Petitioner Address: 1250 CENTENNIAL LEASE BLVD City: HOBART State: WI Zip: 54155

Telephone #: (900) 660-9641 Fax: ( ) email: abre.tenfeltd@releeinc.com

Status of Petitioner (please check one):  Owner  Representative  Tenant  Prospective Buyer

Petitioner's Signature (required): Amnon Saeitenfeldt

Owner Information

Owner(s): Brian Rebman Date: \_\_\_\_\_

Owner(s) Address: W5711 Mase Ct City: Appleton State: WI Zip: 54915

Telephone #: (920) 257-6202 Fax: ( ) email: rebmanplumbing@yahoo.com

Ownership Status (please check one):  Individual  Trust  Partnership  Corporation

**Property Owner Consent (required):**

By signature hereon, I/We acknowledge that Village officials and/or employees may, in the performance of their functions and duties, enter upon the property to inspect or gather other information necessary to process this application. I also understand that all meeting dates are tentative and may be postponed by the Village for incomplete submissions or other administrative reasons.

Property Owner's Signature: B.R. Date: 12/4/24

Site Information

Address/Location of Proposed Project: 700 W KIMBERLY AVE Zoning: B-1

Proposed Project or Use: CONTRACTOR OFFICE/SHOP

Current or last Use of Property: GA WASH

Land Uses Surrounding this Address: North: RESIDENTIAL

South: RESIDENTIAL

East: COMMERCIAL

West: COMMERCIAL

- It is recommended that the applicant meet with Village Department staff prior to submittal to review the project and submitted materials.
- Application Fees must be submitted with the application.

December 3, 2024

Mr. Sam Schroeder, Community Development Director  
VILLAGE OF KIMBERLY  
515 W Kimberly Ave  
Kimberly, WI 54136

RE: Rebman Plumbing Site Development – Site Plan Application

Dear Mr. Schroeder:

On behalf of Rebman Plumbing, Robert E. Lee & Associates, Inc. is submitting the attached site plan review application documents. Rebman Plumbing is proposing to construct a new 5,408 square foot contractor shop/office building at 100 W Kimberly Ave. The existing building on site will also remain as part of the project and a 5' wide landscape strip will be added along the existing public sidewalk. Effects on the adjoining properties will be minimal as the site will generate insignificant noise, glare, odor, fumes, vibration, etc. Fencing will be installed in the NE corner of the site to fully enclose the rear paved area on site. Traffic generated by this site will be significantly less than when a car wash was on site.

Please review at your earliest convenience and let us know if you have any questions or comments.

Sincerely,

ROBERT E. LEE & ASSOCIATES, INC.



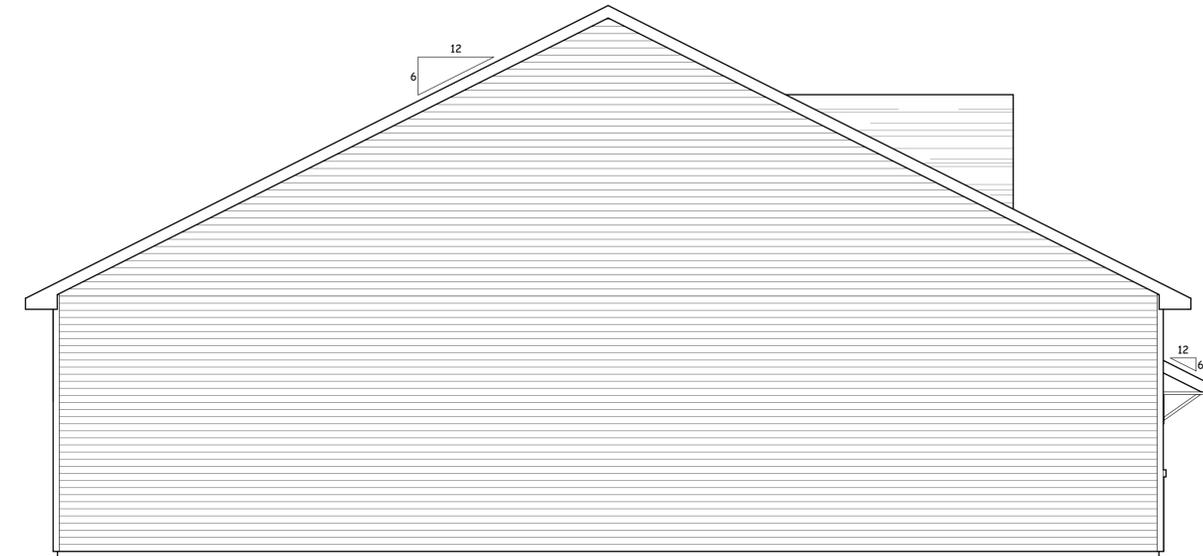
Aaron Breitenfeldt, PE  
Sr. Project Manager

AJB

ENC.



**FRONT ELEVATION**  
1/4" = 1'-0"



**LEFT ELEVATION**  
1/4" = 1'-0"

GARAGE AREA 5408 SF  
**TOTAL AREA 5408 SF**

**BID PLAN - FOR BIDDING PURPOSES ONLY**

DESIGNER: M. WESSTEEN	DATE: 1/4" = 1'-0"	BID PLAN	02/02/2024	MRW
SCALE: 1/4" = 1'-0"	BID PLAN	REVISIONS	11/20/2024	MRW
BHEET NO: <b>A1</b>				
PROJECT NO: G24-145-W				
		<b>KIMBERLY SHOP</b> PROJ. ADDRESS TBD		
<small>           COPYRIGHT © 2024            CONSTRUCTION DRAWINGS SHALL BE THE PROPERTY OF THE ARCHITECT AND SHALL NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT. ALL RIGHTS RESERVED.            ALL INFORMATION IS TO BE USED FOR BIDDING PURPOSES ONLY. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY CHANGES OR OMISSIONS IN THE DRAWINGS OR FOR ANY CONSTRUCTION DEFICIENCIES.         </small>				



**REAR ELEVATION**  
1/4" = 1'-0"



**RIGHT ELEVATION**  
1/4" = 1'-0"

GARAGE AREA 5408 SF  
**TOTAL AREA 5408 SF**

**BID PLAN - FOR BIDDING PURPOSES ONLY**

DESIGNER: M. WESTEEN  
SCALE: 1/4" = 1'-0"  
SHEET NO: **A2**  
PROJECT NO: G24-145-W

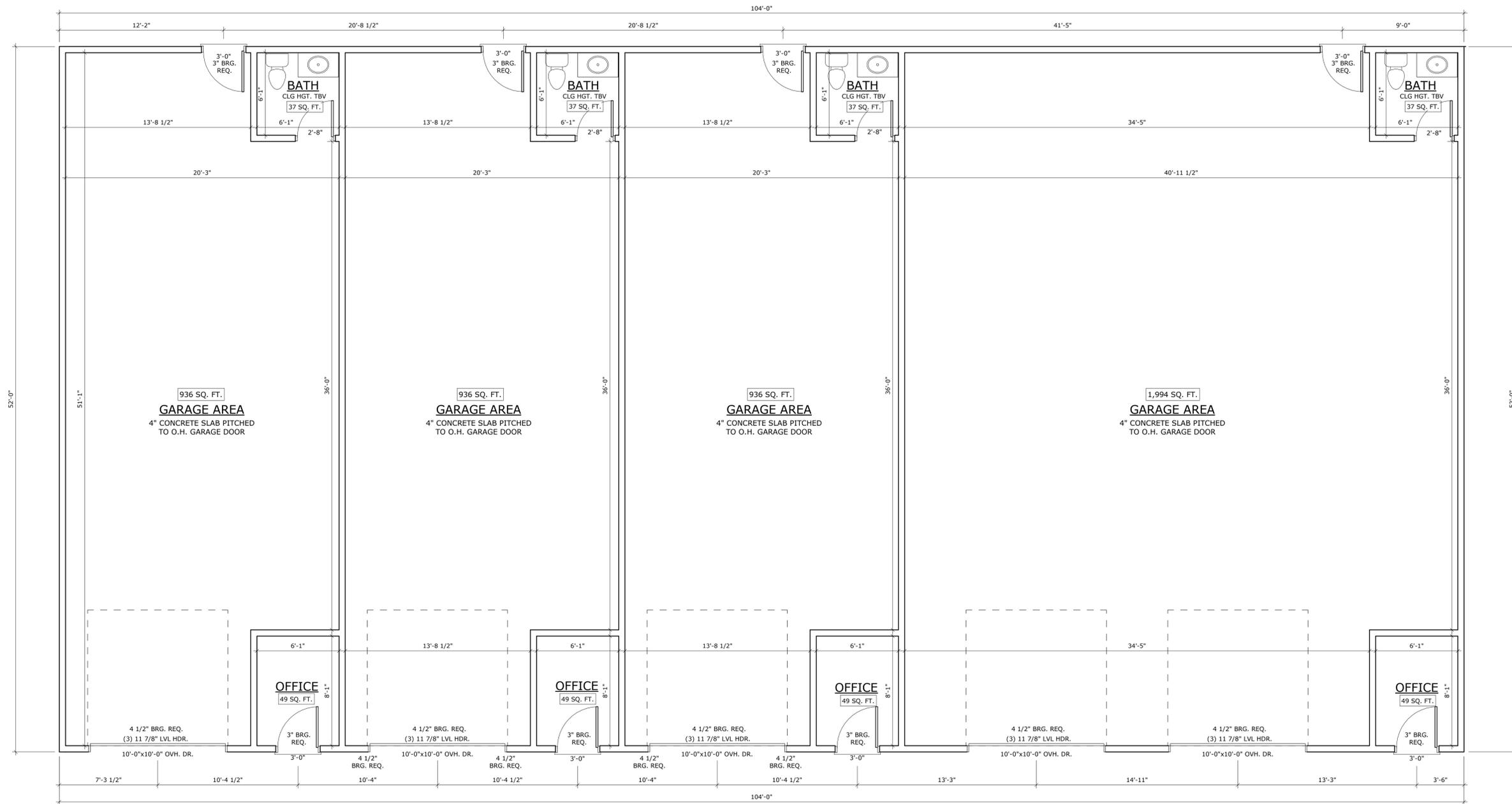


**KIMBERLY SHOP**

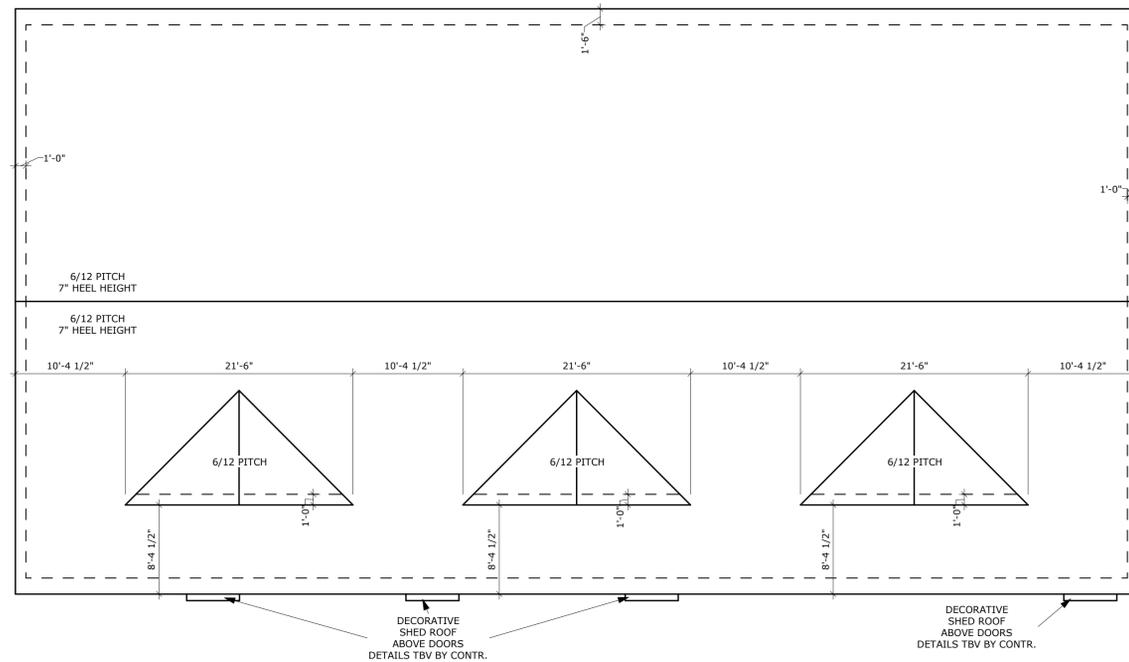
J BUCK CONSTRUCTION

PROJ. ADDRESS TBD

COPYRIGHT © 2024		BID PLAN	02/02/2024	MRW
COMPANY DESIGN AND ARCHITECTURE SHALL BE THE PROPERTY OF THE ARCHITECT AND SHALL NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.		REVISIONS	11/20/2024	MRW
1	ALSO: ALL WORK SHALL BE ACCORDING TO THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODE BOOKS AND ALL APPLICABLE ORDINANCES AND REGULATIONS. ALL WORK SHALL BE ACCORDING TO THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODE BOOKS AND ALL APPLICABLE ORDINANCES AND REGULATIONS. ALL WORK SHALL BE ACCORDING TO THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODE BOOKS AND ALL APPLICABLE ORDINANCES AND REGULATIONS.			
2				
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**FIRST FLOOR PLAN**  
 1/4" = 1'-0" WALL HEIGHT: 12'-0"



**ROOF PLAN**  
 1/8" = 1'-0"

GARAGE PLAN SPECIFICATIONS	
<b>ROOF SYSTEMS</b>	
• WOOD TRUSSES @24" O.C. DESIGNED FOR: ZONE 2	
• STD. LOADING (PER SQ. FT.) 30# TCDL, 10# TCCL, 10# BCDL	
• DEFLECTION: LL=L/240, TL=L/180	
• DURATION OF LOAD: 1.15%	
<b>HEADERS</b>	
• STANDARD HEADER ALL HEADERS NOT LABELED AS LVL TO BE MIN. (2) 2X10'S HEADER FOR ON-SITE (UNLESS VALUE ENGINEERED FOR OFF-SITE CONSTRUCTION)	
• TOP OF WINDOW R.O.S. FIRST FLOOR @ 6'-11 3/8" ABOVE SUBFLOOR (UNLESS NOTED/SHOWN OTHERWISE)	
• MINIMUM OF (2) SHOULDER STUDS AT EACH END FOR ALL OPENINGS 6'-0" AND LARGER	
<b>GENERAL INFORMATION</b>	
• ALL DIMENSIONS ARE TO THE ROUGH STUD (UNLESS NOTED OTHERWISE)	
• 2X6 WALLS=5 1/2", 2X4 WALLS =3 1/2"	
• FOUNDATION WALL THICKNESS FOR REPRESENTATION ONLY- MASON/CONTRACTOR TO VERIFY (WHEN APPLICABLE)	
• FINAL FOOTING SIZE AND DEPTH TO BE DETERMINED BY CONTRACTOR (WHEN APPLICABLE)	
• MASON TO LOCATE PILASTERS AND SIZE FOOTINGS PER CODE AND SOIL CONDITIONS (WHEN APPLICABLE)	
• GENERAL CONTRACTOR TO LOCATE THE FOLLOWING (WHEN APPLICABLE) FLOOR DRAINS, ELECTRIC SERVICES, ETC.	
• ALL DOOR HEIGHTS ARE 6'-8" UNLESS NOTED/SHOWN OTHERWISE	

**GARAGE AREA** 5408 SF  
**TOTAL AREA** 5408 SF

**BID PLAN - FOR BIDDING PURPOSES ONLY**

DESIGNER: M. WESTEEN	SCALE: As indicated	SHEET NO: <b>A3</b>	PROJECT NO: GC24-145-W
KIMBERLY SHOP		PROJ. ADDRESS TBD	
J BUCK CONSTRUCTION			
COPYRIGHT © 2024		MRW	
MRW		MRW	
02/02/2024		11/20/2024	
BID PLAN		REVISIONS	
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BID PLAN		REVISIONS	



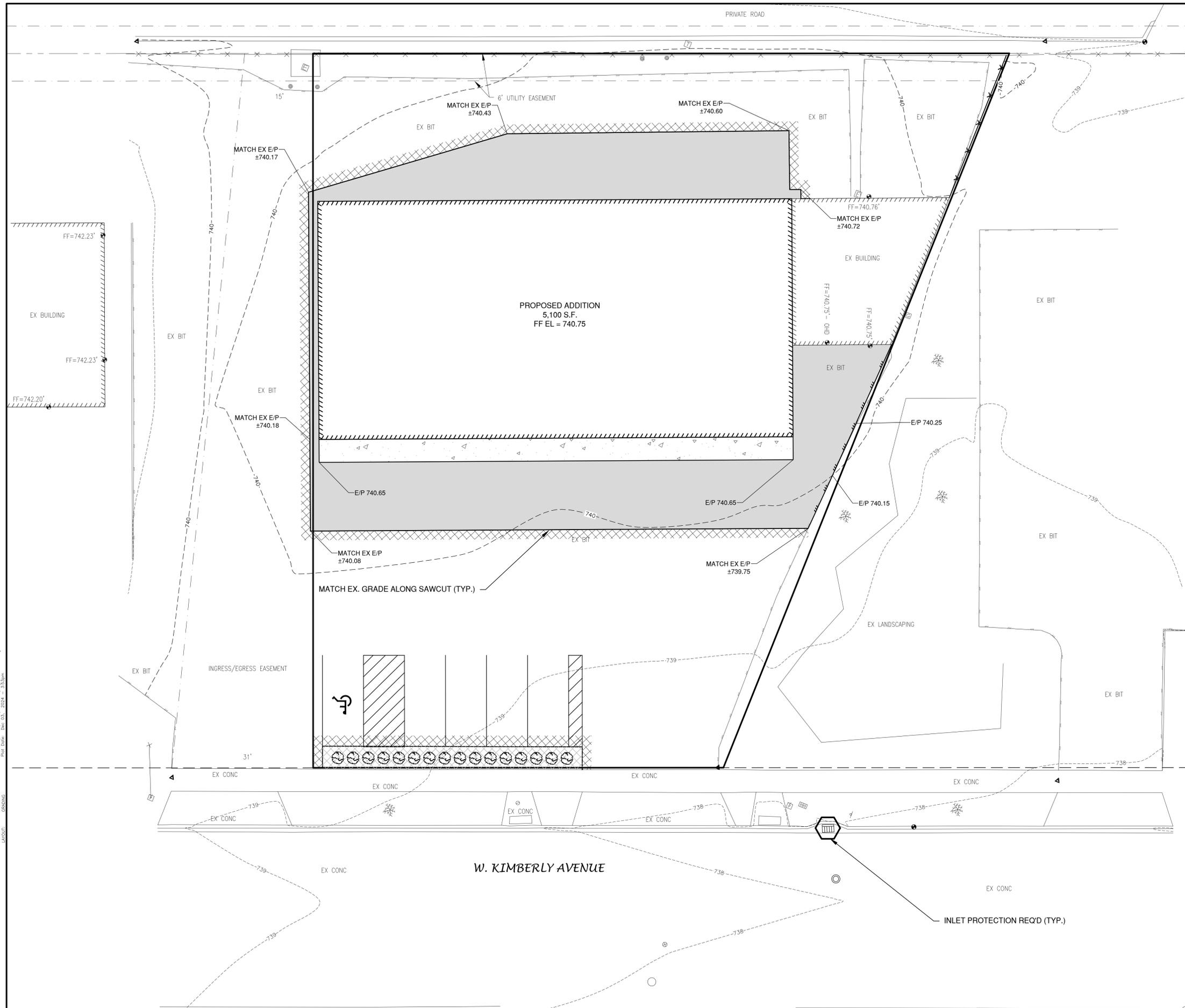












**LEGEND**

	T/C 999.99	TOP OF CURB ELEVATION
	F/L 888.88	FLOW LINE ELEVATION
	S/W 666.66	TOP OF SIDEWALK ELEVATION
	E/P 555.55	EDGE OF PAVEMENT ELEVATION
	R/W 444.44	TOP OF RETAINING WALL ELEVATION
	333.33	GROUND ELEVATION
		DRAINAGE SWALE
		DRAINAGE DIVIDE
		FLOW ARROW
		SILT FENCE (PER WDNR TECHNICAL STANDARD 1056)
		DITCH CHECK (PER WDNR TECHNICAL STANDARD 1062)
		TRACKING PAD (PER WDNR TECHNICAL STANDARD 1057)
		EROSION MAT (PER WDNR TECHNICAL STANDARD 1053)
		INLET PROTECTION (PER WDNR TECHNICAL STANDARD 1060)

- EROSION CONTROL**
- ALL EROSION CONTROL PRACTICES INDICATED ON THIS PLAN ARE APPROXIMATE LOCATIONS ONLY. THE ACTUAL SITE MAY REQUIRE MORE OR LESS EROSION CONTROL DEPENDING ON THE CURRENT CONDITION OF THE SITE.
1. SILT FENCE IS REQUIRED DOWNSLOPE OF ANY DISTURBED LAND THAT MAY CARRY SEDIMENTS OFF SITE.
  2. A TRACKING PAD IS REQUIRED AT ANY INGRESS/EGRESS LOCATION, WHERE SEDIMENT MAY BE TRACKED OFF-SITE.
  3. PROPER INLET PROTECTION SHALL BE USED DEPENDING ON THE INLET TYPE.
  4. ALL NECESSARY SITE DEWATERING SHALL BE PERFORMED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1061.

File: P:\A\2024\65380010\65380010.dwg  
 Plot Date: Dec 23, 2024 11:33:00am  
 LAYOUT: GRADING

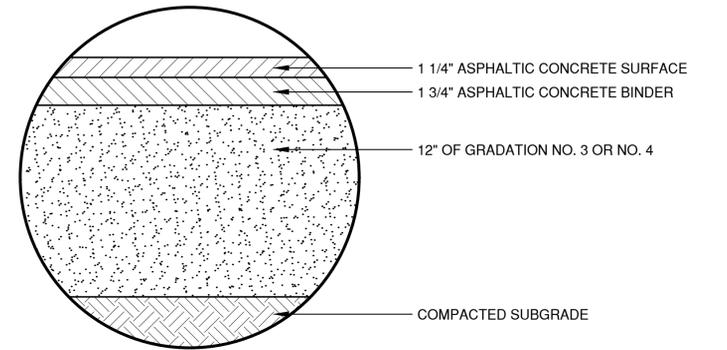
NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION

DRAWN: LLP  
 CHECKED: [Signature]  
 DESIGNED: A/B

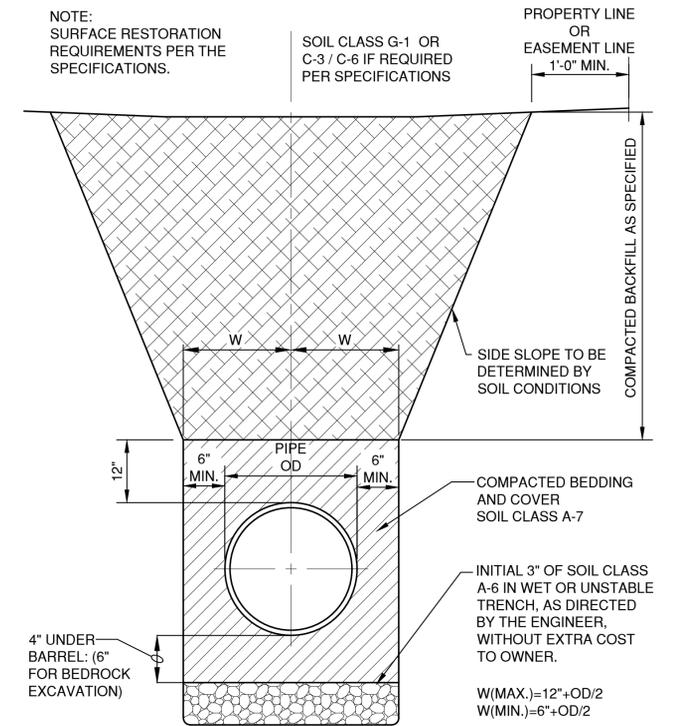
**BUILDING EXPANSION FOR  
 REBMAN PLUMBING  
 VILLAGE OF KIMBERLY  
 OUTAGAMIE COUNTY, WISCONSIN**

DATE: 09/2024  
 FILE: 65380010  
 JOB NO.: 6538001

**Robert E. Lee & Associates, Inc.**  
 1250 Centennial Centre Blvd | Hobart, WI | 920-662-9641 | releinc.com



LIGHT DUTY ASPHALT PAVEMENT



HDPE /PVC SEWER, WATERMAIN AND FORCEMAIN BEDDING AND TRENCH DETAIL

File: P:\6538001\6538001\447\6538001\_DET.dwg  
 Plot Date: Sep 26, 2024 11:27am  
 LAYOUT: DETAILS (1)

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN LLP	BUILDING EXPANSION FOR REBMAN PLUMBING VILLAGE OF KIMBERLY OUTAGAMIE COUNTY, WISCONSIN	MISCELLANEOUS DETAILS	DATE	 1250 Centennial Centre Blvd   Hobart, WI   920-662-9641   releinc.com	SHEET NO.
								CHECKED			09/20/24		6
								DESIGNED			FILE		
								AJB			6538001 DET		
									JOB NO.				
									6538001				

**INLET PROTECTION NOTES:**

INLET PROTECTION DEVICES SHALL BE IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1060, STORM DRAIN INLET PROTECTION FOR CONSTRUCTION SITES.

MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE WDOT PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.

WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.

**MAINTENANCE NOTES:**

WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED IN THE FABRIC DOES NOT FALL INTO THE STRUCTURE. MATERIAL THAT HAS FALLEN INTO THE INLET SHALL BE IMMEDIATELY REMOVED.

**INSTALLATION NOTES:  
TYPE "B" AND "C"**

TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.

DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.

**TYPE "D"**

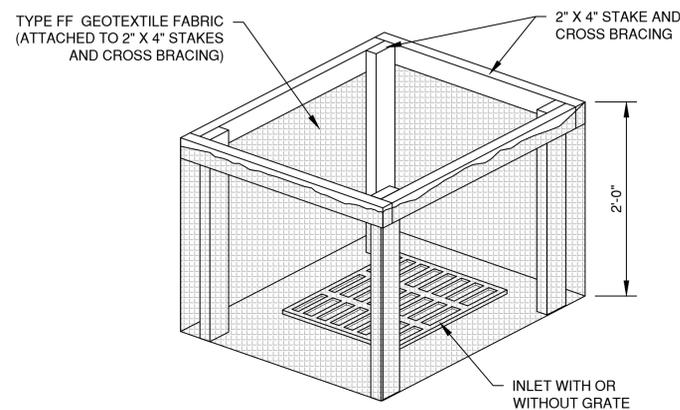
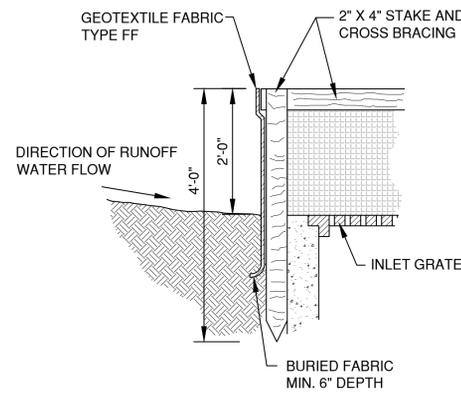
DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30" MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.

TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.

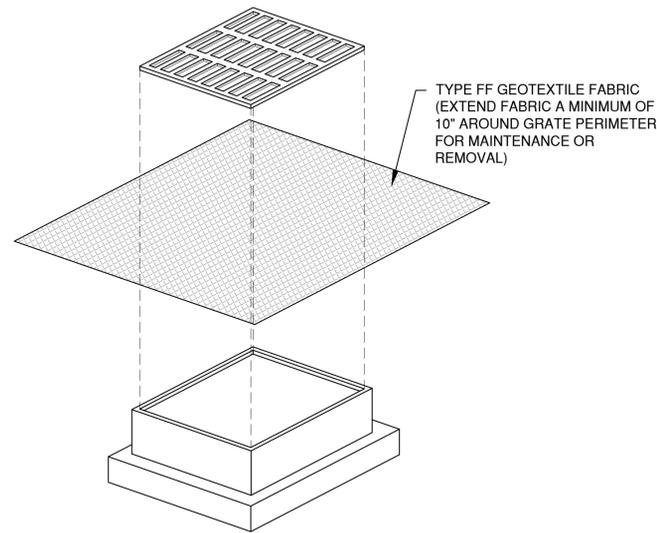
THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3". WHERE NECESSARY, CINCH THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE, THE TIES SHALL BE PLACED AT THE MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.

**NOTES:**

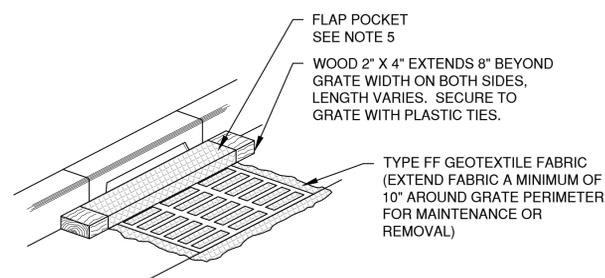
1. TAPER BOTTOM OF BAG TO MAINTAIN THREE INCHES OF CLEARANCE BETWEEN THE BAG AND THE STRUCTURE, MEASURED FROM THE BOTTOM OF THE OVERFLOW OPENINGS TO THE STRUCTURE WALL.
2. GEOTEXTILE FABRIC TYPE FF FOR FLAPS, TOP AND BOTTOM OF THE OUTSIDE OF FILTER BAG. FRONT, BACK AND BOTTOM OF FILTER BAG BEING ONE PIECE.
3. FRONT LIFTING FLAP IS TO BE USED WHEN REMOVING AND MAINTAINING FILTER BAG.
4. SIDE FLAPS SHALL BE A MAXIMUM OF TWO INCHES LONG. FOLD THE FABRIC OVER AND REINFORCE WITH MULTIPLE STITCHES.
5. FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2" X 4". THE REBAR, STEEL PIPE, OR WOOD SHALL BE INSTALLED IN THE REAR FLAP AND SHALL NOT BLOCK THE TOP HALF OF THE CURB FACE OPENING.



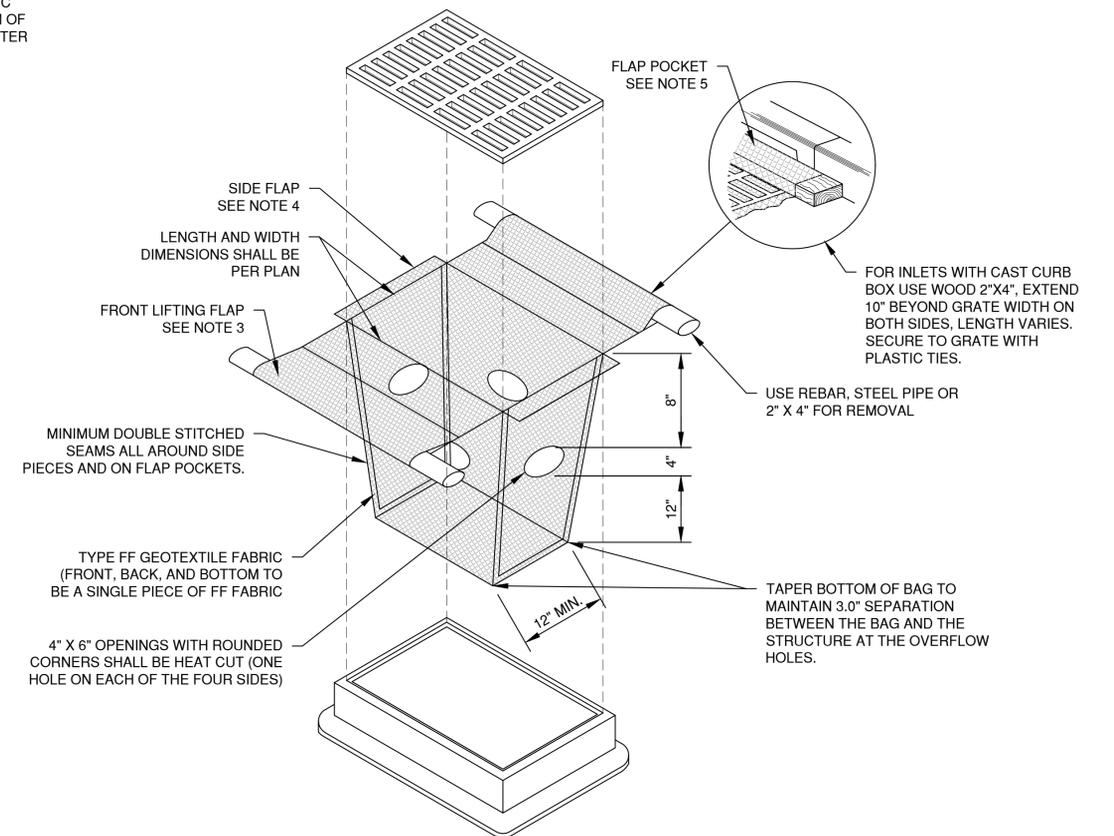
**INLET PROTECTION, TYPE A**



**INLET PROTECTION, TYPE B  
(WITHOUT CURB BOX)  
(CAN BE INSTALLED IN ANY INLET WITHOUT A CURB BOX)**



**INLET PROTECTION, TYPE C  
(WITH CURB BOX)**



**INLET PROTECTION, TYPE D  
(CAN BE INSTALLED IN INLETS WITH OR WITHOUT CURB BOXES)**

File: P:\A\2020\6538001\6538001.dwg (6/28/2024 10:27:00 AM)  
 Plot Date: Sep 26, 2024 10:27:00 AM  
 LAYOUT: I. INLET PROTECTION

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION

DRAWN: LLP  
 CHECKED: AIB  
 DESIGNED: AIB  
 BUILDING EXPANSION FOR  
 REBMAN PLUMBING  
 VILLAGE OF KIMBERLY  
 OUTAGAMIE COUNTY, WISCONSIN

EROSION CONTROL  
 INLET PROTECTION TYPES A, B, C AND D

DATE	09/20/24
FILE	6538001 EC
JOB NO.	6538001

**REL Robert E. Lee & Associates, Inc.**  
 1250 Centennial Centre Blvd | Hobart, WI | 920-662-9641 | releinc.com

**NOTES:**

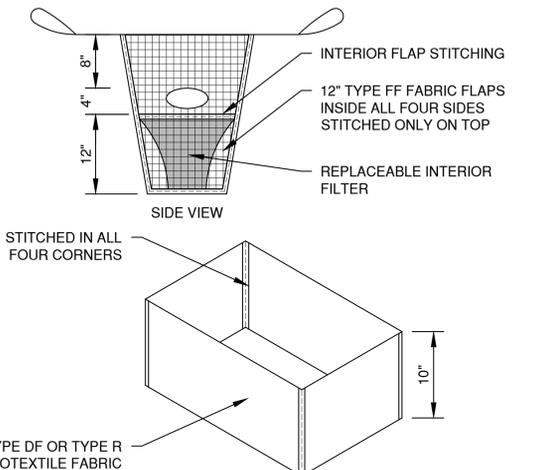
1. TAPER BOTTOM OF BAG TO MAINTAIN THREE INCHES OF CLEARANCE BETWEEN THE BAG AND THE STRUCTURE, MEASURED FROM THE BOTTOM OF THE OVERFLOW OPENINGS TO THE STRUCTURE WALL.
2. GEOTEXTILE FABRIC TYPE FF FOR FLAPS AND TOP HALF OF FILTER BAG. GEOTEXTILE FABRIC TYPE HR FOR BOTTOM HALF OF FILTER BAG. FRONT, BACK AND BOTTOM OF FILTER BAG BEING ONE PIECE.
3. FRONT LIFTING FLAP IS TO BE USED WHEN REMOVING AND MAINTAINING FILTER BAG.
4. SIDE FLAPS SHALL BE A MAXIMUM OF TWO INCHES LONG. FOLD THE FABRIC OVER AND REINFORCE WITH MULTIPLE STITCHES.
5. FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2" X 4". THE REBAR, STEEL PIPE, OR WOOD SHALL BE INSTALLED IN THE REAR FLAP AND SHALL NOT BLOCK THE TOP HALF OF THE CURB FACE OPENING.

**MAINTENANCE NOTES:**

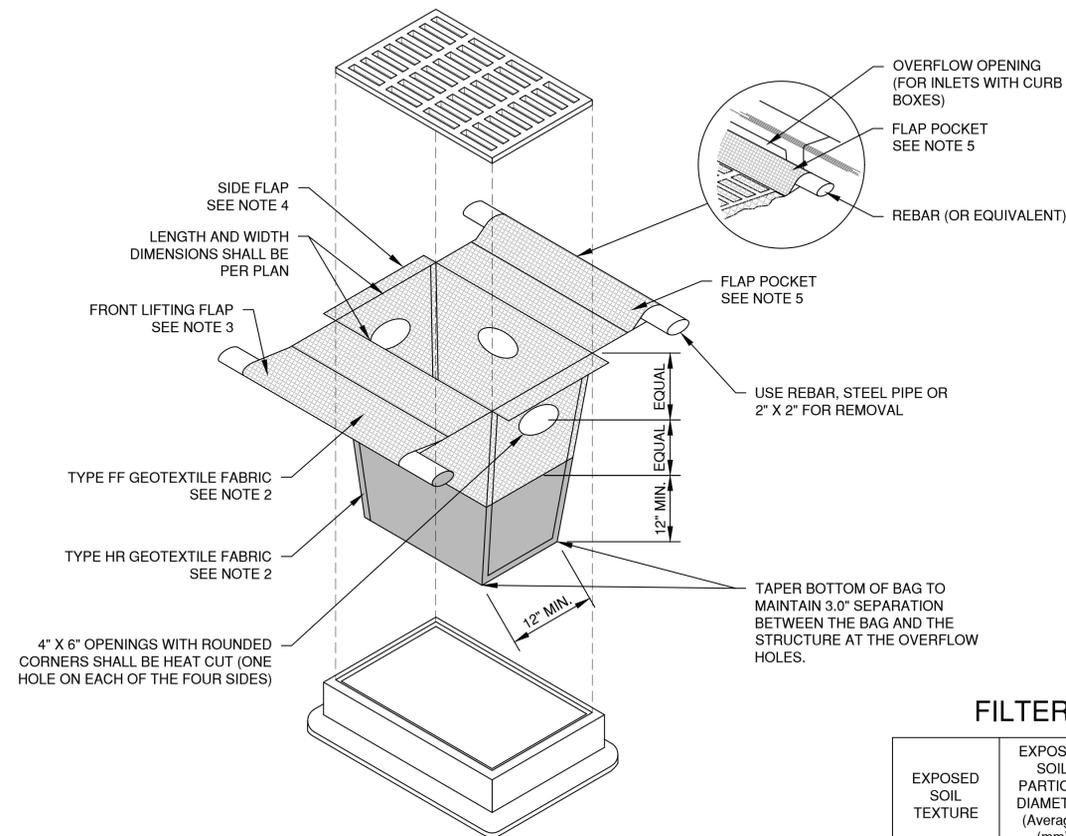
WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED IN THE FABRIC DOES NOT FALL INTO THE STRUCTURE. MATERIAL THAT HAS FALLEN INTO THE INLET SHALL BE IMMEDIATELY REMOVED.

**NOTES:**

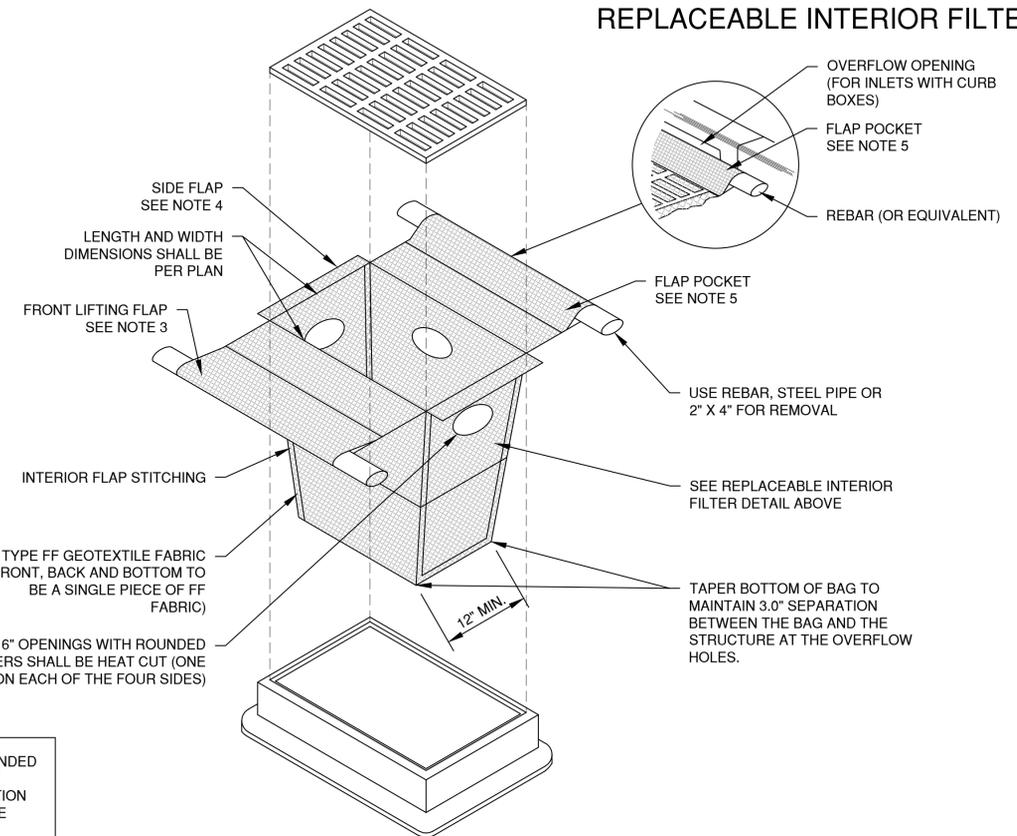
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2. GEOTEXTILE FABRIC TYPE FF FOR FLAPS, TOP AND BOTTOM OF OUTSIDE OF FILTER BAG. FRONT, BACK AND BOTTOM OF FILTER BAG BEING ONE PIECE.
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**REPLACEABLE INTERIOR FILTER**



**INLET PROTECTION, TYPE D-HR**  
(CAN BE INSTALLED IN INLETS WITH OR WITHOUT CURB BOXES)



**INLET PROTECTION, TYPE D-M**  
(CAN BE INSTALLED IN INLETS WITH OR WITHOUT CURB BOXES)

**FILTER FABRIC TYPE**

EXPOSED SOIL TEXTURE	EXPOSED SOIL PARTICLE DIAMETER (Average) (mm)	FILTER FABRIC TYPE*	RECOMMENDED INLET PROTECTION DEVICE TYPE
COARSE (SAND)	≥ 0.0625	FF	D, D-M
MEDIUM (SILT LOAM)	0.0624 - 0.005	DF	D, D-M
FINE (CLAY)	≤ 0.004	R	D-M
		HR	D-HR

\* DF, R OR HR FILTERS MAY BE USED WHERE FF IS THE REQUIRED MINIMUM STANDARD. R OR HR MAY BE USED WHERE DF IS THE REQUIRED MINIMUM STANDARD.

\*\* FOLLOW DESIGN CRITERIA OF WDNR TECHNICAL STANDARD 1060

File: P:\A\2001\6538001\6538001.dwg (6/5/2001) EC.dwg  
 Plot Date: Sep 26, 2024 11:25am  
 LAYOUT: 2 - INLET PROTECTION

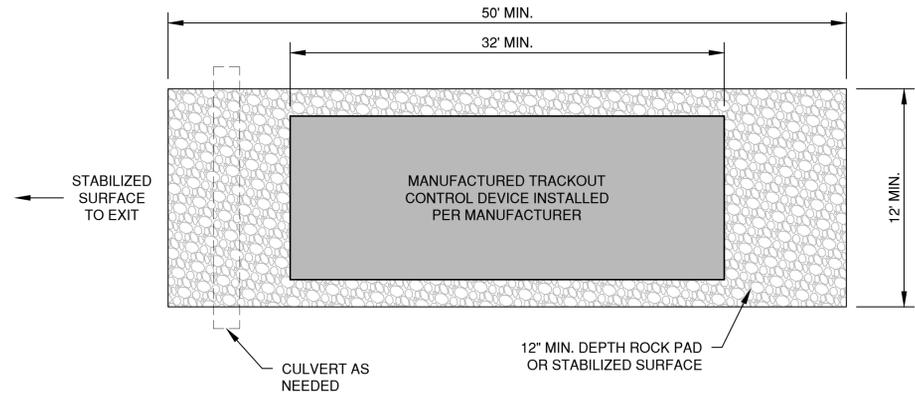
NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN
								LLP
								CHECKED
								DESIGNED
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BUILDING EXPANSION FOR  
REBMAN PLUMBING  
VILLAGE OF KIMBERLY  
OUTAGAMIE COUNTY, WISCONSIN

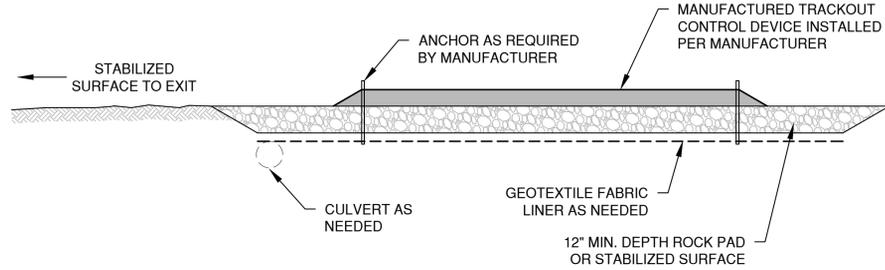
EROSION CONTROL  
INLET PROTECTION  
TYPE D-HR AND TYPE D-M

DATE	09/20/24
FILE	6538001 EC
JOB NO.	6538001

\* TRACKOUT CONTROL TO BE PROVIDED PER DETAILS BELOW AND IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1057



PLAN VIEW  
(NTS)

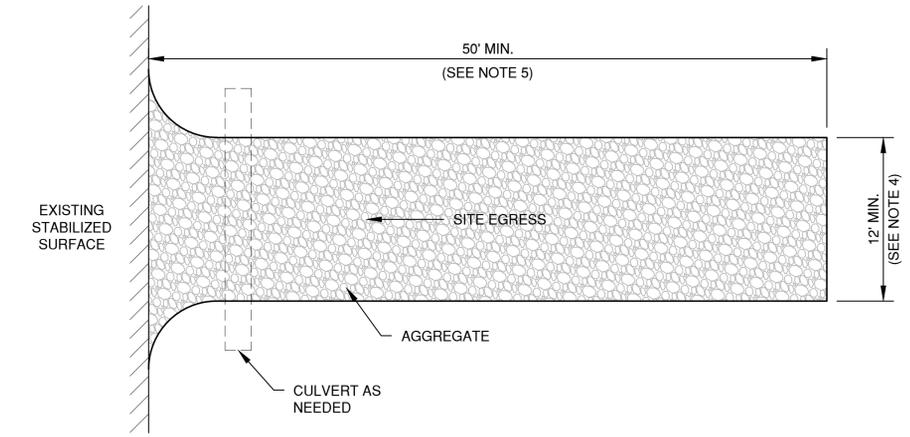


SECTION VIEW

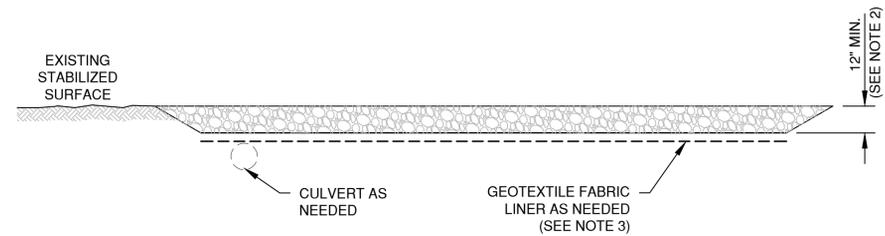
NOTES:

- THIS DETAIL IS PROVIDED AS AN EXAMPLE. COMPLY WITH MANUFACTURER'S SPECIFICATIONS WHILE ALSO MEETING THE MINIMUM MANUFACTURED TRACKING PAD LENGTH AND WIDTH DESCRIBED IN THIS TECHNICAL STANDARD.
- INSTALL SUCH THAT RUNOFF FLOWS TO AN APPROVED TREATMENT PRACTICE.
- A THINNER STONE LAYER OR OTHER STABLE SURFACE MAY BE ACCEPTABLE SUCH THAT RUTTING IS MINIMIZED AS VEHICLES MOUNT OR DISMOUNT FROM THE MANUFACTURERS TRACKOUT CONTROL DEVICE.
- SELECT FABRIC TYPE BASED ON SOIL CONDITIONS AND VEHICLES LOADING.
- DIRECT ALL EXISTING VEHICLES OVER MANUFACTURED TRACKOUT CONTROL DEVICE. STONE TRACKING PAD INSTALLATION ACROSS REMAINING ACCESS WIDTH IS RECOMMENDED. A 12' MINIMUM CAN BE USED WHEN EXITING TRAFFIC IS RESTRICTED TO A DEDICATED EGRESS LANE.
- IF MINIMUM INSTALLATION LENGTH IS NOT POSSIBLE DUE TO SITE GEOMETRY, INSTALL THE MAXIMUM LENGTH PRACTICABLE AND SUPPLEMENT WITH ADDITIONAL PRACTICES AS NEEDED.
- ACCOMMODATE EXITING VEHICLES IN EXCESS OF MANUFACTURED TRACKOUT CONTROL DEVICE WEIGHT CAPACITY WITH OTHER TREATMENT PRACTICES.

MANUFACTURED TRACKOUT CONTROL DETAIL



PLAN VIEW  
(NTS)



SECTION VIEW

NOTES:

- USE HARD, DURABLE, ANGULAR STONE OR RECYCLED CONCRETE, MEETING THE FOLLOWING GRADATION:

SIEVE SIZE:	PERCENT BY WEIGHT PASSING:
3"	100
2 1/2"	90-100
1 1/2"	25-60
3/4"	0-20
3/8"	0-5
- SLOPE THE STONE TRACKING PAD IN A MANNER TO DIRECT RUNOFF TO AN APPROVED TREATMENT PRACTICE.
- SELECT FABRIC TYPE BASED ON SOIL CONDITIONS AND VEHICLES LOADING.
- INSTALL TRACKING PAD ACROSS FULL WIDTH OF THE ACCESS POINT, OR RESTRICT EXISTING TRAFFIC TO A DEDICATED EGRESS LANE AT LEAST 12 FEET WIDE ACROSS THE TOP OF THE PAD.
- IF A 50' PAD LENGTH IS NOT POSSIBLE DUE TO SITE GEOMETRY, INSTALL THE MAXIMUM LENGTH PRACTICABLE AND SUPPLEMENT WITH ADDITIONAL PRACTICES AS NEEDED.

STONE TRACKING PAD DETAIL

File: P:\A\2024\6538001\6538001.dwg 6/28/2024 10:25am  
LAYOUT: 5\_TRACKOUT

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION

DRAWN  
LLP  
CHECKED  
DESIGNED  
A/B

BUILDING EXPANSION FOR  
REBMAN PLUMBING  
VILLAGE OF KIMBERLY  
OUTAGAMIE COUNTY, WISCONSIN

EROSION CONTROL  
TRACKOUT CONTROL PRACTICES

DATE  
09/20/24  
FILE  
6538001 EC  
JOB NO.  
6538001

**REL** Robert E. Lee  
& Associates, Inc.  
1250 Centennial Centre Blvd | Hobart, WI | 920-662-9641 | releinc.com

SHEET NO.  
**9**

**From:** [Brad Werner](#)  
**To:** [Sam Schroeder](#)  
**Cc:** [Aaron J. Breitenfeldt](#); [Danielle Block](#); [Anna Huber](#)  
**Subject:** Rebman Plumbing 100 W Kimberly Ave Redevelopment Plan Review  
**Date:** Friday, December 6, 2024 11:47:38 AM  
**Attachments:** [image001.gif](#)  
[REBMAN PLUMBING 100 W KIMBERLY AVE.pdf](#)

---

Hi Sam,

Attached is my markup of the plans submitted for this Rebman Plumbing Site Redevelopment Project.

1. No stormwater treatment is required for this site as it currently drains to Village Regional Facilities to comply with Village water quality standards. ERU's should be updated by completing the attached form. I assumed the existing condition is all impervious however the site modifications may provide green space which will reduce the ERU's and billing amount.
2. Site drainage has been a concern in the past in this location. There is no drainage plan for this lot and water currently sheds to neighboring properties and not directly to village owned collection systems. As we discussed with the owner and their engineer, this situation requires rectification. It is recommended that the owner install a collection system for storm water. This would most simply be done by connecting to the back of the inlet just east of their driveway opening on Kimberly Ave to connect to the Village system. A line can be extended into the property to allow for collection of surface water. An inlet can be installed on the east side of the driveway entrance as shown on my markup of their site plan. Either a curb head or small containment Berm or swale could collect water along the east property line and collect the surface water north of the Kimberly Ave sidewalk. In addition, it would be wise to collect roof runoff so that this major source of runoff can be properly directed to the storm sewer. The area north of the building drains onto private property and should also be collected and not discharged onto Bluebird Lane (a private drive lane).
3. The proposed building is higher than the paved area to the west by what appears to be 6 inches. The property to the west has an ingress / egress easement provided by that property owner. How will the transition be handled and does the transition encroach the neighboring property? Has the neighbor seen and plan and are they aware that the plans show a disturbance and grade change on their property?
4. The site plan notes existing storm drains, however, these would have been sanitary drains for the car wash bays. These are required to be completely disconnected from the sanitary line. Our records from the 2015 sanitary and water relay on Kimberly Ave indicate the lateral connection to the existing on private property was to a 6 inch sch 35 PVC line. This line would be material compliant with our ordinance. I would recommend a final televising of this line be done and provided to the Village to demonstrate that the post constructed line is fully intact and that all connections are for the new improvements only.

Let me know if you have any questions or concerns.

Thanks,

Brad

**Brad D. Werner, P.E.**

Vice President / Sr Municipal Engineer



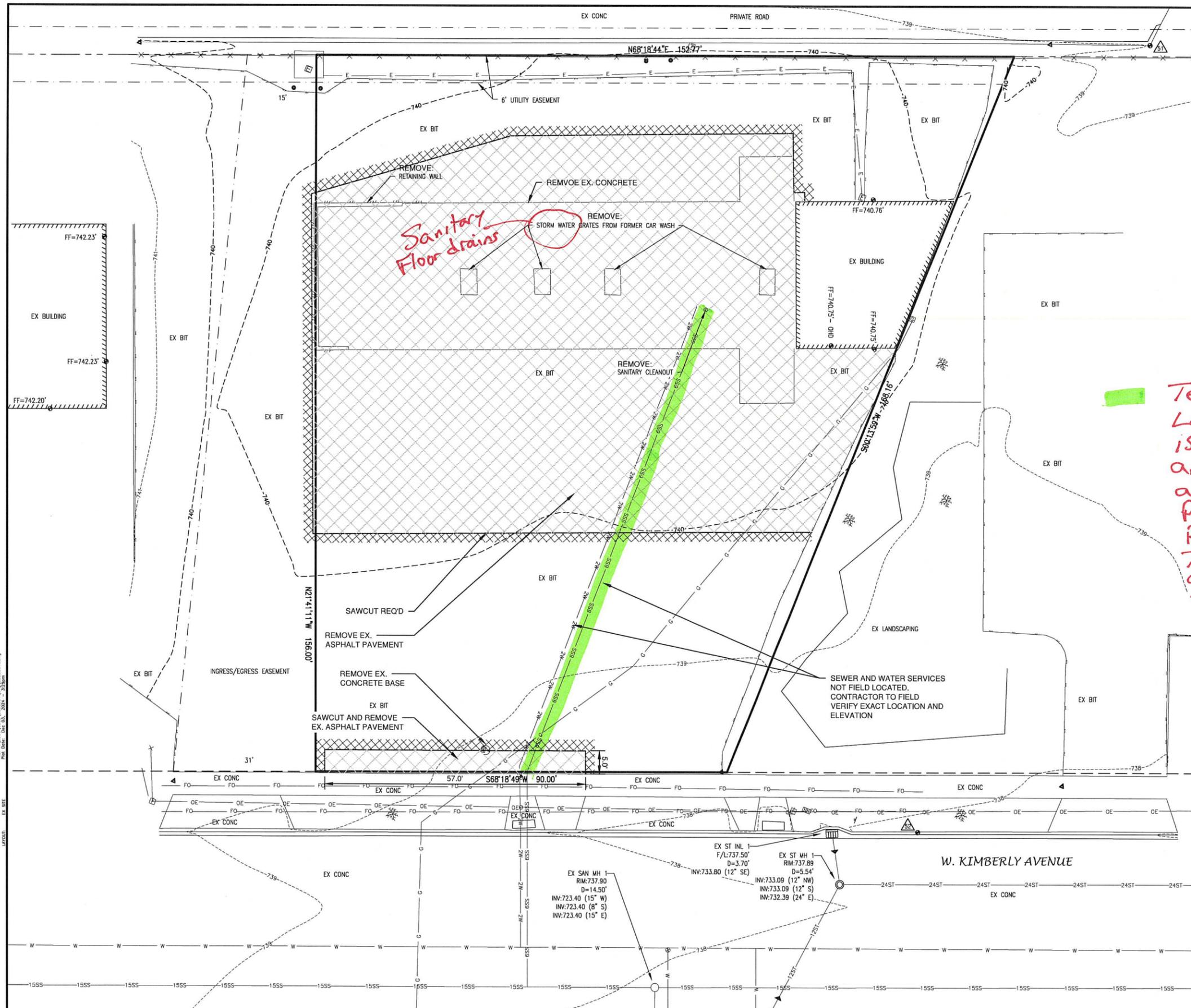
1445 McMahan Dr | Neenah, WI 54956

O:920.751.4200 x225 | C:920.858.6072

[website](#) | [facebook](#) | [linkedin](#) | [instagram](#)

**Confidentiality Statement**

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**DEMOLITION NOTES**

1. EXISTING ASPHALT AND BASE COURSE MAY BE PULVERIZED AND STOCKPILED ON SITE FOR FUTURE USE.
2. EXISTING GAS, ELECTRIC, CABLE TELEVISION AND TELEPHONE TO BE REMOVED AND/OR RELOCATED BY OTHERS. WORK SHALL BE COORDINATED BY GENERAL CONTRACTOR.
3. ALL MISCELLANEOUS STRUCTURES SHALL BE REMOVED.
4. DRIVEWAY OPENINGS SHALL BE REMOVED AND CURB OPENINGS SHALL BE CLOSED IN ACCORDANCE WITH STANDARD DETAIL "CURB REMOVAL", SEE DETAIL SHEETS.

BENCHMARK		BENCHMARK ESTABLISHED BY: ROBERT E. LEE & ASSOCIATES, INC. FIELD VERIFY BENCHMARKS FOR ACCURACY.	
NO.	DESCRIPTION	EL.	
51	CROSS ON TOP-BACK-CURB	737.90	
52	CORNER TOP-BACK-CURB	739.01	

*Televise Existing Sanitary Lateral to confirm there is no clearwater entering and no wyes from abandoned floor drains. Provide Televising and Report to Village. Televising can be completed after modifications to the line have been completed per Engineer's note on Sheet 4.*

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION

DRAWN  
CHECKED  
DESIGNED  
A/B

BUILDING EXPANSION FOR  
REBMAN PLUMBING  
VILLAGE OF KIMBERLY  
OUTAGAMIE COUNTY, WISCONSIN

EXISTING SITE CONDITIONS

DATE  
09/20/24  
FILE  
6538001T  
JOB NO.  
6538001

**REL** Robert E. Lee & Associates, Inc.  
1250 Centennial Centre Blvd | Hobart, WI | 920-662-9641 | releecinc.com

SHEET NO.  
**2**





## Village of Kimberly Request for Plan Commission Recommendation

**ITEM DESCRIPTION:** Site & Architectural Review – Caseys Rentals LLC located at 420 S Washington St

**REPORT PREPARED BY:** Sam Schroeder, Community Development Director

**REPORT DATE:** December 17, 2024

**EXPLANATION:** Kelly Sperl with Architectural & Construction Services, Inc. on behalf of Caseys Rental LLC has submitted a site review application for a proposed redevelopment of the former convenience store and carwash located at 420 S Washinton Street. Following an approved CSM separating the store from the larger industrial site earlier this summer, Caseys Rental LLC acquired the property with plans to rejuvenate the property. The property totals 1.06 acres and is zoned I-2, general industrial district.

Attached to this staff report includes:

1. Site Plan Review Application
2. Project Description
3. Plan Drawings
4. Engineer Review Comments

**Scope of Construction – Reference Project Description and Plans for additional insight.**

1. The Applicant is proposing to convert the former convenience store into a commercial kitchen with retail sales and serving hot food to go specializing in BBQ. Half of the former carwash will be converted into a salon and the remaining half will remain as is for now.
2. Retail Sales - 3,295 SF; Salon – 895 SF; Remaining storage 1,395 SF
3. The Applicant is proposing minor changes to the façade which include enclosing the Salon space with a store front matching the existing façade materials, the replacement of the recessed lighting, and possibly painting the upper canopy in the future.
4. Upon staff recommendation, the Applicant has proposed a landscape buffer along the sidewalk to provide additional safeguards and a soften edge for this commercial corridor. A landscape island will also be placed along the west property line to define the property boundaries and minimize cross traffic with the remaining industrial site in the rear of the property.
5. The Applicant will also remove a secondary vehicle access to S Washington St to improve vehicle and pedestrian safety in this area following staff recommendation.
6. The Applicant does cater food, operate a food truck and a smoker. These elements would be stored in the rear (west) of the building.
7. The site currently is impervious and is part of a regional stormwater basin so no on-site treatment is proposed or needed.

The staff zoning review identified the proposed project complies with applicable ordinances. Staff has completed a review of the site for compliance with the Kimberly Municipal Code whereas the proposed project substantially meets code and notes the following:

1. **Engineering Comments.** The Village does recommend further investigation into the Water and Sanitary Service including televising to ensure code compliance and in good repair. Further recommendations are attached to this memo.
2. **Lighting.** A photometric plan was not submitted. The proposed recessed lighting should be minimal with minimal impacts upon adjoining properties. The Village would reserve the right to review the lighting to ensure code is being met following the installation.
3. **Outside Storage.** Staff is recommending the primary exterior storage of materials, trailers, food trucks, etc., shall be stored in the rear of the building out of public view.
4. **Building Inspections and Approvals.** Building plan review and inspections will be completed by the State of Wisconsin, unless delegation authority is completed by the Village of Kimberly.

**RECOMMENDED ACTION:** Staff recommends approval of the site plan and architectural components for Caseys Rental LLC located at 420 S Washington Street as presented.



VILLAGE OF KIMBERLY
Site Review Application

Submit to:
Planning & Zoning
515 W. Kimberly Ave.
Kimberly WI 54136
920-788-7500

Applicant Information

Petitioner: Kelly Sperl Date: 11/12/24
Petitioner Address: 321 Randolph Dr. City: Appleton State: WI Zip: 54913
Telephone #: (920) 707-4226 Fax: ( ) - email: KSperl@gmail.com
Status of Petitioner (please check one): Owner X Representative Tenant Prospective Buyer

Petitioner's Signature (required): [Signature]

Owner Information

Owner(s): Alex Casey Date: 11/12/24
Owner(s) Address: W2663 Saratoga Dr. City: Appleton State: WI Zip: 54915
Telephone #: (920) 213-3988 Fax: ( ) - email: alexcasey66@gmail.com
Ownership Status (please check one): X Individual Trust Partnership Corporation

Property Owner Consent (required):

By signature hereon, I/We acknowledge that Village officials and/or employees may, in the performance of their functions and duties, enter upon the property to inspect or gather other information necessary to process this application. I also understand that all meeting dates are tentative and may be postponed by the Village for incomplete submissions or other administrative reasons.

Property Owner's Signature: [Signature] Date: 11-11-24

Site Information

Address/Location of Proposed Project: 420 S. Washington St. Zoning:
Proposed Project or Use: BBQ Take-Out + Retail / Barbershop
Current or last Use of Property: Previous G-Store / Gas Station
Land Uses Surrounding this Address: North: Railroad
South: Ex. Parking lot
East: Commercial Businesses
West: Commercial Business

- It is recommended that the applicant meet with Village Department staff prior to submittal to review the project and submitted materials.
Application Fees must be submitted with the application.

12/1/2024

Hello,

My name is Alex and my wife's is Brianna. We have a three year old son named Crosby as well as 2 new baby Twin boys Reed and Grant, that we just were able to bring home after 60 long days in the NICU today! We are the Casey Family. I grew up in Darboy, graduated from Kimberly, and my wife and I plan to put our three boys through the Kimberly school district as well. Kimberly is a special place, and we are beyond excited to be apart of this Great community.

We purchased this property on 420 South Washington Street with a dream in hand. A location and building that we could utilize for both of our dreams to be exact. This building will be "split" into two different businesses. The convenient store part will be a BBQ space. And the Car Wash part will be a Barber Shop.

My wife is a Barber, but will now take the roll as the Full-time parent. Her love to her craft though is unmatched. She has always dreamed of opening a true "old style" men's barber too. So this is her time, her leap into running a chair rental in her own Barber Shop. There will be 5 chairs in this Barber Shop. All will be available for rent. Our goal is to create a place guys look forward to going to. Not just an overpriced "haircut", but a true straight shave.

I am a machinist by trade, but work as a pump technician at Liquid Process Equipment in Kaukauna. My passion though is in BBQ, Texas Style BBQ to be exact. I have been running Who's The Man BBQ for Three years now. Luckily enough we have been fortunate to grow each year and keep investing back into the business to keep growing. I plan to use the convenient part of the building for BBQ. Think of it as a little meat market, but with all fresh and ready to go meats. Our Kitchen will be more laid out as a catering style kitchen. This is not a restaurant. We are big into our catering side of the business, so the space we will have to work with will be nice.

We did purchase a lot of parking lot with this building. We are very excited to hopefully in the future be able to plan a few Whole Hog Roasts and do some small events in it.

There is a lot of work to be done to get where we want to be with the building. But we are excited for the work. We are excited to be apart of this great community of Kimberly.

Thank you,

Alex Casey

Who's The Man BBQ

920-213-3988

# INTERIOR REMODEL FOR, 420 S. WASHINGTON STREET

KIMBERLY,

WISCONSIN

## GENERAL NOTES

THESE DRAWINGS COVER STRUCTURAL AND GENERAL CONSTRUCTION WORK ONLY. ALL WORK SHALL CONFORM TO STATE AND LOCAL CODES WHICH GOVERN FOR THE BUILDING SITE, AND SHALL BE DONE IN A WORKMANLIKE MANNER.

THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH ALL ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS TO VERIFY THE LOCATION AND DIMENSIONS OF CHASES, INSERTS, OPENINGS, SLEEVES, REGLETS, DEPRESSIONS AND OTHER PROJECT REQUIREMENTS NOT SHOWN ON THE STRUCTURAL DRAWINGS.

OPENINGS SHOWN ON THE STRUCTURAL DRAWINGS SHALL NOT BE REVISED WITHOUT WRITTEN APPROVAL FROM THE ARCHITECT.

CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, ELEVATIONS AND CONDITIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES.

THE TYPICAL DETAILS SHOWN ON THE DRAWINGS SHALL BE APPLICABLE TO ALL PARTS OF THE CONTRACT DRAWINGS UNLESS SPECIFICALLY NOTED OTHERWISE.

THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SAFETY DURING CONSTRUCTION.

## PROJECT INFORMATION

CONSTRUCTION CLASSIFICATION  
BUILDING TYPE - IIB NON-COMBUSTIBLE  
NON-SPRINKLED - NON-SEPARATED USES

### OCCUPANCY

"M" MERCANTILE  
CHANGE OF USE FROM "B" BUSINESS

### OCCUPANCY

"M" MERCANTILE  
RETAIL AREA 1,300 SF div. 60 = 22 ppl.  
OTHER AREAS 4,285 SF div. 300 = 15 ppl.

"B" BUSINESS  
DETERMINED BY USE = 10 TO 14 PPL.

### ALLOWABLE AREA

	CHPTR. 5	CHPTR. 9
"M" MERCANTILE	12,500 SF	12,000 SF
"B" BUSINESS	23,000 SF	12,000 SF

### 2015 IEBC CHANGE OF USE HAZARD CATEGORIES

1012.4 MEANS OF EGRESS  
M-MERCANTILE HAZARD LEVEL 3  
B-BUSINESS HAZARD LEVEL 4  
M IS HIGHER HAZARD THAN B

1012.5 HEIGHTS & AREAS  
M-MERCANTILE HAZARD LEVEL 3  
B-BUSINESS HAZARD LEVEL 4  
M IS HIGHER HAZARD THAN B

1012.6 EXPOSURE OF EXT. WALLS  
M-MERCANTILE HAZARD LEVEL 2  
B-BUSINESS HAZARD LEVEL 3  
M IS HIGHER HAZARD THAN B

### TOILET ROOM FIXTURES

"B" BUSINESS  
LESS THAN 15 PEOPLE  
- SINGLE TOILET ROOM PROVIDED.

"M" MERCANTILE  
LESS THAN 100 PEOPLE  
- TOILET ROOMS ARE EXISTING.

## SHEET INDEX

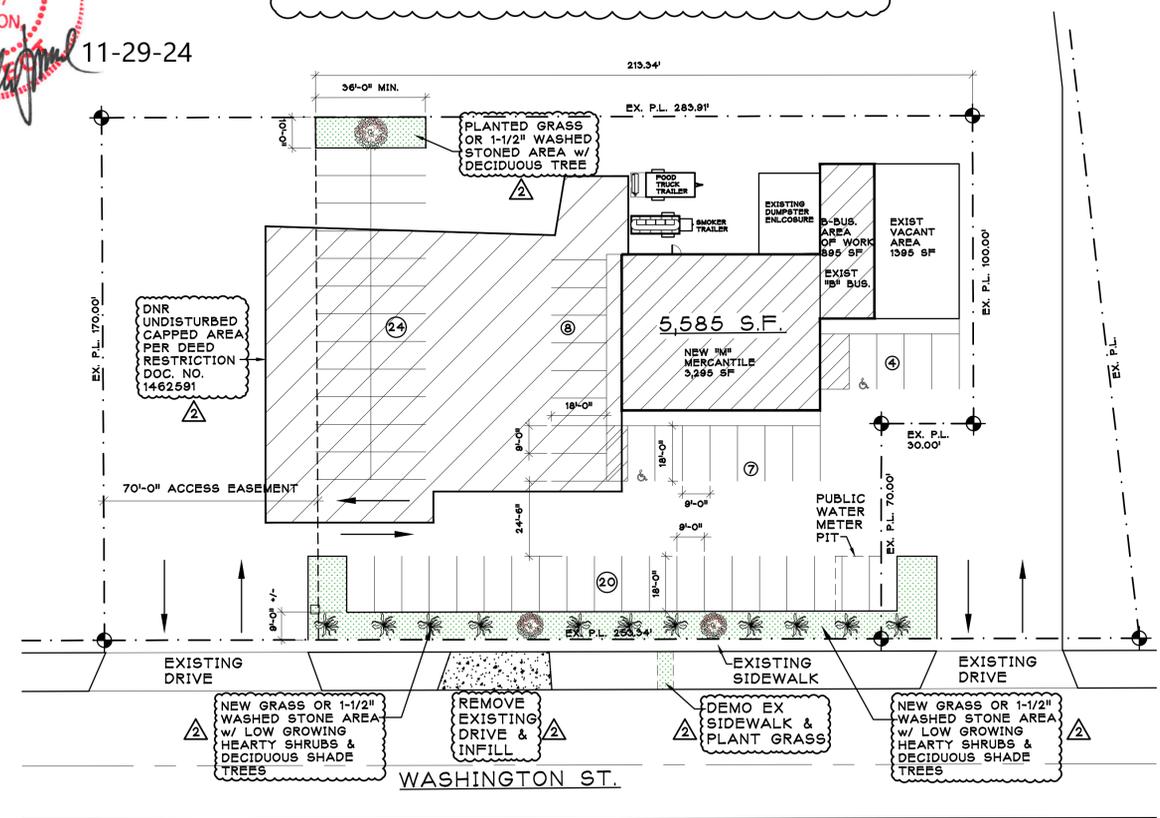
SHEET	SHEET TITLE
T.1.0	COVER SHEET, INDEX & NOTES

ARCHITECTURAL	
A1.0	FLOOR PLAN
A1.1	EGRESS PLAN
A1.2	EXTERIOR ELEVATIONS
A2.0	ADA DETAILS

### PER DEED RESTRICTIONS DOC. NO. 14652591

THE FOLLOWING ACTIVITIES ARE PROHIBITED ON THE PORTION OF THE PROPERTY WHERE CAPPED AREA IS SHOWN BELOW.

- (1) EXCAVATING OR GRADING OF THE LAND SURFACE
- (2) FILLING ON THE CAPPED AREA
- (3) PLOWING FOR AGRICULTURAL CULTIVATION
- (4) CONSTRUCTION OR INSTALLATION OF A BUILDING OR OTHER STRUCTURE WITH A FOUNDATION THAT WOULD SIT ON OR BE PLACED WITHIN THE CAP OR COVER.
- (5) ANY OTHER ACTIVITY THAT WOULD DECREASE THE EFFECTIVENESS OF THE IMPERVIOUS BARRIER.

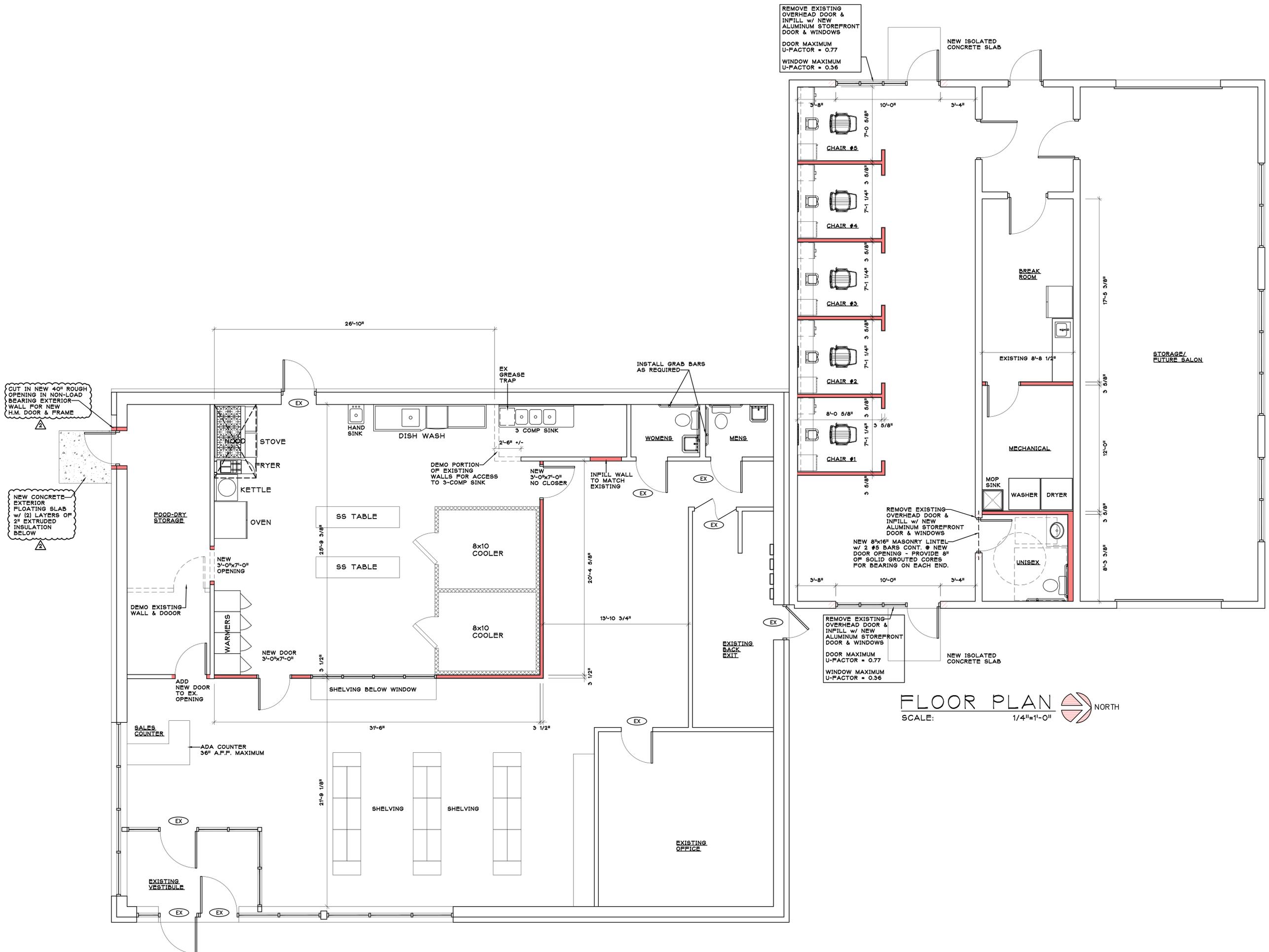


SCHEMATIC SITE PLAN  
NO SCALE

AN INTERIOR REMODEL FOR,  
420 S. WASHINGTON ST.  
KIMBERLY,  
WISCONSIN

DATE: OCT. 24, 2024  
ARCH. K. SPERL  
D. BY: S. BURTON  
JOB: 24-060  
REVISIONS  
ADDED A1.2 EXT. ELEVATIONS 11-12-24  
FOR VILLAGE SITE PLAN REVIEW 12-17-24

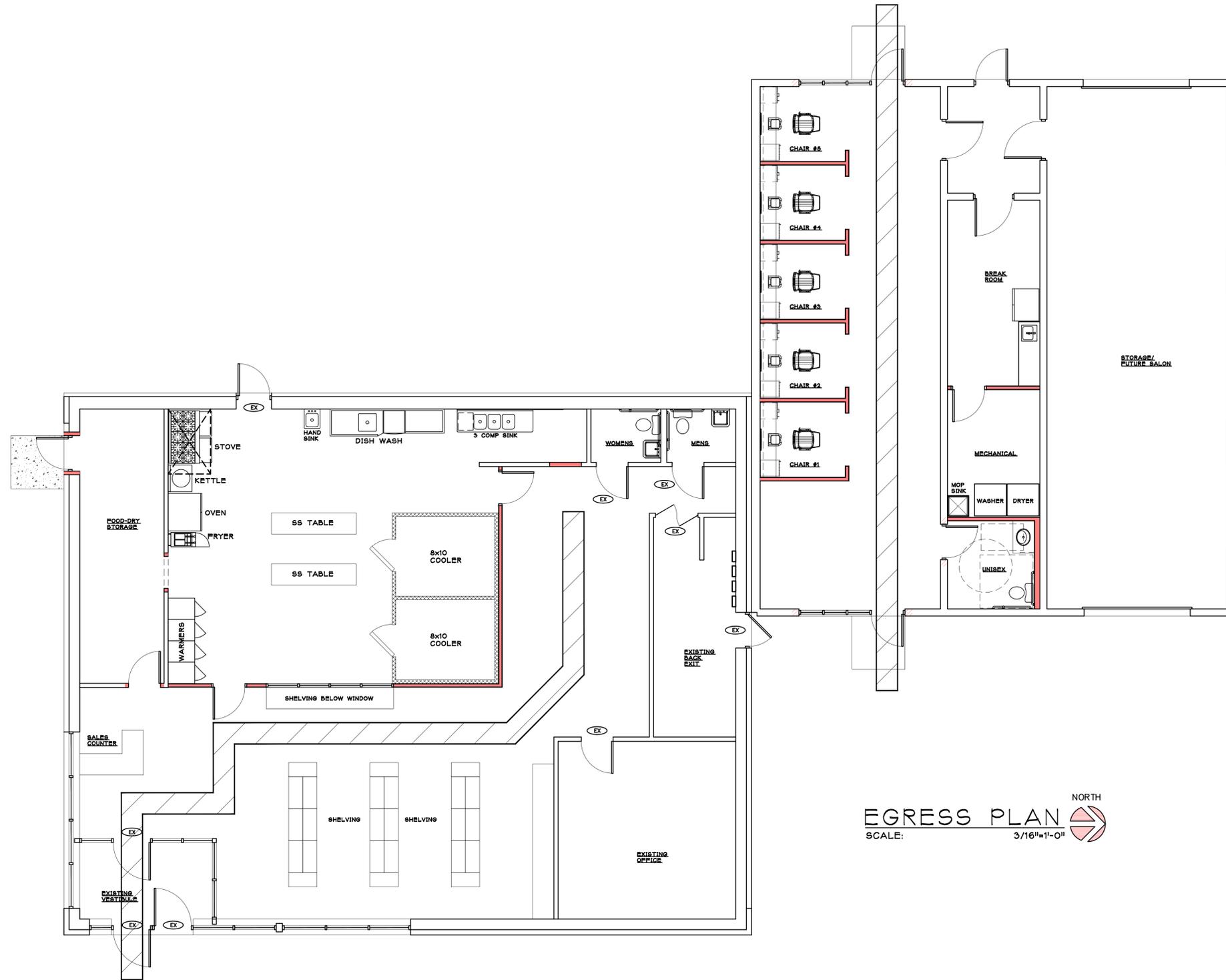
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1.0



**AN INTERIOR REMODEL FOR,**  
**420 S. WASHINGTON ST.**  
**KIMBERLY, WISCONSIN**

DATE: OCT. 24, 2024  
 ARCH. K. SPERL  
 D. BY: S. BURTON  
 JOB: 24-060

**REVISIONS**  
 △ ADDED A1.2 EXT. ELEVATIONS 11-12-24  
 ✎ FOR VILLAGE SITE PLAN REVIEW 12-17-24



**EGRESS PLAN** NORTH  
 SCALE: 3/16"=1'-0"

**AN INTERIOR REMODEL FOR,  
 420 S. WASHINGTON ST.  
 KIMBERLY, WISCONSIN**

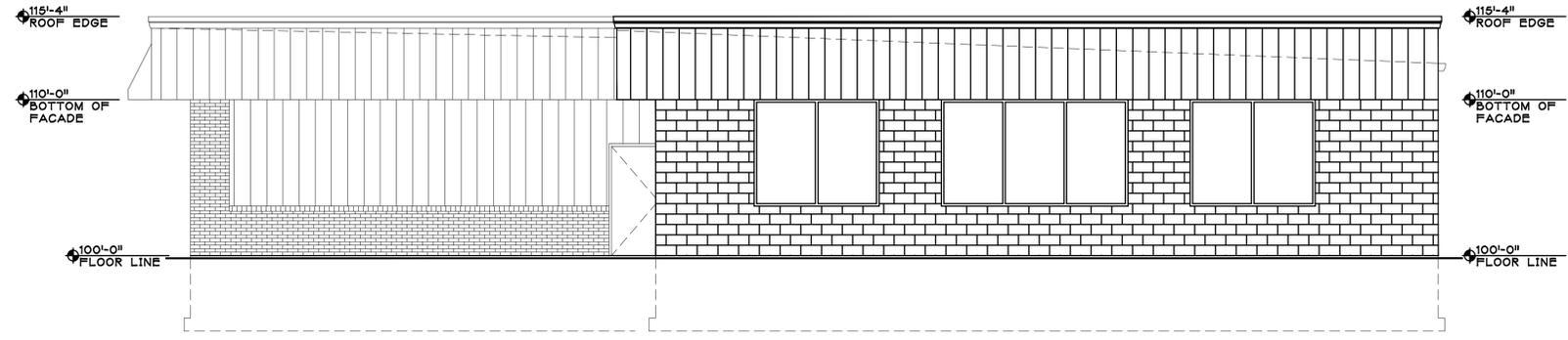
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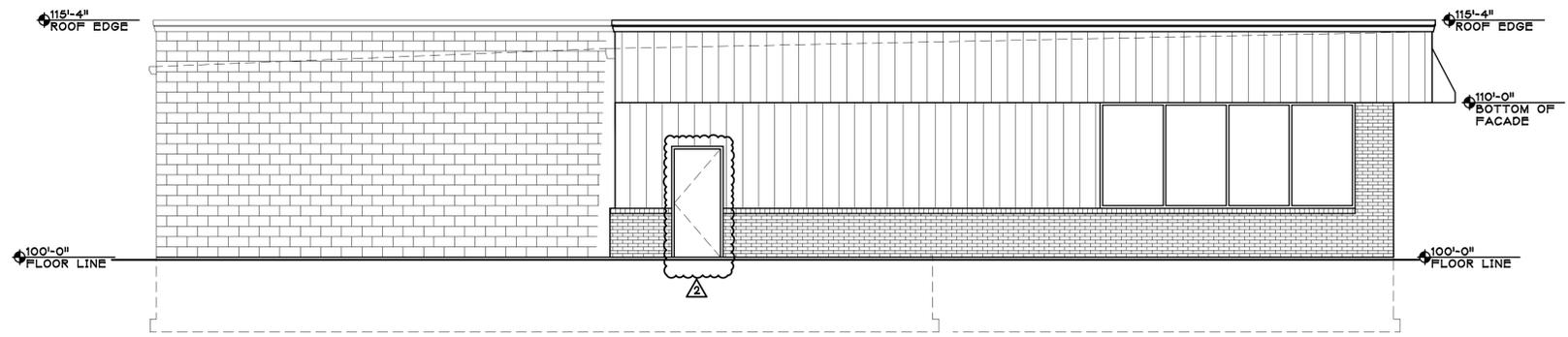
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**420 S. WASHINGTON ST.**  
 KIMBERLY, WISCONSIN

DATE: OCT. 24, 2024  
 ARCH. K. SPERL  
 D. BY: S. BURTON  
 JOB: 24-060  
**REVISIONS**  
 ▲ ADDED A1.2 EXT. ELEVATIONS 11-12-24  
 ▲ FOR VILLAGE SITE PLAN REVIEW 12-17-24

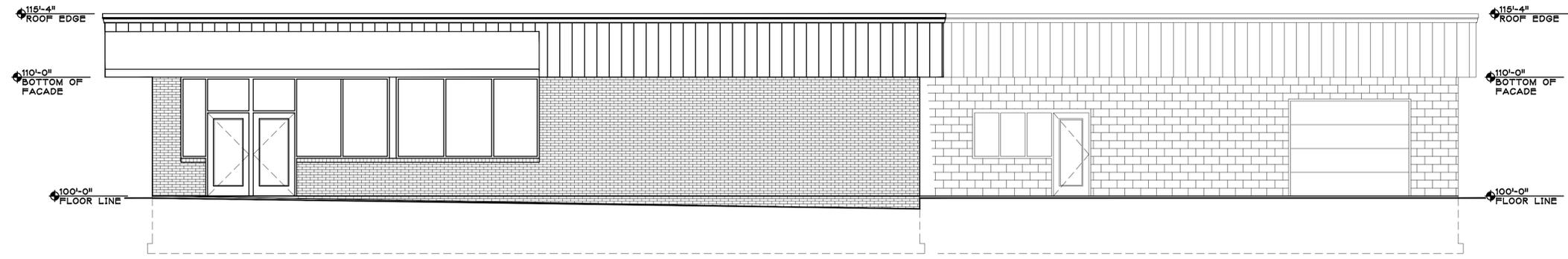
**A**  
**1.2**



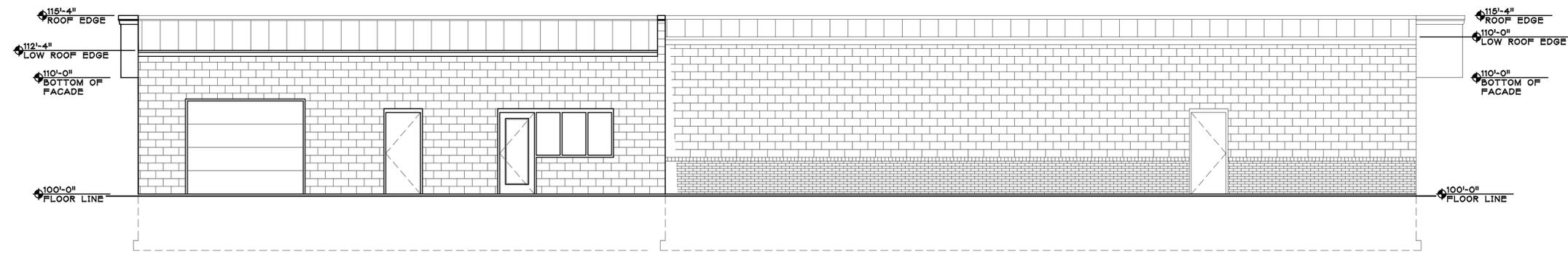
**NORTH ELEVATION**  
 SCALE: 3/16"=1'-0"



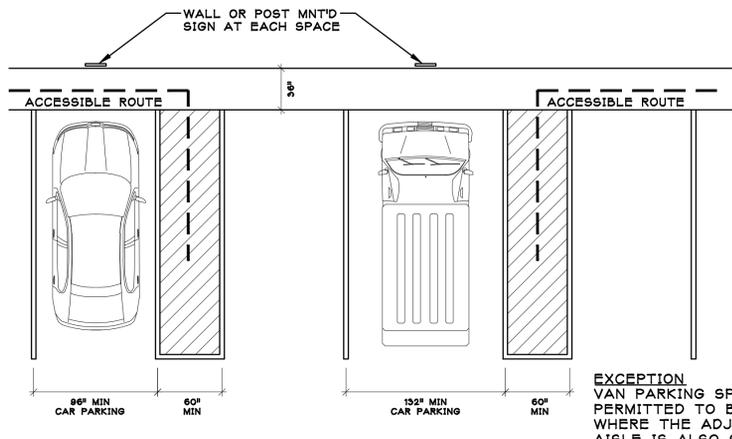
**SOUTH ELEVATION**  
 SCALE: 3/16"=1'-0"



**EAST ELEVATION**  
 SCALE: 3/16"=1'-0"

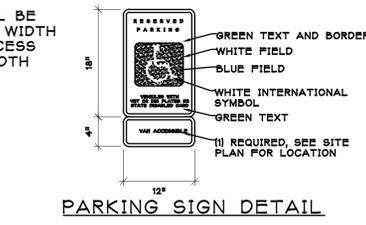
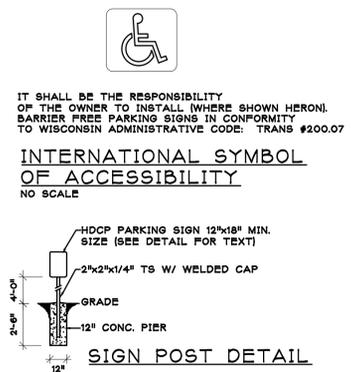


**WEST ELEVATION**  
 SCALE: 3/16"=1'-0"



**VEHICLE PARKING SPACE SIZE & ACCESS AISLE**

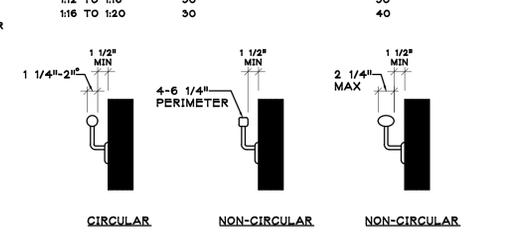
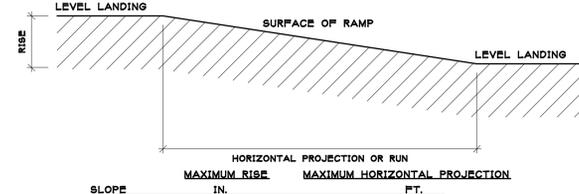
THE MAXIMUM SLOPE AT PARKING SPACES IS 1:50 (4.6.2)



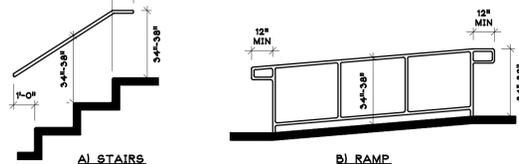
**4.8.1 GENERAL**  
ANY PART OF AN ACCESSIBLE ROUTE WITH A SLOPE GREATER THAN 1:20 SHALL BE CONSIDERED A RAMP AND SHALL COMPLY WITH 4.8.

**4.8.2 SLOPE AND RISE**  
THE LEAST POSSIBLE SLOPE SHALL BE USED FOR ANY RAMP. THE MAXIMUM SLOPE OF A RAMP IN NEW CONSTRUCTION SHALL BE 1:12. THE MAXIMUM RISE FOR ANY RUN SHALL BE 30" (SEE FIGURE 16). CURB RAMPS AND RAMPS TO BE CONSTRUCTED ON EXISTING SITES OR IN EXISTING BUILDINGS OF FACILITIES MUST HAVE SLOPES AND RISES AS ALLOWED IN 4.1.6(3)(A). IF SPACE LIMITATIONS PROHIBIT THE USE OF A 1:12 SLOPE OR LESS.

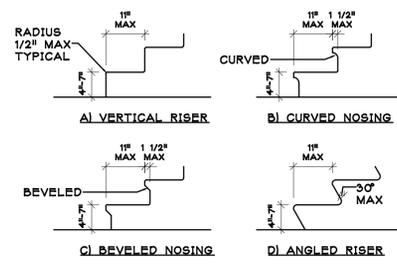
**SINGLE RAMP RUN**  
SCALE: 1/4" = 1'-0"



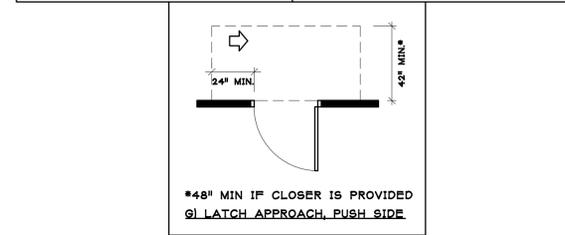
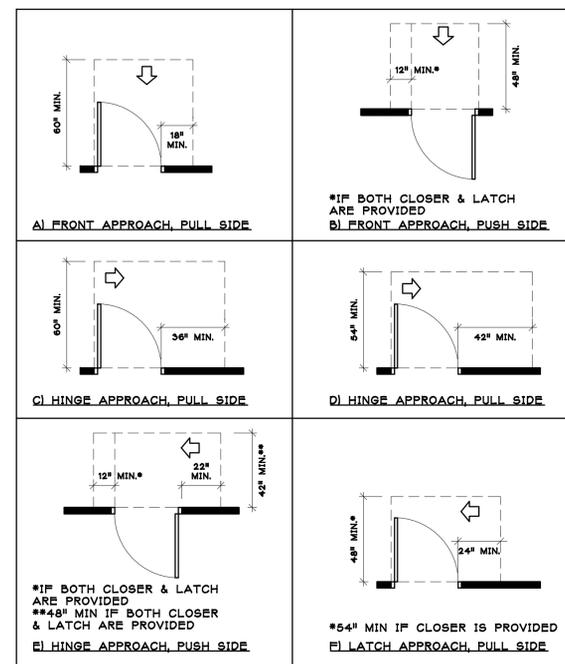
**HANDRAIL SECTIONS**



**HANDRAIL EXTENSION & HEIGHTS**

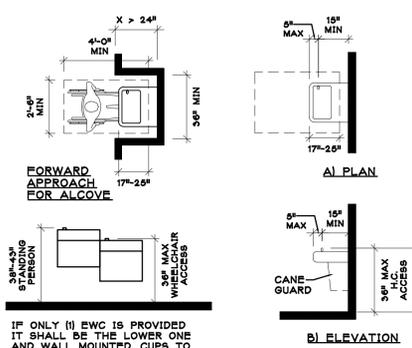


**TREADS/RISERS & STAIR NOSINGS**

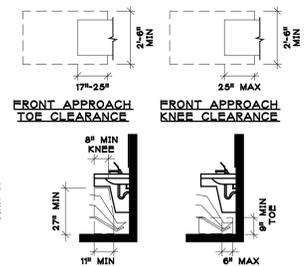


**CLEARANCE AT MANUAL SWING DOORS**

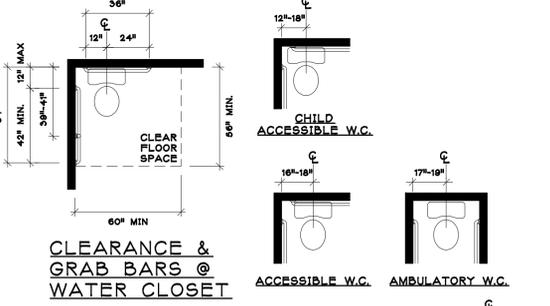
**CLEARANCE AT RECESSED DOORS**



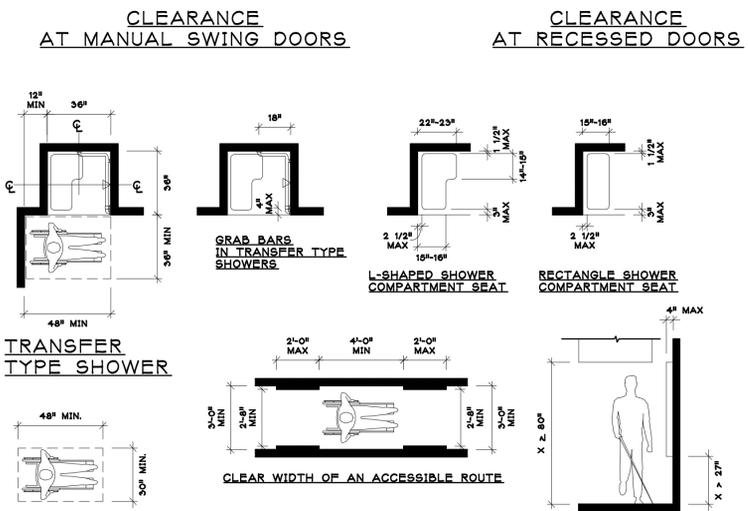
**ELECTRIC WATER COOLER CLEAR SPACE**



**KNEE & TOE CLEARANCES**

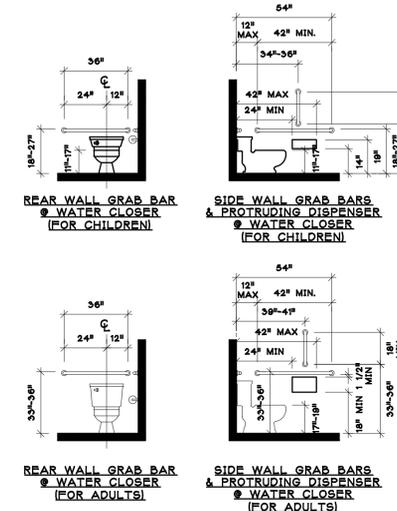


**CLEARANCE & GRAB BARS @ WATER CLOSET**



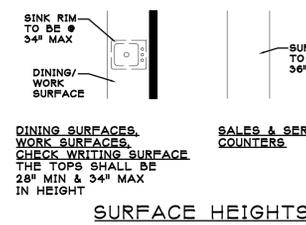
**TRANSFER TYPE SHOWER**

**LIMIT OF PROTRUDING OBJECTS**

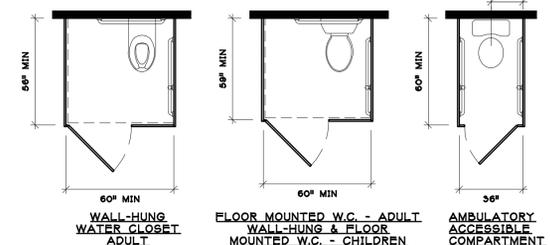


**FLOOR MOUNT TOILET & GRAB BARS**

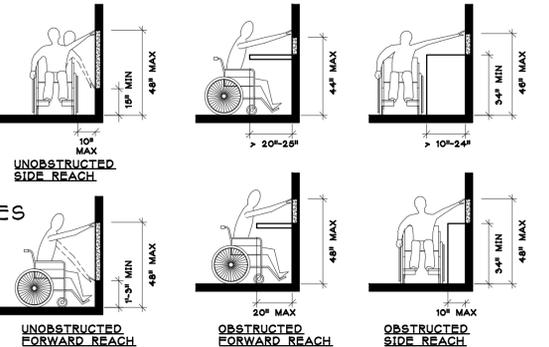
**WALL MOUNTED URINAL**



**SURFACE HEIGHTS**



**WHEELCHAIR ACCESSIBLE TOILET COMPARTMENTS**



**ACCESSIBLE INSTALLATION GUIDELINES**

THE DIAGRAM ABOVE SHOWS RECOMMENDED MOUNTING HEIGHTS FOR MANY WASHROOM ACCESSORIES. A MINIMUM 30x48" CLEAR FLOOR SPACE IS REQUIRED IN FRONT OF ALL ACCESSIBLE FIXTURES & ACCESSORIES. SEE OTHER DIAGRAMS ON THIS SHEET.

**TURNING SPACES**

**CLEAR FLOOR SPACE POSITIONS**

**CLEAR FLOOR SPACE POSITIONS**

**From:** [Brad Werner](#)  
**To:** [Sam Schroeder](#)  
**Cc:** [Danielle Block](#); [Anna Huber](#); [Jerry Versteegen](#)  
**Subject:** Review Comments for 420 S Washington St Redevelopment  
**Date:** Friday, December 6, 2024 11:05:38 AM  
**Attachments:** [image001.gif](#)  
[420 S WASHINGTON REVIEW.pdf](#)  
[CL GIS Mapping Washington St.pdf](#)

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Hi Sam,

As this is primarily and interior remodeling I have limited comments.

1. With the CSM recorded and the transfer of property from US Venture to the new owners were the appropriate ERU modifications to both the original Venture property and the new CSM completed for billing? I included a quick markup of the Utility form with the ERU's to be removed from the original Venture billing and the new billing for 420 S Washington, assuming they install the green space along the right of way. The developer should completely fill out the form and submit it to the village.
2. I am working with the water department to determine the location of the water service for the parcel. The public watermain is on an easement thru this and Venture's remaining property. The location of the watermain is not exactly known as it is not able to be traced. This main was installed before my time (pre 1989). I do know that the water superintendent at the time did not want trace wire placed on plastic main, so there is no way to field locate it now. I do have some old drawings prepared in the early 2000's when Venture did an addition in this area. These drawings indicate that the watermain exists under the old carwash that is a part of 420 S Washington. Once the water department has fully investigated we can review this further. Not sure if there is anything we want to address with this situation now other than to make sure the public watermain easement is shown correctly on the newly approved CSM.
3. Sanitary is served off of the Combined Locks 8 inch sanitary line on the east side of Washington St. It may be a good idea to require televising this line to determine if it is in compliance with our ordinance as a change in ownership and use may be a good trigger to make sure all is up to current code. There was a building in this location in 1957. It appears that the current building went in between 1980 and 1992. Not sure if they used the original sanitary line or installed a new one. If a full new line was installed at the time the Express Station was built, there is a good chance it is in compliance to at least the road right of way.
4. I would concur with your recommendations on driveway access to the site.

Let me know if you have any questions.

Thanks,  
Brad

## **Brad D. Werner, P.E.**

Vice President / Sr Municipal Engineer



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