



## VILLAGE OF KIMBERLY, WI

### NOTICE OF VILLAGE PLAN COMMISSION MEETING

**DATE:** Tuesday, December 17, 2024  
**TIME:** 5:00 pm  
**LOCATION:** Village Hall, Rick J. Hermus Council Chambers  
515 W. Kimberly Ave.  
Kimberly, WI 54136

Notice is hereby given that a Plan Commission meeting will be held on Tuesday, December 17, 2024, at the Village Hall. This meeting is open to the public and the agenda is listed below.

- 1) Call to Order
- 2) Roll Call
- 3) Moment of Silent Reflection, Pledge of Allegiance
- 4) Approval of Minutes from the 11/19/2024 Meeting
- 5) Unfinished Business
  - a) None
- 6) New Business for Consideration and Approval
  - a) Site & Architectural Review – Rebman Plumbing Addition located at 700 W Kimberly Avenue
  - b) Site & Architectural Review – Caseys Rental LLC Redevelopment located at 420 S Washington Street
- 7) Adjournment

#### Plan Commission

**Please join my meeting from your computer, tablet or smartphone.**

<https://meet.goto.com/894788813>

**You can also dial in using your phone.**

Access Code: 894-788-813

United States (Toll Free): [1 866 899 4679](tel:18668994679)

United States: [+1 \(571\) 317-3116](tel:+15713173116)

Any person wishing to attend the meeting who because of their disability is unable to attend, is requested to contact the ADA Coordinator at 920-788-7500 at least 48 hours prior to the meeting so that reasonable accommodations may be made.

# **VILLAGE OF KIMBERLY PLAN COMMISSION MINUTES 11/19/2024**

A meeting of the Village Kimberly Plan Commission was called to order on Tuesday, November 19, 2024 at 5:00pm in the Rick J. Hermus Council Chambers, 515 W. Kimberly Ave by President Kuen.

Commissioners Present: President Chuck Kuen, Commissioners: Norb Karner, Todd Schneider, Michael Robach, Dave Vander Velden and Dean Schiesl  
Commissioners Excused: Commissioner Jeremy Freund  
Staff Present: Deputy Clerk Erica Ziegert, Administrator/Public Works Director Danielle Block, Community Development Director Sam Schroeder and Brad Werner of McMahon

## **Approval of Minutes from the 09-17-2024 Meeting**

Commissioner Karner moved, Commissioner Schneider seconded the motion to approve the minutes from the 09-17-2024 Plan Commission meeting. Motion carried by unanimous vote.

## **Unfinished Business**

None

## **New Business**

### **Certified Survey Map – Lot Consolidation – Aspire Senior Living Community located at 825 Cobblestone Ln**

Commissioner Karner moved, Commissioner Schiesl seconded the motion to approve the Certified Survey Map as presented for Lot Consolidation located at 825 Cobblestone Ln for Aspire Senior Living Community. Motion carried by unanimous vote.

### **Certified Survey Map – Lot Consolidation – Crane Engineering Site located at 707 Ford Street**

Commissioner Schiesl moved, Commissioner Karner seconded the motion to approve the proposed Certified Survey Map as presented contingent upon an affidavit of correction removing the 30-ft front yard setback is approved by the Village Board prior to recording. Motion carried by unanimous vote.

### **Site & Architectural Review – Crane Engineering Building Expansion located at 707 Ford Street**

Commissioner Karner moved, Commissioner Schnieder seconded the motion to approve the site plan and architectural components of the Crane Engineering building expansion, contingent upon the following: 1) A Certified Survey Map combining all four properties is recorded prior to the issuance of permit. 2) The 30-foot front yard setback as noted on the original plat and as documented in the covenants is released or reduced to allow the proposed development as presented. 3) Stormwater management plan shall be reviewed, and a stormwater management agreement is recorded for the property. Motion carried by unanimous vote.

**Affidavit of Correction – Kimberly Industrial Park Plat – Removal of the 30 Foot Front Yard Setback**

Commissioner Schneider moved, Commissioner Karner seconded the motion to approve the affidavit of correction removing the 30-foot front yard setback restriction from the Kimberly Industrial Park Plat as presented. Motion carried by unanimous vote.

**Site & Architectural Review – Clubhouse remodel for proposed wine bar and social space located at 345 N Main Street**

Commissioner Karner moved, Commissioner Schneider seconded the motion to approve the site plan and architectural components of the redevelopment of the Clubhouse development at 345 N. Main Street as presented, contingent upon the following: 1) Liquor License is approved by the Village Board. 2) Dumpster/refuse shall be located off Clubhouse Ln and shall be fully screened from off-site view, subject to future consideration. 3) Addl. landscaping subject to staff approval shall be installed along residential property line to the east. 4) Sidewalk along full southern portion of property along Clubhouse Ln shall be installed and meet code w/in 6 months of occupancy of the 1<sup>st</sup> floor. 5) Any major site modifications including a future wine shack shall require further review. Motion carried by unanimous vote.

**Adjournment**

Commissioner Karner moved, Commissioner Schiesl seconded the motion to adjourn. Motion carried by unanimous vote at 5:23pm.

---

Erica Ziegert  
Deputy Clerk  
Dated 11/20/2024



## Village of Kimberly Request for Plan Commission Recommendation

**ITEM DESCRIPTION:** Site & Architectural Review – Rebman Plumbing located at 700 W Kimberly Avenue

**REPORT PREPARED BY:** Sam Schroeder, Community Development Director

**REPORT DATE:** December 17, 2024

**EXPLANATION:** Robert E. Lee & Associates on behalf of Rebman Plumbing has submitted a site review application for a proposed building addition to the existing Rebman Plumbing facility at 700 W Kimberly Avenue. The building addition would include a large garage for Rebman Plumbing and three contractor shop/office spaces. The Plan Commission did approve a conditional use for the proposed development on May 6, 2024. The conditional use permit was not brought forward, however, to the Village Board for review. If the Site and Architectural Review is approved by the Plan Commission, the Village Board will review both the specific development details and the conditional use permit at a subsequent meeting.

The site being the former carwash property totals 0.44 acres, zoned B-1, general business district.

Attached to this staff report includes:

1. Site Plan Review Application
2. Project Description
3. Plan Drawings
4. Engineer Review Comments

**Scope of Construction – Reference Project Description and Plans for additional insight.**

1. 5,408 SF building addition to the western portion of the building primarily over the former carwash area
2. Addition includes three contractor shops/offices each totaling 1,022sf with the remaining 2,080sf being part of Rebman Plumbing operations. Each unit will have an overhead garage door facing Kimberly Avenue, a service door with an overhead canopy, a rear service door, an interior bathroom, and an interior office.
3. The primary exterior façade material will be vinyl siding with decorative brick along the southern and eastern portions of the addition tying it with the existing development.
4. The applicant has proposed a fence along the eastern property line to match the existing rear fence as well as providing a small landscape area between the parking area and the Kimberly Avenue right of way on staff's request.
5. The only lighting proposed for the site will be minor recessed lighting within the soffit over the front façade.
6. The site currently is impervious and is part of a regional stormwater basin so no on-site treatment is proposed or needed.

The staff zoning review identified the proposed project complies with applicable ordinances. Staff has completed a review of the site for compliance with the Kimberly Municipal Code whereas the proposed project substantially meets code and notes the following:



1. **Grading and Drainage.** The Village has received complaints and issues with stormwater runoff affecting properties to the north and east. The property to the east, Fringe at 650 W Kimberly Ave, has modified their yard which has minimized impacts. Staff and the Village Engineer are proposing roof drains be added to a private stormwater system to bring all of the roof drainage towards the stormwater main within W Kimberly Avenue.
2. **Lighting.** A photometric plan was not submitted. The proposed recessed lighting should be minimal with minimal impacts upon adjoining properties. The Village would reserve the right to review the lighting to ensure code is being met following the installation.
3. **Outside Storage.** The development is designed that storage of materials, equipment and work vehicles would be stored within the enclosed building and out of sight of the general public. Staff is recommending exterior storage be limited and noted as part of a condition of approval.
4. **Site development.** The applicant has implemented many of staff's preliminary recommendations including adding brick to the street facing façade, adding canopy's above the service door to soften the façade, identifying proposed lighting, adding fencing along the eastern property line north of the building to provide screening, adding rear service doors, adding office spaces to align with the business zoning classification, and adding a landscape strip along the W Kimberly Avenue right-of-way. The landscaping plan calls for 16 green mountain boxwoods. Staff is proposing some diversity and trees be planted.
5. **Engineering Comments.** Further recommendations and reviews are attached to this memo.
6. **Building Inspections and Approvals.** Building plan review and inspections will be completed by the State of Wisconsin, unless delegation authority is completed by the Village of Kimberly.

**RECOMMENDED ACTION:** Staff recommends approval of the site plan and architectural components of the Rebman Plumbing expansion as presented, contingent upon the following:

1. Roof drains into a private storm system shall be installed to reduce the runoff off-site.
2. Six of the proposed shrubs shall be replaced with two deciduous trees as well as all landscaping shall meet the vision control requirements.
3. The proposed brick shall complement the existing building and any changes to the existing building shall complement the proposed addition and shall require staff approval.
4. All storage of materials shall be held within the enclosed buildings.
5. All storage of work vehicles, trailers and other equipment shall be stored within the enclosed building or the rear of the building outside of the general public view.





VILLAGE OF KIMBERLY  
Site Review Application

Submit to:

Planning & Zoning  
515 W. Kimberly Ave.  
Kimberly WI 54136  
920-788-7500

Applicant Information

Petitioner: ROBERT E LEE & ASSOC. - ARON BREITENFELDT Date: 12/3/24  
Petitioner Address: 1250 CENTENNIAL CIRCLE BLVD City: HOBART State: WI Zip: 54155  
Telephone #: (920) 660-9641 Fax: ( ) email: arobreit@leeassoc.com  
Status of Petitioner (please check one): ☐ Owner ☒ Representative ☐ Tenant ☐ Prospective Buyer  
Petitioner's Signature (required): Aron Breitenfeldt

Owner Information

Owner(s): Brian Rebman Date: \_\_\_\_\_  
Owner(s) Address: W5711 Mase Ct City: Appleton State: WI Zip: 54915  
Telephone #: (920) 257-6202 Fax: ( ) email: rebmanplumbing@yahoo.com  
Ownership Status (please check one): ☒ Individual ☐ Trust ☐ Partnership ☐ Corporation

**Property Owner Consent (required):**

By signature hereon, I/We acknowledge that Village officials and/or employees may, in the performance of their functions and duties, enter upon the property to inspect or gather other information necessary to process this application. I also understand that all meeting dates are tentative and may be postponed by the Village for incomplete submissions or other administrative reasons.

Property Owner's Signature: Brian Rebman Date: 12/4/24

Site Information

Address/Location of Proposed Project: 700 W KIMBERLY AVE Zoning: B-1  
Proposed Project or Use: CONTRACTOR OFFICE/SHOP  
Current or last Use of Property: AN WASH  
Land Uses Surrounding this Address: North: RESIDENTIAL  
South: RESIDENTIAL  
East: COMMERCIAL  
West: COMMERCIAL

- It is recommended that the applicant meet with Village Department staff prior to submittal to review the project and submitted materials.
- Application Fees must be submitted with the application.



December 3, 2024

Mr. Sam Schroeder, Community Development Director  
VILLAGE OF KIMBERLY  
515 W Kimberly Ave  
Kimberly, WI 54136

RE: Rebman Plumbing Site Development – Site Plan Application

Dear Mr. Schroeder:

On behalf of Rebman Plumbing, Robert E. Lee & Associates, Inc. is submitting the attached site plan review application documents. Rebman Plumbing is proposing to construct a new 5,408 square foot contractor shop/office building at 100 W Kimberly Ave. The existing building on site will also remain as part of the project and a 5' wide landscape strip will be added along the existing public sidewalk. Effects on the adjoining properties will be minimal as the site will generate insignificant noise, glare, odor, fumes, vibration, etc. Fencing will be installed in the NE corner of the site to fully enclose the rear paved area on site. Traffic generated by this site will be significantly less than when a car wash was on site.

Please review at your earliest convenience and let us know if you have any questions or comments.

Sincerely,

ROBERT E. LEE & ASSOCIATES, INC.



Aaron Breitenfeldt, PE  
Sr. Project Manager


AJB

ENC.



GARAGE AREA	5408 SF
<b><u>TOTAL AREA</u></b>	<b><u>5408 SF</u></b>

**BID PLAN - FOR BIDDING PURPOSES ONLY**

 <b>DrexelTeam.com</b>		<b>KIMBERLY SHOP</b>		J BUCK CONSTRUCTION		PROJ. ADDRESS TBD	
DESIGNER: M/WESTERN	SCALE: 1/4" = 1'-0"	SHEET NO.: <b>A1</b>	COPYRIGHT © 2024 ALL RIGHTS RESERVED. THIS DRAWING IS THE PROPERTY OF M/WESTERN. IT IS TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. NO PART OF THIS DRAWING IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF M/WESTERN. ANY VIOLATION OF THESE TERMS SHALL BE CONSIDERED A BREACH OF CONTRACT AND SUBJECT TO THE FULL AND EXCLUSIVE JURISDICTION OF THE COURTS OF THE STATE OF CALIFORNIA.				
PROJECT NO.: G24-145-W			BID PLAN REV/ISSUES 02/02/2024 MRW 11/20/2024 MRW				



REAR ELEVATION

1/4" = 1'-0"

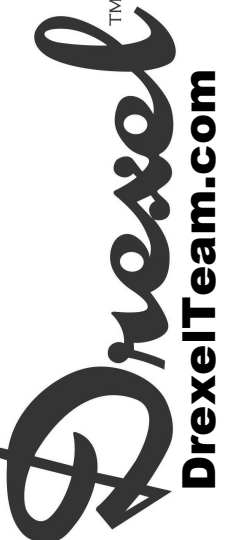


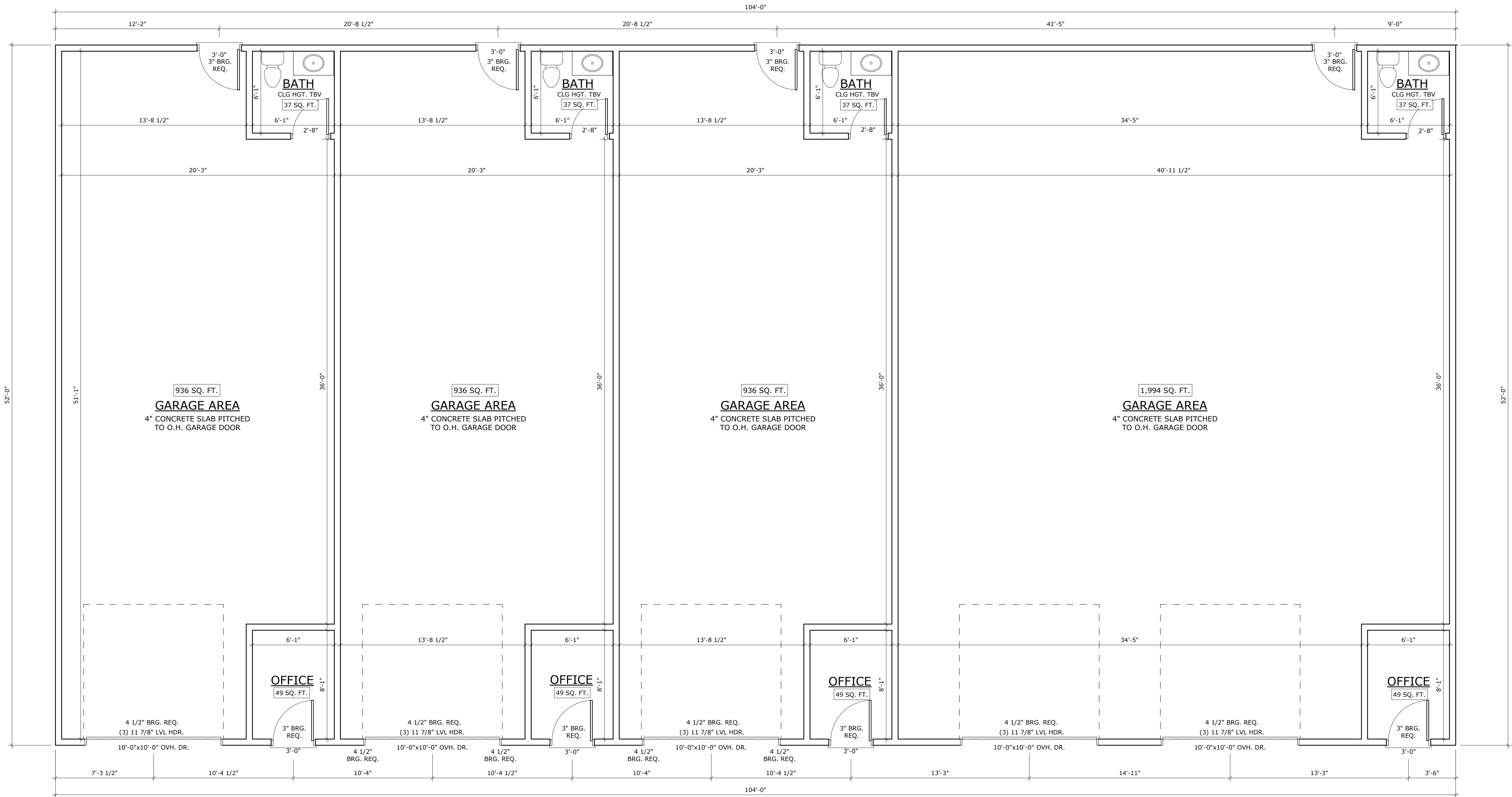
RIGHT ELEVATION

1/4" = 1'-0"

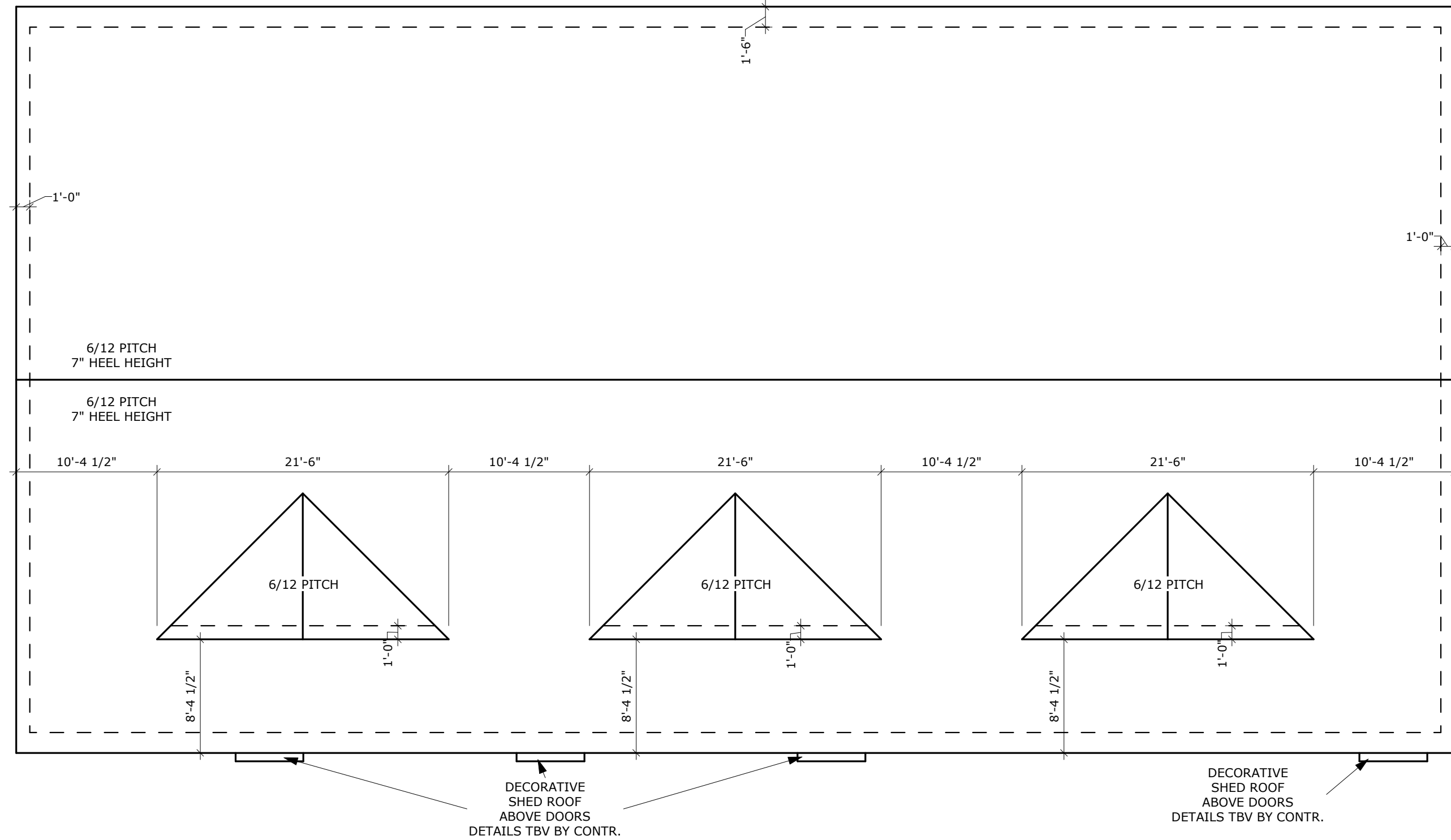
GARAGE AREA 5408 SF  
**TOTAL AREA 5408 SF**

BID PLAN - FOR BIDDING PURPOSES ONLY

DESIGNER M. WESTEN	KIMBERLY SHOP		PROJ. ADDRESS TBD
SCALE 1/4" = 1'-0"			J BUCK CONSTRUCTION
SHEET NO. <b>A2</b>			
PROJECT NO. G24-145-W	COPYRIGHT © 2024 COPYRIGHT TO THESE DRAWINGS IS RESERVED BY DREXEL TEAM. NO PART OF THESE DRAWINGS MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT PERMISSION IN WRITING FROM DREXEL TEAM. ALL RIGHTS ARE RESERVED. ANY VIOLATION OF THESE RIGHTS SHALL BE PROSECUTED TO THE FULL EXTENT OF THE LAW. ALL INFORMATION IS PROVIDED AS IS. DREXEL TEAM MAKES NO WARRANTY, REPRESENTATION OR GUARANTEE, EXPRESS OR IMPLIED, REGARDING THE ACCURACY, COMPLETENESS, OR SUITABILITY OF THESE DRAWINGS FOR ANY PARTICULAR PURPOSE. ANY USER OF THESE DRAWINGS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATORY APPROVALS. DREXEL TEAM SHALL NOT BE RESPONSIBLE FOR ANY DELAYS OR DAMAGES RESULTING FROM THE USE OF THESE DRAWINGS.		
	BID PLAN REVISIONS	02/02/2024	MRW
		11/20/2024	MRW



**FIRST FLOOR PLAN**  
1/4" = 1'-0" WALL HEIGHT: 12'-0"



**ROOF PLAN**  
1/8" = 1'-0"

**GARAGE PLAN SPECIFICATIONS**

**ROOF SYSTEMS**

- WOOD TRUSSES @24" O.C. DESIGNED FOR: ZONE 2
- STD. LOADING (PER SQ. FT.) 30# TCLL, 10# TCDL, 10# BCDL
- DEFLECTION: LL=L/240, TL=L/180
- DURATION OF LOAD: 1.15%

**HEADERS**

- STANDARD HEADER ALL HEADERS NOT LABELED AS LVL TO BE MIN. (2) 2X10'S HEADER FOR ON-SITE (UNLESS VALUE ENGINEERED FOR OFF-SITE CONSTRUCTION)
- TOP OF WINDOW R.O.S. FIRST FLOOR @ 6'-11 3/8" ABOVE SUBFLOOR (UNLESS NOTED/SHOWN OTHERWISE)
- MINIMUM OF (2) SHOULDER STUDS AT EACH END FOR ALL OPENINGS 6'-0" AND LARGER

**GENERAL INFORMATION**

- ALL DIMENSIONS ARE TO THE ROUGH STUD (UNLESS NOTED OTHERWISE)
- 2X6 WALLS=5 1/2", 2X4 WALLS =3 1/2"
- FOUNDATION WALL THICKNESS FOR REPRESENTATION ONLY- MASON/CONTRACTOR TO VERIFY (WHEN APPLICABLE)
- FINAL FOOTING SIZE AND DEPTH TO BE DETERMINED BY CONTRACTOR (WHEN APPLICABLE)
- MASON TO LOCATE PILASTERS AND SIZE FOOTINGS PER CODE AND SOIL CONDITIONS (WHEN APPLICABLE)
- GENERAL CONTRACTOR TO LOCATE THE FOLLOWING (WHEN APPLICABLE) FLOOR DRAINS, ELECTRIC SERVICES,ETC.
- ALL DOOR HEIGHTS ARE 6'-8" UNLESS NOTED/SHOWN OTHERWISE

GARAGE AREA 5408 SF  
**TOTAL AREA 5408 SF**

**BID PLAN - FOR BIDDING PURPOSES ONLY**

DESIGNER: M. WESTEEN SCALE: As indicated SHEET NO: <b>A3</b> PROJECT NO: G24-145-W	J BUCK CONSTRUCTION	KIMBERLY SHOP	PROJ. ADDRESS TBD	COPYRIGHT © 2024 COPYRIGHTED DRAWING. ALL RIGHTS RESERVED. NO PART OF THIS DOCUMENT MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT PERMISSION IN WRITING FROM THE DESIGNER. THE DESIGNER ASSUMES NO LIABILITY FOR THE ACCURACY OR COMPLETENESS OF THE INFORMATION PROVIDED HEREIN. THE USER OF THIS DOCUMENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING THE ACCURACY OF THE INFORMATION PROVIDED HEREIN. THE DESIGNER'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED HEREIN. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR ANY CONSEQUENCES ARISING FROM THE USE OF THIS DOCUMENT FOR ANY PURPOSE OTHER THAN THAT FOR WHICH IT WAS PREPARED.	BID PLAN REVISIONS	02/02/2024 MRW 11/20/2024 MRW





**ATTENTION!**  
DOWNLOADED PLANS ARE NOT SCALEABLE, NEITHER THE  
OWNER OR THE ENGINEER SHALL BE HELD RESPONSIBLE  
FOR THE SCALE OR PRINT QUALITY OF DOWNLOADED PLANS.  
ONLY PRINTED PLANS FROM BLUE PRINT SERVICE CO., INC.  
SHALL BE CONSIDERED TO BE SCALEABLE PLANS.

NOTE:  
ALL EROSION CONTROL MEASURES SHALL  
BE IN PLACE PRIOR TO CONSTRUCTION  
AND SHALL CONFORM TO THE WISCONSIN  
DEPARTMENT OF NATURAL RESOURCES  
CONSTRUCTION SITE EROSION CONTROL  
AND TECHNICAL STANDARDS.

SHT. NO.	DESCRIPTION
C	LOCATION MAPS AND INDEX TO DRAWINGS
1	GENERAL NOTES
2	EXISTING SITE CONDITIONS
3	SITE PLAN
4	UTILITY PLAN
5	GRADING AND EROSION CONTROL PLAN
6	MISCELLANEOUS DETAILS
7	EROSION CONTROL - INLET PROTECTION TYPES A, B, C AND D
8	EROSION CONTROL - INLET PROTECTION TYPE D-HR AND TYPE D-M
9	EROSION CONTROL - TRACKOUT CONTROL PRACTICES



LOCATION MAP

[illegible]



OWNER INFORMATION:

REBMAN PLUMBING  
700 W KIMBERLY AVE  
KIMBERLY, WI 54136  
  
(920) 257-6202

CONTACT: BRIAN REBMAN

UTILITY INFORMATION:

UTILITIES PRESENT:  
VILLAGE OF KIMBERLY DEPARTMENT OF PUBLIC WORKS, WE ENERGIES, AMERICAN TRANSMISSION COMPANY,  
AT& T, TIME WARNER AND TDS.

UTILITIES SHOWN ON THIS MAP ARE BASED ON LOCATES FROM:

DIGGER'S HOTLINE TICKETS NUMBERED 20243216884 AND 20243216692, BOTH DATED 08/18/2024, VISIBLE  
OBSERVATION (09/17/2024) AND RECORD UTILITY PLAN DOCUMENTS. UTILITY LINE LOCATIONS SHOULD BE  
VERIFIED PRIOR TO ANY DIGGING. THIS SITE MAY CONTAIN BURIED UTILITIES NOT IDENTIFIED ON THIS MAP.

DIGGERS HOTLINE = 1-800-242-8511

WATER/SANITARY/STORM SEWER:  
DEPARTMENT OF PUBLIC WORKS  
VILLAGE OF KIMBERLY  
405 WALLACE ST  
COMBINED LOCKS, WI 54113  
  
(920) 788-7744

GAS & ELECTRIC:  
WE ENERGIES  
800 S. LYNNDAL DR.  
APPLETON, WI 54914  
  
(800) 242-9137

ELECTRIC:  
AMERICAN TRANSMISSION CO.  
801 O'KEEFE RD.  
DE PERE, WI 54115  
  
(920) 338-6582

TELECOMMUNICATIONS:  
AT & T / SBC  
221 W. WASHINGTON ST.  
APPLETON, WI 54911  
  
(920) 221-5969

TELECOMMUNICATIONS:  
SPECTRUM / TIME WARNER / CHARTER  
12405 POWERSCOURT DR.  
ST. LOUIS MO 63131  
  
(262) 446-9821

TELECOMMUNICATIONS:  
TDS METROCOM / TDS TELECOM  
W6174 AEROTECH DR. - SUITE A  
APPLETON, WI 54914  
  
(920) 882-3342

DIGGERS

HOTLINE

Dial 811

or (800) 242-8511

www.DiggersHotline.com

TO OBTAIN LOCATION OF PARTICIPANTS  
UNDERGROUND FACILITIES BEFORE YOU  
DIG IN WISCONSIN  
  
WIS. STATUTE 182.0175 (1974)  
REQUIRES MIN. OF 3 WORK DAYS  
NOTICE BEFORE YOU EXCAVATE.

- FIRE HYDRANT

WATER VALVE

CURB STOP

WATER MANHOLE

REDUCER/INCREASER

SANITARY MANHOLE

AIR RELIEF MANHOLE

STORM MANHOLE

STORM INLET (NOT IN CURB AND GUTTER)

STORM INLET (IN CURB AND GUTTER)

STORM INLET MANHOLE

TANK COVER

SOIL BORING

POST

IRON PIPE/ROD

PK NAIL

- POWER POLE

POWER POLE W/GUY WIRE

LIGHT POLE

TRAFFIC SIGNAL POLE

ELECTRIC MANHOLE

ELECTRIC METER

TELEPHONE MANHOLE

TELEPHONE PEDESTAL

CABLE TV MANHOLE

CABLE TV PEDESTAL

GAS VALVE

GAS METER

MAILBOX

SIGN

BOLLARD

- DECIDUOUS TREE

CONIFEROUS TREE

BUSH

RIP RAP

CULVERT

WETLANDS

HANDICAP PARKING

TO BE REMOVED

TO BE DEMOLISHED

- EDGE OF ASPHALT

EDGE OF GRAVEL

CURB & GUTTER

TREE/BRUSH LINE

CONTOUR LINE

RETAINING WALL

GUARD RAIL

FENCE

- 8SS

8SS

SANITARY SEWER (SIZE NOTED)

4FM

4FM

FORCEMAIN (SIZE NOTED)

10ST

10ST

STORM SEWER (SIZE NOTED)

6W

6W

6W

WATERMAIN (SIZE NOTED)

G

G

GAS LINE

OT

OT

OVERHEAD TELEPHONE LINE

T

T

UNDERGROUND TELEPHONE LINE

OE

OE

OVERHEAD ELECTRIC LINE

E

E

UNDERGROUND ELECTRIC LINE

OTV

OTV

OVERHEAD CABLE TV LINE

TV

TV

CABLE TV LINE

F0

F0

FIBER OPTIC LINE

R/W LINE

PROPERTY LINE

EASEMENT LINE

BUILDING SETBACK LINE

SECTION LINE

- GR.

GRAVEL

BIT.

BITUMINOUS

ASPH

ASPHALT

CONC

CONCRETE

SW

SIDEWALK

BLDG

BUILDING

HSE

HOUSE

PED

PEDESTAL

PP

POWER POLE

LP

LIGHT POLE

BM

BENCH MARK

WM

WATERMAIN

HYD.

HYDRANT

WV

WATER VALVE

SAN

SANITARY SEWER

MH

MANHOLE

ST

STORM SEWER

CB

CATCH BASIN

TELE

TELEPHONE

ELEC

ELECTRIC

TV

TELEVISION

STA.

STATION

VPC

VERTICAL POINT OF CURVATURE

VPI

VERTICAL POINT OF INTERSECTION

VPT

VERTICAL POINT OF TANGENCY

PC

POINT OF CURVATURE

PI

POINT OF INTERSECTION

PT

POINT OF TANGENCY

R

RADIUS

EX

EXISTING

PR

PROPOSED

EOR

END OF RADIUS

BOC

BACK OF CURB

B-B

BACK TO BACK (OF CURB)

F-F

FACE TO FACE (OF CURB)

R/W

RIGHT OF WAY

T/C

TOP OF CURB

F/L

FLOW LINE

C/L

CENTERLINE

R/L

REFERENCE LINE

INV

INVERT

CMP

CORRUGATED METAL PIPE

RCP

REINFORCED CONCRETE PIPE

CULV


CULVERT









NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN ULP	BUILDING EXPANSION FOR REBMAN PLUMBING VILLAGE OF KIMBERLY OUTAGAMIE COUNTY, WISCONSIN		DATE 09/20/24	 <p>1250 Centennial Centre Blvd   Hobart, WI   920-662-9641   releinc.com</p>	SHEET NO.  4
								CHECKED			FILE 653809.D		
								DESIGNED			JOB NO. 653809		
								& US					









INLET PROTECTION DEVICES SHALL BE IN ACCORDANCE WITH  
WDNR TECHNICAL STANDARD 1060, STORM DRAIN INLET  
PROTECTION FOR CONSTRUCTION SITES.

WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.

WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED IN THE FABRIC DOES NOT FALL INTO THE STRUCTURE. MATERIAL THAT HAS FALLEN INTO THE INLET SHALL BE IMMEDIATELY REMOVED.

TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.

DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30" MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.

THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3". WHERE NECESSARY, CINCH THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE, THE TIES SHALL BE PLACED AT THE MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.

1. TAPER BOTTOM OF BAG TO MAINTAIN THREE INCHES OF CLEARANCE BETWEEN THE BAG AND THE STRUCTURE, MEASURED FROM THE BOTTOM OF THE OVERFLOW OPENINGS TO THE STRUCTURE WALL.
2. GEOTEXTILE FABRIC TYPE FF FOR FLAPS, TOP AND BOTTOM OF THE OUTSIDE OF FILTER BAG. FRONT, BACK AND BOTTOM OF FILTER BAG BEING ONE PIECE.
3. FRONT LIFTING FLAP IS TO BE USED WHEN REMOVING AND MAINTAINING FILTER BAG.
4. SIDE FLAPS SHALL BE A MAXIMUM OF TWO INCHES LONG. FOLD THE FABRIC OVER AND REINFORCE WITH MULTIPLE STITCHES.
5. FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2" X 4". THE REBAR, STEEL PIPE, OR WOOD SHALL BE INSTALLED IN THE REAR FLAP AND SHALL NOT BLOCK THE TOP HALF OF THE CURB FACE OPENING.

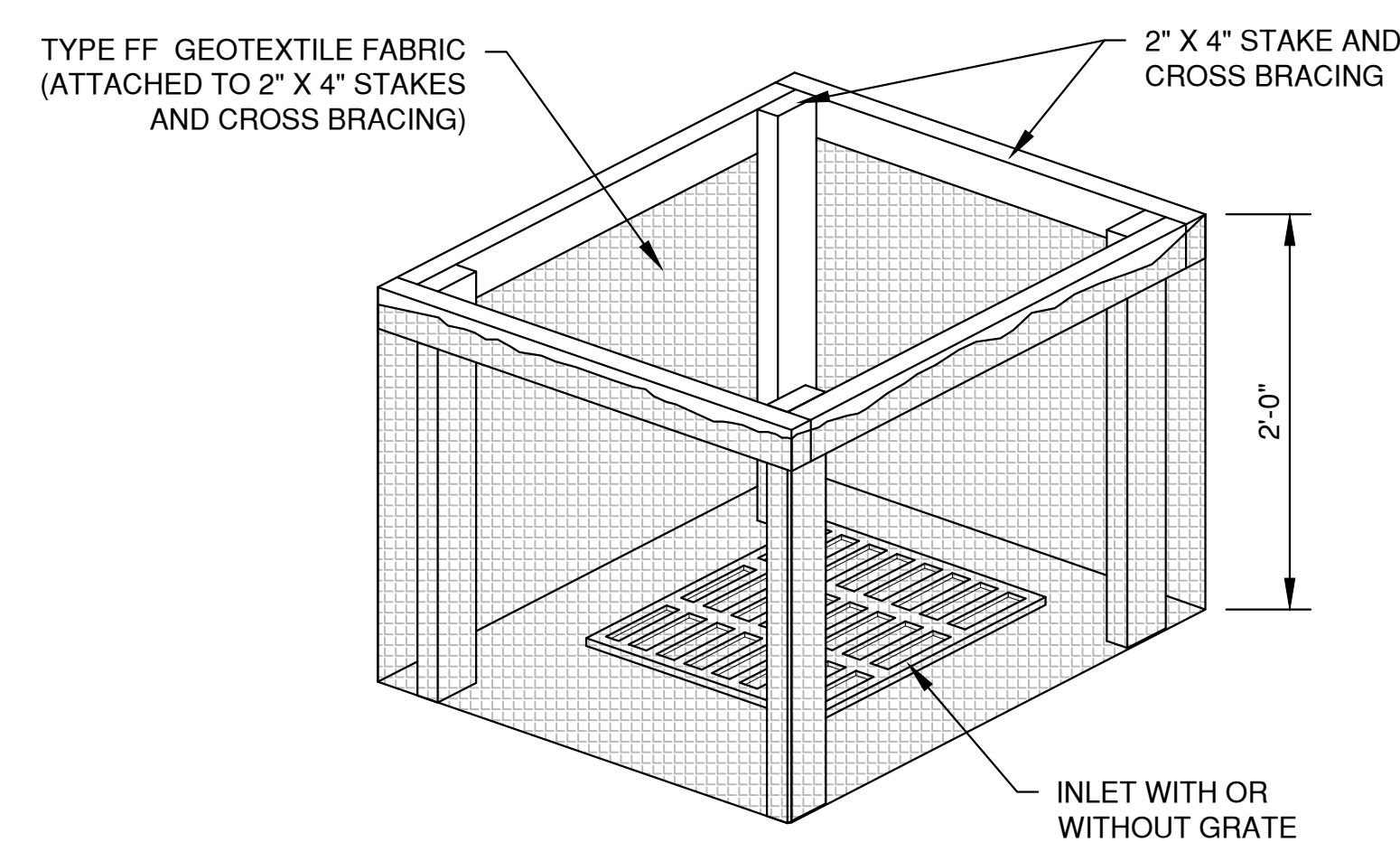


Diagram illustrating the construction layers for a grate installation:

- Top layer: Grate.
- Middle layer: TYPE FF GEOTEXTILE FABRIC (EXTEND FABRIC A MINIMUM OF 10" AROUND GRATE PERIMETER FOR MAINTENANCE OR REMOVAL).
- Bottom layer: Concrete base.


FLAP POCKET  
SEE NOTE 5

WOOD 2" X 4" EXTENDS 8" BEYOND  
GRATE WIDTH ON BOTH SIDES,  
LENGTH VARIES. SECURE TO  
GRATE WITH PLASTIC TIES.

TYPE FF GEOTEXTILE FABRIC  
(EXTEND FABRIC A MINIMUM OF  
10" AROUND GRATE PERIMETER  
FOR MAINTENANCE OR  
REMOVAL)

## INLET PROTECTION, TYPE D

(CAN BE INSTALLED IN INLETS WITH OR WITHOUT CURB BOXES)

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN	BUILDING EXPANSION FOR REBMAN PLUMBING VILLAGE OF KIMBERLY OUTAGAMIE COUNTY, WISCONSIN	EROSION CONTROL INLET PROTECTION TYPES A, B, C AND D	DATE	 1250 Centennial Centre Blvd   Hobart, WI   920-662-9641   releinc.com	SHEET NO.
								CHECKED			09/2024		7
											FILE		
								DESIGNED			65382001 EC		
								& R			JOB NO.		
									65382001				



NOTES:

1.

TAPER BOTTOM OF BAG TO MAINTAIN THREE INCHES OF CLEARANCE BETWEEN THE BAG AND THE STRUCTURE, MEASURED FROM THE BOTTOM OF THE OVERFLOW OPENINGS TO THE STRUCTURE WALL.
2.

GEOTEXTILE FABRIC TYPE FF FOR FLAPS AND TOP HALF OF FILTER BAG. GEOTEXTILE FABRIC TYPE HR FOR BOTTOM HALF OF FILTER BAG. FRONT, BACK AND BOTTOM OF FILTER BAG BEING ONE PIECE.
3.

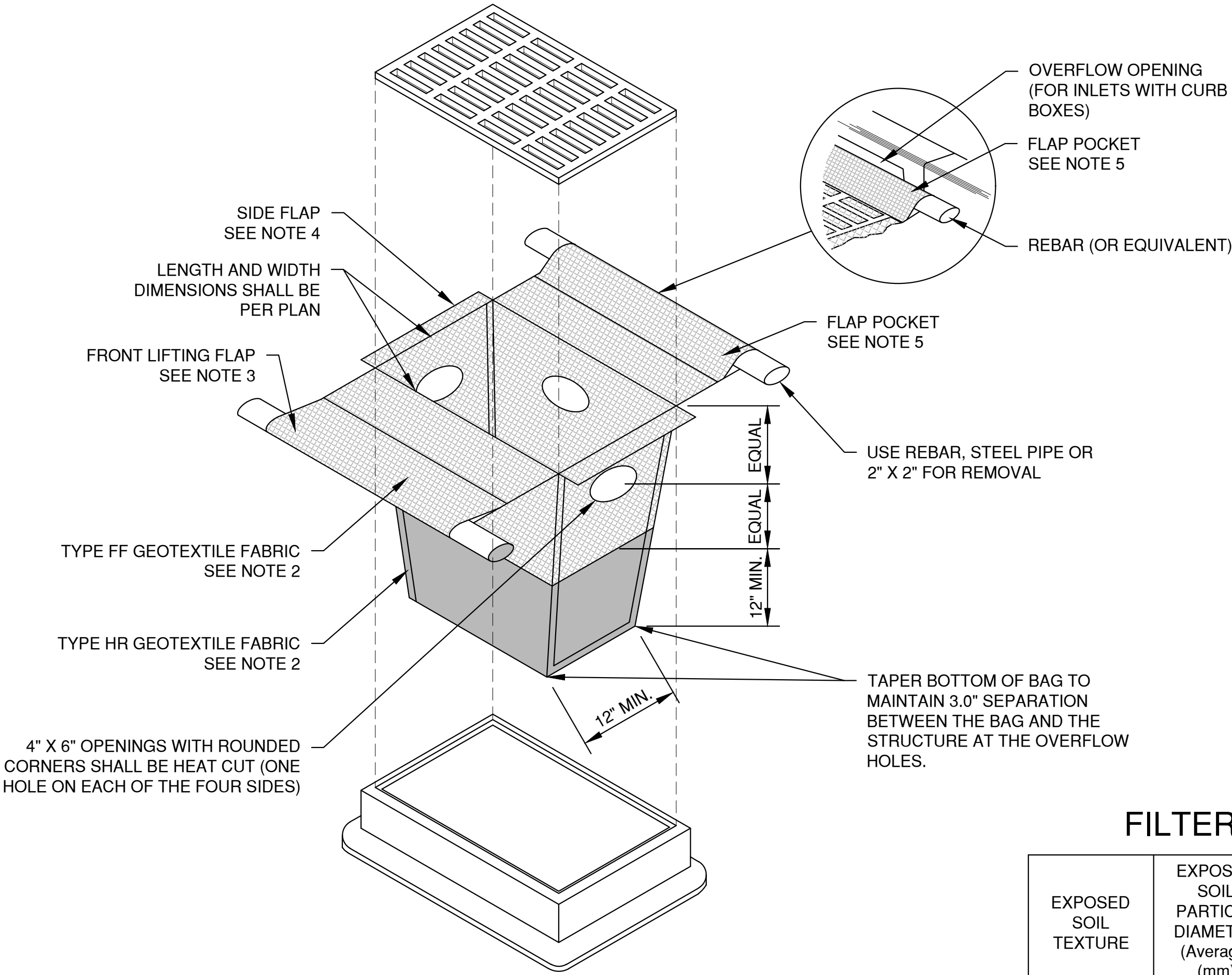
FRONT LIFTING FLAP IS TO BE USED WHEN REMOVING AND MAINTAINING FILTER BAG.
4.

SIDE FLAPS SHALL BE A MAXIMUM OF TWO INCHES LONG. FOLD THE FABRIC OVER AND REINFORCE WITH MULTIPLE STITCHES.
5.

FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2" X 4". THE REBAR, STEEL PIPE, OR WOOD SHALL BE INSTALLED IN THE REAR FLAP AND SHALL NOT BLOCK THE TOP HALF OF THE CURB FACE OPENING.

MAINTENANCE NOTES:

WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED IN THE FABRIC DOES NOT FALL INTO THE STRUCTURE. MATERIAL THAT HAS FALLEN INTO THE INLET SHALL BE IMMEDIATELY REMOVED.



INLET PROTECTION, TYPE D-HR  
(CAN BE INSTALLED IN INLETS WITH OR WITHOUT CURB BOXES)

NOTES:

1.

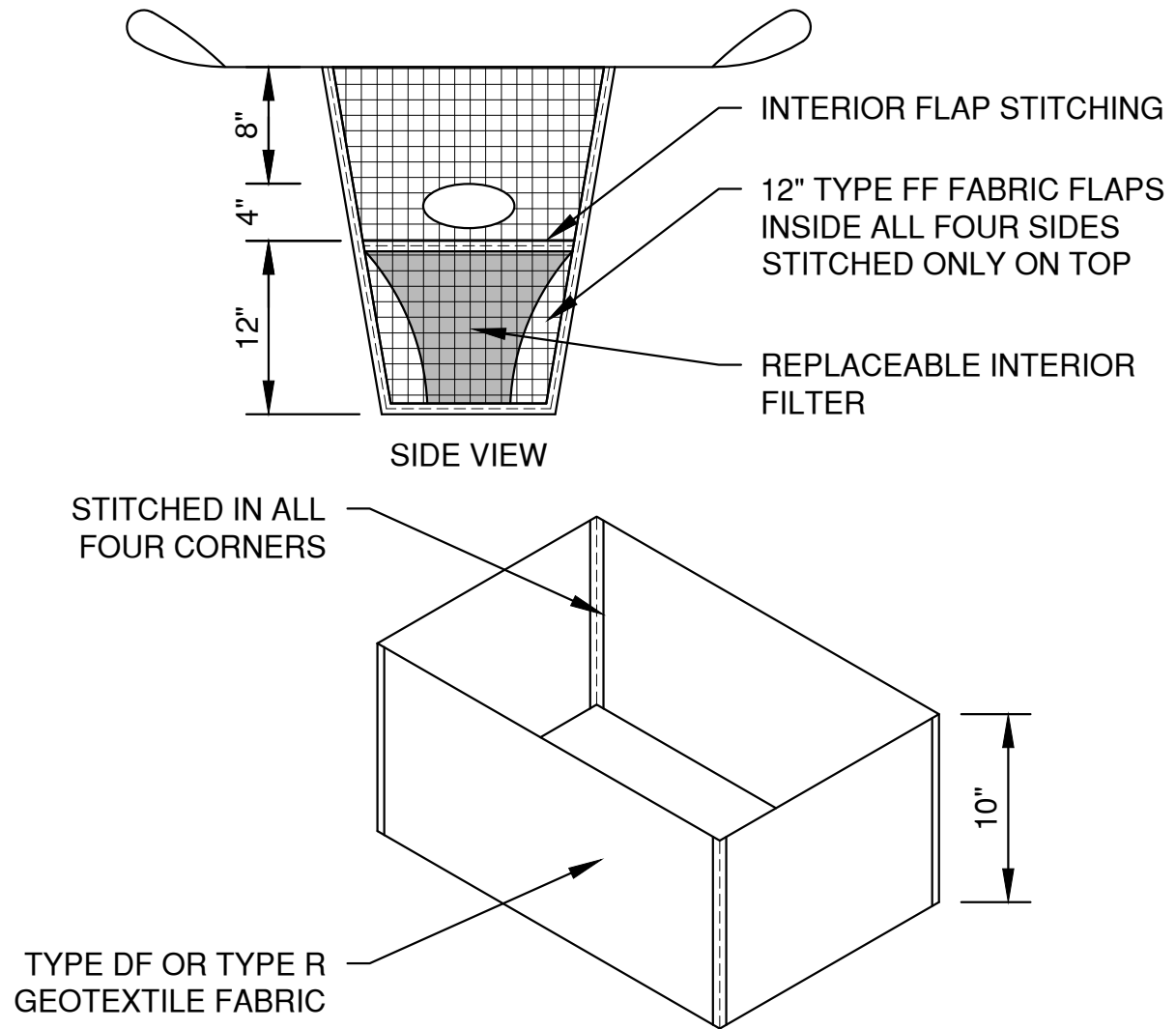
TAPER BOTTOM OF BAG TO MAINTAIN THREE INCHES OF CLEARANCE BETWEEN THE BAG AND THE STRUCTURE, MEASURED FROM THE BOTTOM OF THE OVERFLOW OPENINGS TO THE STRUCTURE WALL.
2.

GEOTEXTILE FABRIC TYPE FF FOR FLAPS, TOP AND BOTTOM OF OUTSIDE OF FILTER BAG. FRONT, BACK AND BOTTOM OF FILTER BAG BEING ONE PIECE.
3.

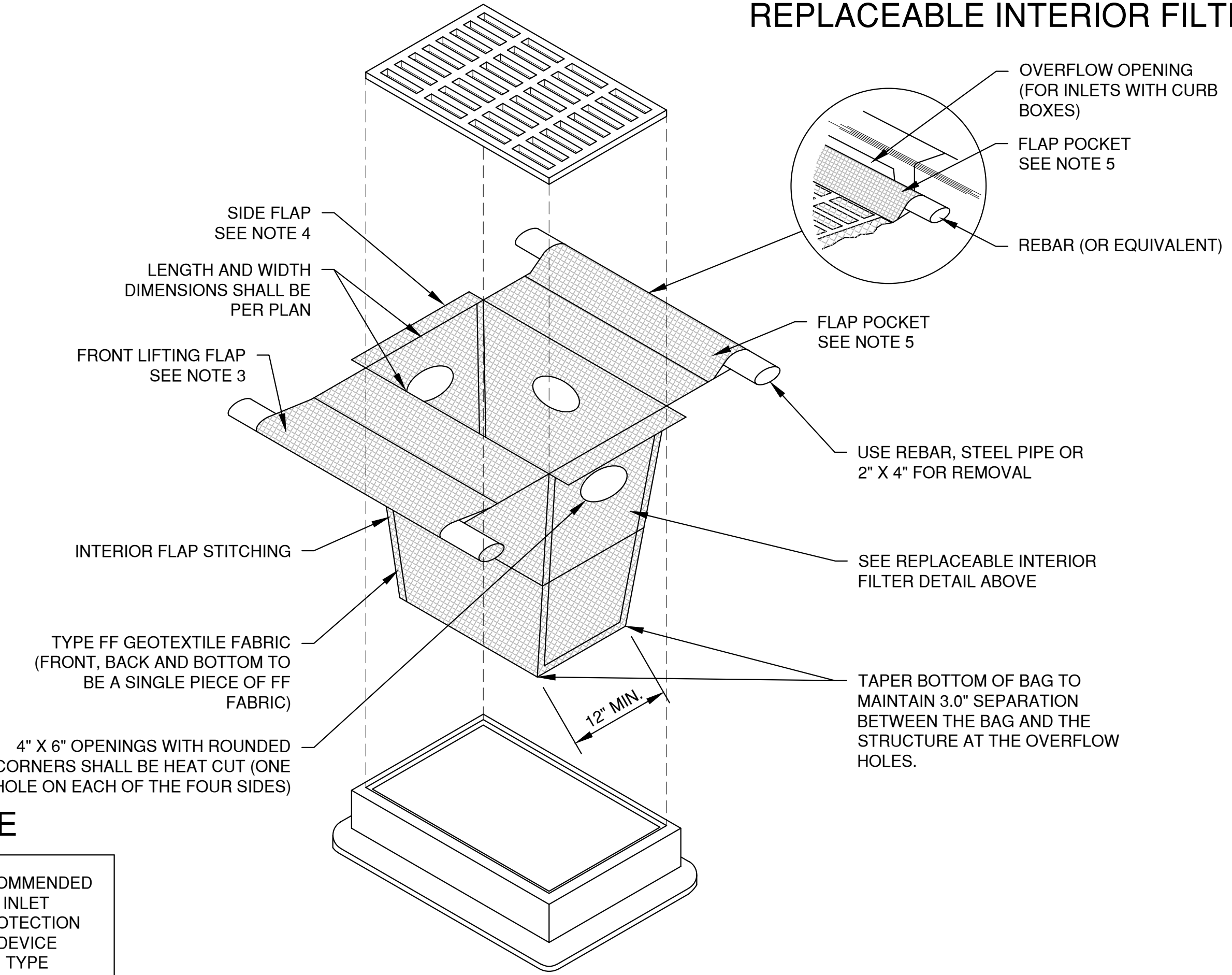
FRONT LIFTING FLAP IS TO BE USED WHEN REMOVING AND MAINTAINING FILTER BAG.
4.

SIDE FLAPS SHALL BE A MAXIMUM OF TWO INCHES LONG. FOLD THE FABRIC OVER AND REINFORCE WITH MULTIPLE STITCHES.
5.

FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2" X 4". THE REBAR, STEEL PIPE, OR WOOD SHALL BE INSTALLED IN THE REAR FLAP AND SHALL NOT BLOCK THE TOP HALF OF THE CURB FACE OPENING.



REPLACEABLE INTERIOR FILTER



INLET PROTECTION, TYPE D-M  
(CAN BE INSTALLED IN INLETS WITH OR WITHOUT CURB BOXES)

FILTER FABRIC TYPE

EXPOSED SOIL TEXTURE	EXPOSED SOIL PARTICLE DIAMETER (Average) (mm)	FILTER FABRIC TYPE*	RECOMMENDED INLET PROTECTION DEVICE TYPE
COARSE (SAND)	≥0.0625	FF	D, D-M
MEDIUM (SILT LOAM)	0.0624 - 0.005	DF	D, D-M
FINE (CLAY)	≤ 0.004	R	D-M
		HR	D-HR

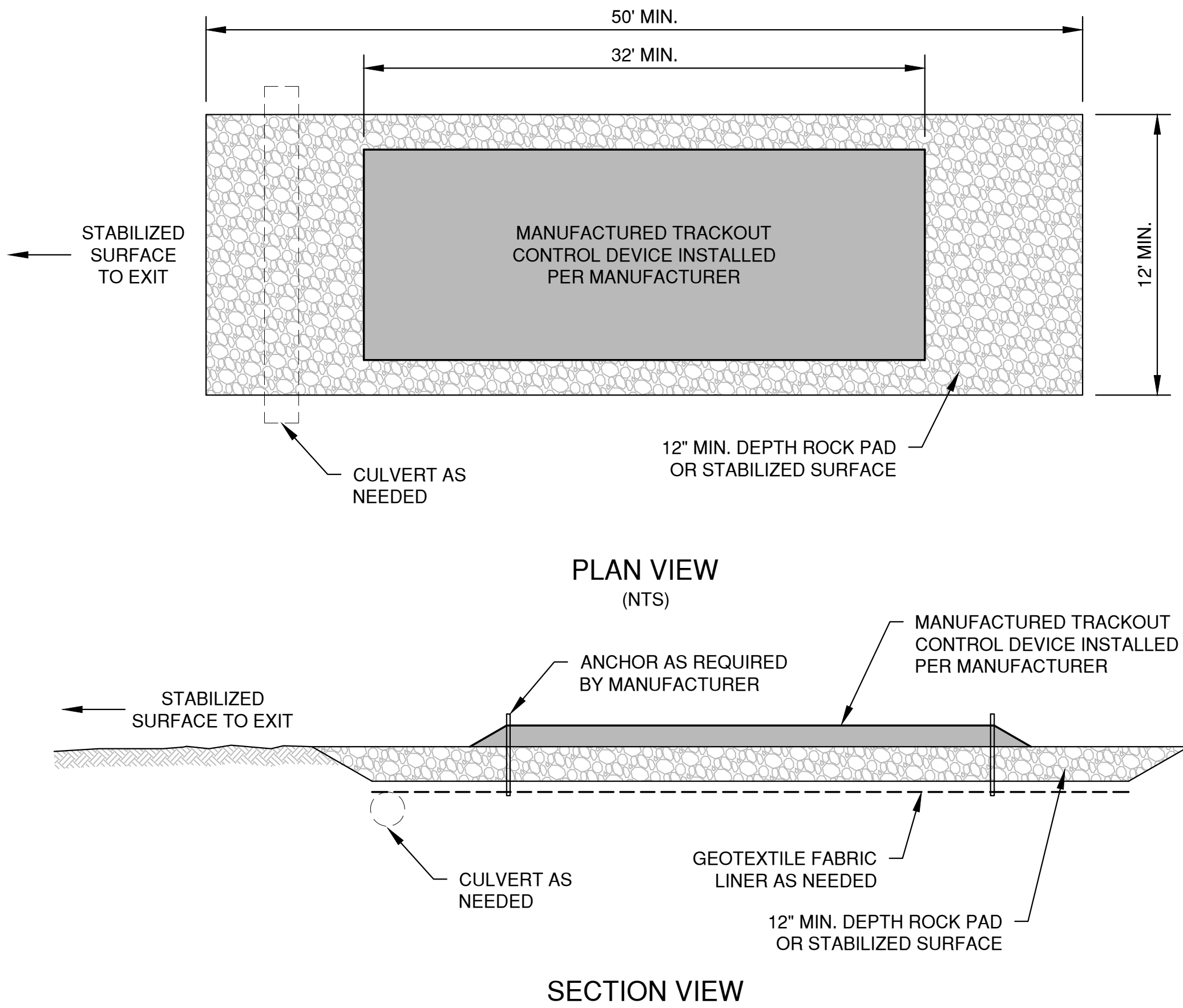
\* DF, R OR HR FILTERS MAY BE USED WHERE FF IS THE REQUIRED MINIMUM STANDARD. R OR HR MAY BE USED WHERE DF IS THE REQUIRED MINIMUM STANDARD.

\*\* FOLLOW DESIGN CRITERIA OF WDNR TECHNICAL STANDARD 1060



File: P:\0000\65360\65360011.dwg (6536001 - EC.dwg)  
Plot Date: Sep 26, 2024 11:22am  
LAYOUT: 5\_TRACKOUT

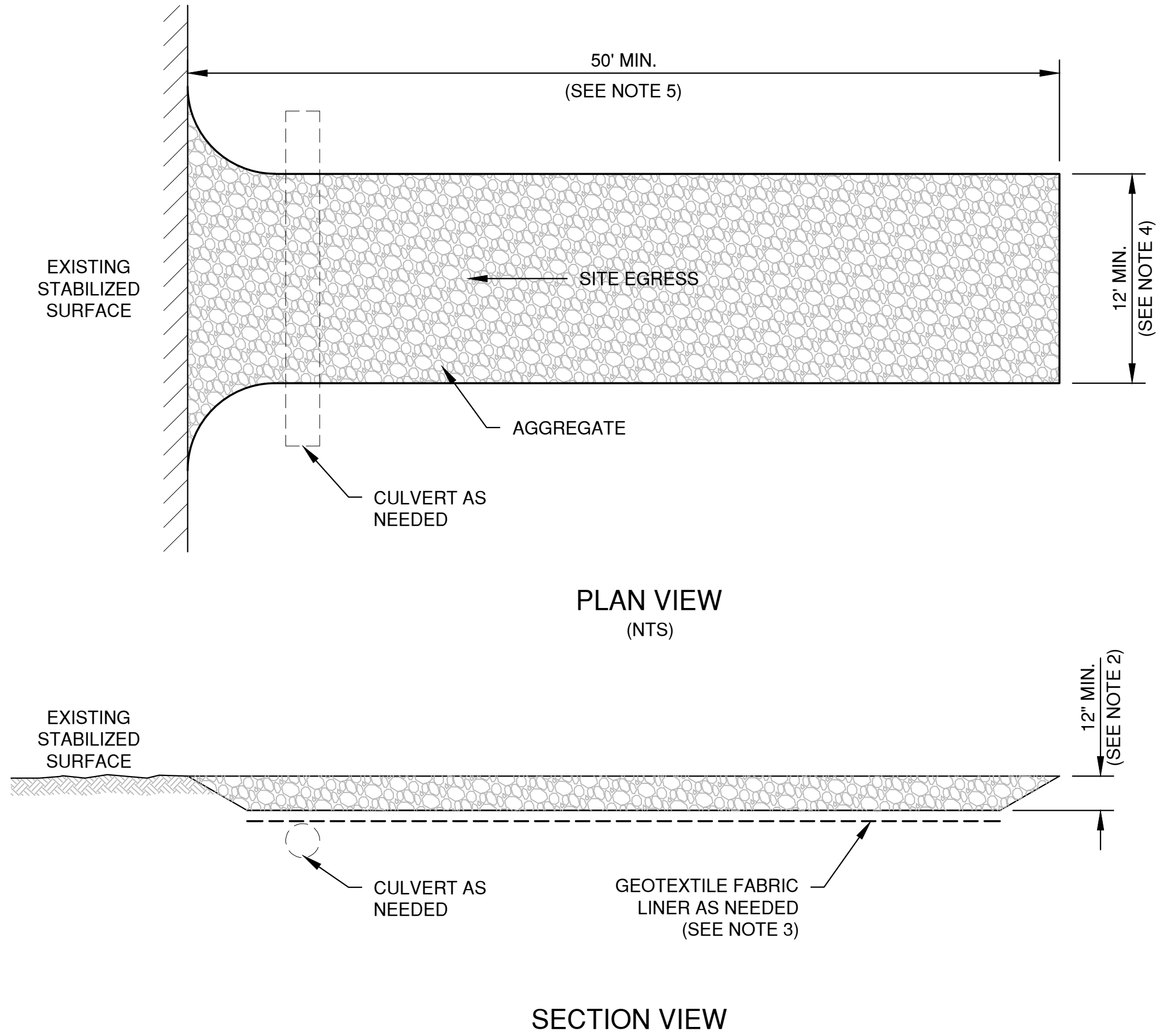
\* TRACKOUT CONTROL TO BE PROVIDED PER DETAILS BELOW AND IN ACCORDANCE WITH WDNr TECHNICAL STANDARD 1057



NOTES:

- THIS DETAIL IS PROVIDED AS AN EXAMPLE. COMPLY WITH MANUFACTURER'S SPECIFICATIONS WHILE ALSO MEETING THE MINIMUM MANUFACTURED TRACKING PAD LENGTH AND WIDTH DESCRIBED IN THIS TECHNICAL STANDARD.
- INSTALL SUCH THAT RUNOFF FLOWS TO AN APPROVED TREATMENT PRACTICE.
- A THINNER STONE LAYER OR OTHER STABLE SURFACE MAY BE ACCEPTABLE SUCH THAT RUTTING IS MINIMIZED AS VEHICLES MOUNT OR DISMOUNT FROM THE MANUFACTURERS TRACKOUT CONTROL DEVICE.
- SELECT FABRIC TYPE BASED ON SOIL CONDITIONS AND VEHICLES LOADING.
- DIRECT ALL EXISTING VEHICLES OVER MANUFACTURED TRACKOUT CONTROL DEVICE. STONE TRACKING PAD INSTALLATION ACROSS REMAINING ACCESS WIDTH IS RECOMMENDED. A 12' MINIMUM CAN BE USED WHEN EXITING TRAFFIC IS RESTRICTED TO A DEDICATED EGRESS LANE.
- IF MINIMUM INSTALLATION LENGTH IS NOT POSSIBLE DUE TO SITE GEOMETRY, INSTALL THE MAXIMUM LENGTH PRACTICABLE AND SUPPLEMENT WITH ADDITIONAL PRACTICES AS NEEDED.
- ACCOMMODATE EXITING VEHICLES IN EXCESS OF MANUFACTURED TRACKOUT CONTROL DEVICE WEIGHT CAPACITY WITH OTHER TREATMENT PRACTICES.

MANUFACTURED TRACKOUT CONTROL DETAIL



NOTES:

- USE HARD, DURABLE, ANGULAR STONE OR RECYCLED CONCRETE, MEETING THE FOLLOWING GRADATION:

SIEVE SIZE:	PERCENT BY WEIGHT PASSING:
3"	100
2 1/2"	90-100
1 1/2"	25-60
3/4"	0-20
3/8"	0-5
- SLOPE THE STONE TRACKING PAD IN A MANNER TO DIRECT RUNOFF TO AN APPROVED TREATMENT PRACTICE.
- SELECT FABRIC TYPE BASED ON SOIL CONDITIONS AND VEHICLES LOADING.
- INSTALL TRACKING PAD ACROSS FULL WIDTH OF THE ACCESS POINT, OR RESTRICT EXISTING TRAFFIC TO A DEDICATED EGRESS LANE AT LEAST 12 FEET WIDE ACROSS THE TOP OF THE PAD.
- IF A 50' PAD LENGTH IS NOT POSSIBLE DUE TO SITE GEOMETRY, INSTALL THE MAXIMUM LENGTH PRACTICABLE AND SUPPLEMENT WITH ADDITIONAL PRACTICES AS NEEDED.

STONE TRACKING PAD DETAIL

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN LLP	BUILDING EXPANSION FOR REBMAN PLUMBING VILLAGE OF KIMBERLY OUTAGAMIE COUNTY, WISCONSIN	EROSION CONTROL TRACKOUT CONTROL PRACTICES	DATE 09/2024	 Robert E. Lee & Associates, Inc. 1250 Centennial Centre Blvd   Hobart, WI   920-662-9641   releecinc.com	SHEET NO. 9
								CHECKED			FILE 6536001 EC		
								DESIGNED AJS			JOB NO. 6536001		

**From:** [Brad Werner](#)  
**To:** [Sam Schroeder](#)  
**Cc:** [Aaron J. Breitenfeldt](#); [Danielle Block](#); [Anna Huber](#)  
**Subject:** Rebman Plumbing 100 W Kimberly Ave Redevelopment Plan Review  
**Date:** Friday, December 6, 2024 11:47:38 AM  
**Attachments:** [image001.gif](#)  
[REBMAN PLUMBING 100 W KIMBERLY AVE.pdf](#)

---

Hi Sam,

Attached is my markup of the plans submitted for this Rebman Plumbing Site Redevelopment Project.

1. No stormwater treatment is required for this site as it currently drains to Village Regional Facilities to comply with Village water quality standards. ERU's should be updated by completing the attached form. I assumed the existing condition is all impervious however the site modifications may provide green space which will reduce the ERU's and billing amount.
2. Site drainage has been a concern in the past in this location. There is no drainage plan for this lot and water currently sheds to neighboring properties and not directly to village owned collection systems. As we discussed with the owner and their engineer, this situation requires rectification. It is recommended that the owner install a collection system for storm water. This would most simply be done by connecting to the back of the inlet just east of their driveway opening on Kimberly Ave to connect to the Village system. A line can be extended into the property to allow for collection of surface water. An inlet can be installed on the east side of the driveway entrance as shown on my markup of their site plan. Either a curb head or small containment Berm or swale could collect water along the east property line and collect the surface water north of the Kimberly Ave sidewalk. In addition, it would be wise to collect roof runoff so that this major source of runoff can be properly directed to the storm sewer. The area north of the building drains onto private property and should also be collected and not discharged onto Bluebird Lane (a private drive lane).
3. The proposed building is higher than the paved area to the west by what appears to be 6 inches. The property to the west has an ingress / egress easement provided by that property owner. How will the transition be handled and does the transition encroach the neighboring property? Has the neighbor seen and plan and are they aware that the plans show a disturbance and grade change on their property?
4. The site plan notes existing storm drains, however, these would have been sanitary drains for the car wash bays. These are required to be completely disconnected from the sanitary line. Our records from the 2015 sanitary and water relay on Kimberly Ave indicate the lateral connection to the existing on private property was to a 6 inch sch 35 PVC line. This line would be material compliant with our ordinance. I would recommend a final televising of this line be done and provided to the Village to demonstrate that the post constructed line is fully intact and that all connections are for the new improvements only.

Let me know if you have any questions or concerns.

Thanks,

Brad

**Brad D. Werner, P.E.**

Vice President / Sr Municipal Engineer



1445 McMahon Dr | Neenah, WI 54956

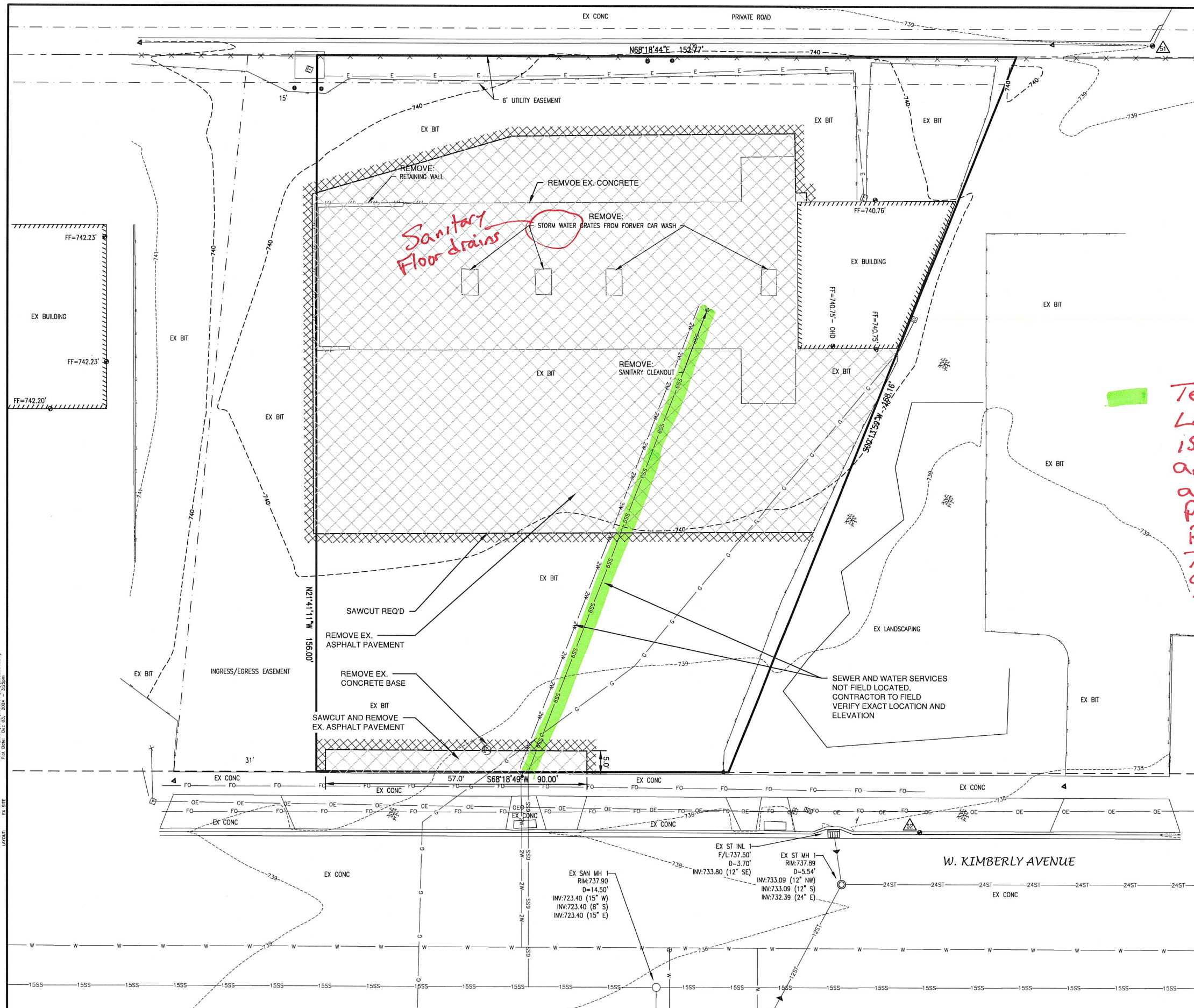
O:920.751.4200 x225 | C:920.858.6072

[website](#) | [facebook](#) | [linkedin](#) | [instagram](#)

**Confidentiality Statement**

THE INFORMATION CONTAINED IN THIS E-MAIL IS INTENDED FOR PERSONAL AND CONFIDENTIAL USE OF THE DESIGNATED RECIPIENT(S) NAMED ABOVE. This message may be a client communication, and as such is privileged and confidential. If the reader(s) of this message is not the intended recipient(s) or agent(s) responsible for delivering it to the intended recipient(s), you are hereby notified that you have received this message in error, and that any review, dissemination, distribution, or copying of this message is strictly prohibited. If you have received this communication in error, please notify us by telephone and delete the original message. Thank you.





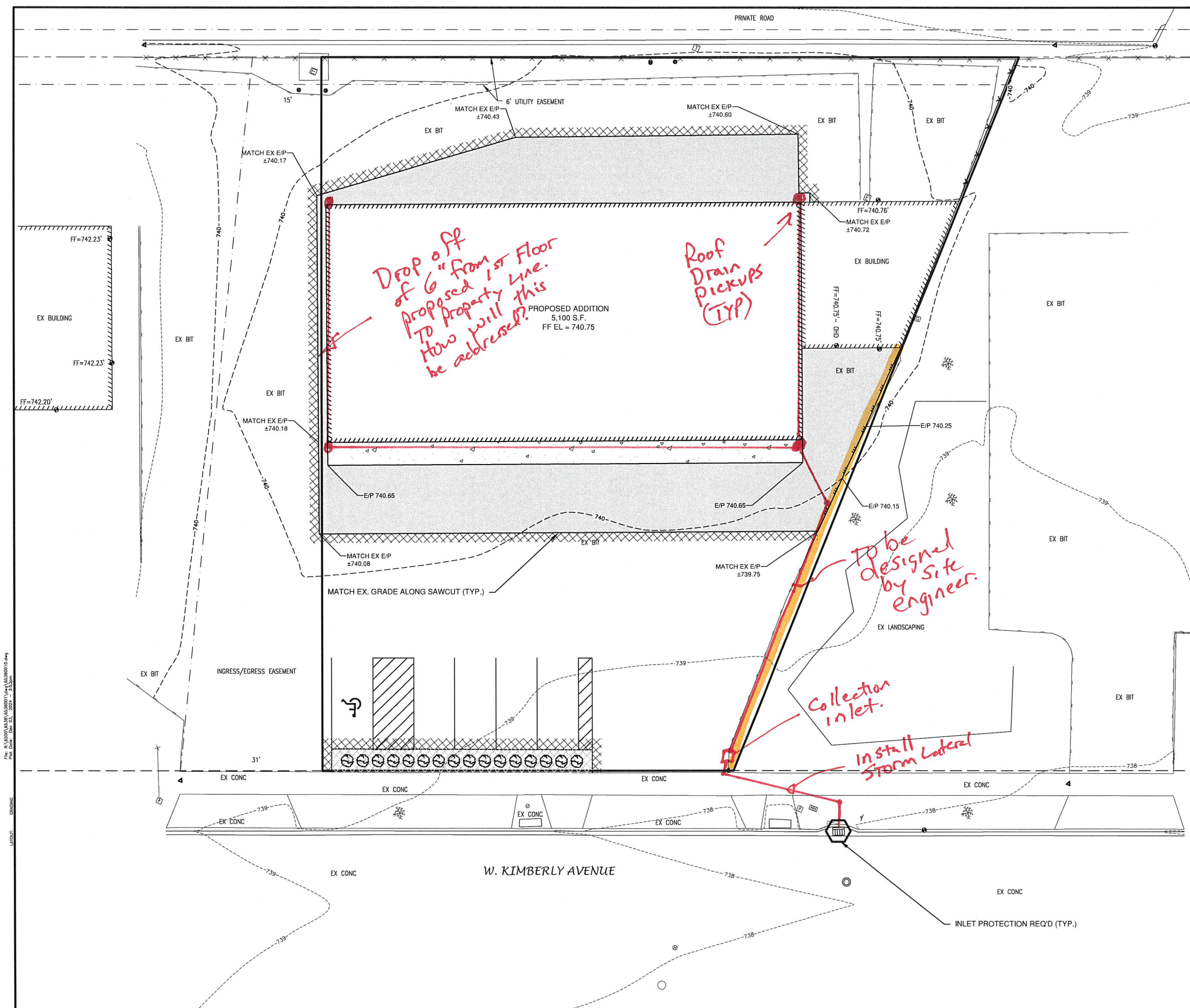
DEMOLITION NOTES

1. EXISTING ASPHALT AND BASE COURSE MAY BE PULVERIZED AND STOCKPILED ON SITE FOR FUTURE USE.
2. EXISTING GAS, ELECTRIC, CABLE TELEVISION AND TELEPHONE TO BE REMOVED AND/OR RELOCATED BY OTHERS. WORK SHALL BE COORDINATED BY GENERAL CONTRACTOR.
3. ALL MISCELLANEOUS STRUCTURES SHALL BE REMOVED.
4. DRIVEWAY OPENINGS SHALL BE REMOVED AND CURB OPENINGS SHALL BE CLOSED IN ACCORDANCE WITH STANDARD DETAIL "CURB REMOVAL", SEE DETAIL SHEETS.

BENCHMARK		BENCHMARK ESTABLISHED BY: ROBERT E. LEE & ASSOCIATES, INC.
NO.		FIELD VERIFY BENCHMARKS FOR ACCURACY.
51	CROSS ON TOP-BACK-CURB	737.90
52	CORNER TOP-BACK-CURB	739.01

Televise Existing Sanitary Lateral to confirm there is no clearwater entering and no wyes from abandoned floor drains. Provide Televising and Report to Village. Televising can be completed after modifications to the line have been completed per Engineer's note on Sheet 4.



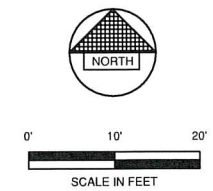


**LEGEND**

	T/C 999.99	TOP OF CURB ELEVATION
	F/L 888.88	FLOW LINE ELEVATION
	S/W 666.66	TOP OF SIDEWALK ELEVATION
	E/P 555.55	EDGE OF PAVEMENT ELEVATION
	R/W 444.44	TOP OF RETAINING WALL ELEVATION
	333.33	GROUND ELEVATION
		DRAINAGE SWALE
		DRAINAGE DIVIDE
		FLOW ARROW
		SILT FENCE (PER WDNR TECHNICAL STANDARD 1056)
		DITCH CHECK (PER WDNR TECHNICAL STANDARD 1062)
		TRACKING PAD (PER WDNR TECHNICAL STANDARD 1057)
		EROSION MAT (PER WDNR TECHNICAL STANDARD 1053)
		INLET PROTECTION (PER WDNR TECHNICAL STANDARD 1060)

- EROSION CONTROL**
- ALL EROSION CONTROL PRACTICES INDICATED ON THIS PLAN ARE APPROXIMATE LOCATIONS ONLY. THE ACTUAL SITE MAY REQUIRE MORE OR LESS EROSION CONTROL DEPENDING ON THE CURRENT CONDITION OF THE SITE.
1. SILT FENCE IS REQUIRED DOWNSLOPE OF ANY DISTURBED LAND THAT MAY CARRY SEDIMENTS OFF SITE.
  2. A TRACKING PAD IS REQUIRED AT ANY INGRESS/EGRESS LOCATION, WHERE SEDIMENT MAY BE TRACKED OFF-SITE.
  3. PROPER INLET PROTECTION SHALL BE USED DEPENDING ON THE INLET TYPE.
  4. ALL NECESSARY SITE DEWATERING SHALL BE PERFORMED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1061.

- Recommend Collection of Roof Downspouts using a storm lateral service as shown.
- Recommend curb to keep runoff on the property to a collection point. Current and proposed drainage is directed onto property to the ~~WEST~~ EAST.
- UPDATE ERW for site impervious



NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN	BUILDING EXPANSION FOR REBMAN PLUMBING VILLAGE OF KIMBERLY OUTAGAMIE COUNTY, WISCONSIN	GRADING AND EROSION CONTROL PLAN	DATE	<b>Robert E. Lee</b> & Associates, Inc. 1250 Centennial Centre Blvd   Hobart, WI   920-662-9641   releinc.com	SHEET NO.
								CHECKED			FILE		5
								DESIGNED			JOB NO.		
								AJB			6538001		



## Village of Kimberly Request for Plan Commission Recommendation

**ITEM DESCRIPTION:** Site & Architectural Review – Caseys Rentals LLC located at 420 S Washington St

**REPORT PREPARED BY:** Sam Schroeder, Community Development Director

**REPORT DATE:** December 17, 2024

**EXPLANATION:** Kelly Sperl with Architectural & Construction Services, Inc. on behalf of Caseys Rental LLC has submitted a site review application for a proposed redevelopment of the former convenience store and carwash located at 420 S Washinton Street. Following an approved CSM separating the store from the larger industrial site earlier this summer, Caseys Rental LLC acquired the property with plans to rejuvenate the property. The property totals 1.06 acres and is zoned I-2, general industrial district.

Attached to this staff report includes:

1. Site Plan Review Application
2. Project Description
3. Plan Drawings
4. Engineer Review Comments

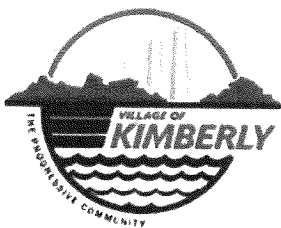
**Scope of Construction – Reference Project Description and Plans for additional insight.**

1. The Applicant is proposing to convert the former convenience store into a commercial kitchen with retail sales and serving hot food to go specializing in BBQ. Half of the former carwash will be converted into a salon and the remaining half will remain as is for now.
2. Retail Sales - 3,295 SF; Salon – 895 SF; Remaining storage 1,395 SF
3. The Applicant is proposing minor changes to the façade which include enclosing the Salon space with a store front matching the existing façade materials, the replacement of the recessed lighting, and possibly painting the upper canopy in the future.
4. Upon staff recommendation, the Applicant has proposed a landscape buffer along the sidewalk to provide additional safeguards and a soften edge for this commercial corridor. A landscape island will also be placed along the west property line to define the property boundaries and minimize cross traffic with the remaining industrial site in the rear of the property.
5. The Applicant will also remove a secondary vehicle access to S Washington St to improve vehicle and pedestrian safety in this area following staff recommendation.
6. The Applicant does cater food, operate a food truck and a smoker. These elements would be stored in the rear (west) of the building.
7. The site currently is impervious and is part of a regional stormwater basin so no on-site treatment is proposed or needed.

The staff zoning review identified the proposed project complies with applicable ordinances. Staff has completed a review of the site for compliance with the Kimberly Municipal Code whereas the proposed project substantially meets code and notes the following:

1. **Engineering Comments.** The Village does recommend further investigation into the Water and Sanitary Service including televising to ensure code compliance and in good repair. Further recommendations are attached to this memo.
2. **Lighting.** A photometric plan was not submitted. The proposed recessed lighting should be minimal with minimal impacts upon adjoining properties. The Village would reserve the right to review the lighting to ensure code is being met following the installation.
3. **Outside Storage.** Staff is recommending the primary exterior storage of materials, trailers, food trucks, etc., shall be stored in the rear of the building out of public view.
4. **Building Inspections and Approvals.** Building plan review and inspections will be completed by the State of Wisconsin, unless delegation authority is completed by the Village of Kimberly.

**RECOMMENDED ACTION:** Staff recommends approval of the site plan and architectural components for Caseys Rental LLC located at 420 S Washington Street as presented.



**VILLAGE OF KIMBERLY**  
Site Review Application

**Submit to:**

Planning & Zoning  
515 W. Kimberly Ave.  
Kimberly WI 54136  
920-788-7500

**Applicant Information**

Petitioner: Kelly Sperl Date: 11/12/24  
Petitioner Address: 321 Randolph Dr. City: Appleton State: WI Zip: 54913  
Telephone #: (920) 707-4226 Fax: ( ) — email: KSperl@gmail.com  
Status of Petitioner (please check one): ☐ Owner ☒ Representative ☐ Tenant ☐ Prospective Buyer

Petitioner's Signature (required): Kelly Sperl

**Owner Information**

Owner(s): Alex Casey Date: 11/12/24  
Owner(s) Address: W2663 Saratoga Dr. City: Appleton State: WI Zip: 54915  
Telephone #: (920) 213-3988 Fax: ( ) — email: alexcasey66@gmail.com  
Ownership Status (please check one): ☒ Individual ☐ Trust ☐ Partnership ☐ Corporation

**Property Owner Consent (required):**

By signature hereon, I/We acknowledge that Village officials and/or employees may, in the performance of their functions and duties, enter upon the property to inspect or gather other information necessary to process this application. I also understand that all meeting dates are tentative and may be postponed by the Village for incomplete submissions or other administrative reasons.

Property Owner's Signature: Alex Casey

Date: 11-11-24

**Site Information**

Address/Location of Proposed Project: 420 S. Washington St. Zoning:             
Proposed Project or Use: BBQ Take-Out + Retail / Barbershop  
Current or last Use of Property: Previous G-Store / Gas Station  
Land Uses Surrounding this Address: North: Railroad  
South: Ex. Parking lot  
East: Commercial Businesses  
West: Commercial Business

- It is recommended that the applicant meet with Village Department staff prior to submittal to review the project and submitted materials.
- Application Fees must be submitted with the application.



12/1/2024

Hello,

My name is Alex and my wife's is Brianna. We have a three year old son named Crosby as well as 2 new baby Twin boys Reed and Grant, that we just were able to bring home after 60 long days in the NICU today! We are the Casey Family. I grew up in Darboy, graduated from Kimberly, and my wife and I plan to put our three boys through the Kimberly school district as well. Kimberly is a special place, and we are beyond excited to be apart of this Great community.

We purchased this property on 420 South Washington Street with a dream in hand. A location and building that we could utilize for both of our dreams to be exact. This building will be "split" into two different businesses. The convenient store part will be a BBQ space. And the Car Wash part will be a Barber Shop.

My wife is a Barber, but will now take the roll as the Full-time parent. Her love to her craft though is unmatched. She has always dreamed of opening a true "old style" men's barber too. So this is her time, her leap into running a chair rental in her own Barber Shop. There will be 5 chairs in this Barber Shop. All will be available for rent. Our goal is to create a place guys look forward to going to. Not just an overpriced "haircut", but a true straight shave.

I am a machinist by trade, but work as a pump technician at Liquid Process Equipment in Kaukauna. My passion though is in BBQ, Texas Style BBQ to be exact. I have been running Who's The Man BBQ for Three years now. Luckily enough we have been fortunate to grow each year and keep investing back into the business to keep growing. I plan to use the convenient part of the building for BBQ. Think of it as a little meat market, but with all fresh and ready to go meats. Our Kitchen will be more laid out as a catering style kitchen. This is not a restaurant. We are big into our catering side of the business, so the space we will have to work with will be nice.

We did purchase a lot of parking lot with this building. We are very excited to hopefully in the future be able to plan a few Whole Hog Roasts and do some small events in it.

There is a lot of work to be done to get where we want to be with the building. But we are excited for the work. We are excited to be apart of this great community of Kimberly.

Thank you,

Alex Casey

Who's The Man BBQ

920-213-3988

INTERIOR REMODEL FOR,  
420 S. WASHINGTON STREET  
KIMBERLY,  
WISCONSIN

GENERAL NOTES

THESE DRAWINGS COVER STRUCTURAL AND GENERAL CONSTRUCTION WORK ONLY. ALL WORK SHALL CONFORM TO STATE AND LOCAL CODES WHICH GOVERN FOR THE BUILDING SITE, AND SHALL BE DONE IN A WORKMANLIKE MANNER.

THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH ALL ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS TO VERIFY THE LOCATION AND DIMENSIONS OF CHASES, INSERTS, OPENINGS, SLEEVES, REGLETS, DEPRESSIONS AND OTHRE PROJECT REQUIREMENTS NOT SHOWN ON THE STRUCTURAL DRAWINGS.

OPENINGS SHOWN ON THE STRUCTURAL DRAWINGS SHALL NOT BE REVISED WITHOUT WRITTEN APPROVAL FROM THE ARCHITECT.

CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, ELEVATIONS AND CONDITIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES.

THE TYPICAL DETAILS SHOWN ON THE DRAWINGS SHALL BE APPLICABLE TO ALL PARTS OF THE CONTRACT DRAWINGS UNLESS SPECIFICALLY NOTED OTHERWISE.

THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SAFETY DURING CONSTRUCTION.

PROJECT INFORMATION

CONSTRUCTION CLASSIFICATION  
BUILDING TYPE - IIB NON-COMBUSTIBLE  
NON-SPRINKLED - NON-SEPARATED USES

OCCUPANCY

"M" MERCANTILE  
CHANGE OF USE FROM "B" BUSINESS

OCCUPANCY

"M" MERCANTILE  
RETAIL AREA 1,300 SF div. 60 = 22 ppl.  
OTHER AREAS 4,285 SF div. 300 = 15 ppl.

"B" BUSINESS  
DETERMINED BY USE = 10 TO 14 PPL.

ALLOWABLE AREA

	CHPTR. 5	CHPTR. 9
"M" MERCANTILE	12,500 SF	12,000 SF
"B" BUSINESS	23,000 SF	12,000 SF

2015 IEBC CHANGE OF USE  
HAZARD CATEGORIES

1012.4 MEANS OF EGRESS  
M-MERCANTILE HAZARD LEVEL 3  
B-BUSINESS HAZARD LEVEL 4  
M IS HIGHER HAZARD THAN B

1012.5 HEIGHTS & AREAS  
M-MERCANTILE HAZARD LEVEL 3  
B-BUSINESS HAZARD LEVEL 4  
M IS HIGHER HAZARD THAN B

1012.6 EXPOSURE OF EXT. WALLS  
M-MERCANTILE HAZARD LEVEL 2  
B-BUSINESS HAZARD LEVEL 3  
M IS HIGHER HAZARD THAN B

TOILET ROOM FIXTURES

"B" BUSINESS  
LESS THAN 15 PEOPLE  
- SINGLE TOILET ROOM PROVIDED.

"M" MERCANTILE  
LESS THAN 100 PEOPLE  
- TOILET ROOMS ARE EXISTING.

SHEET INDEX

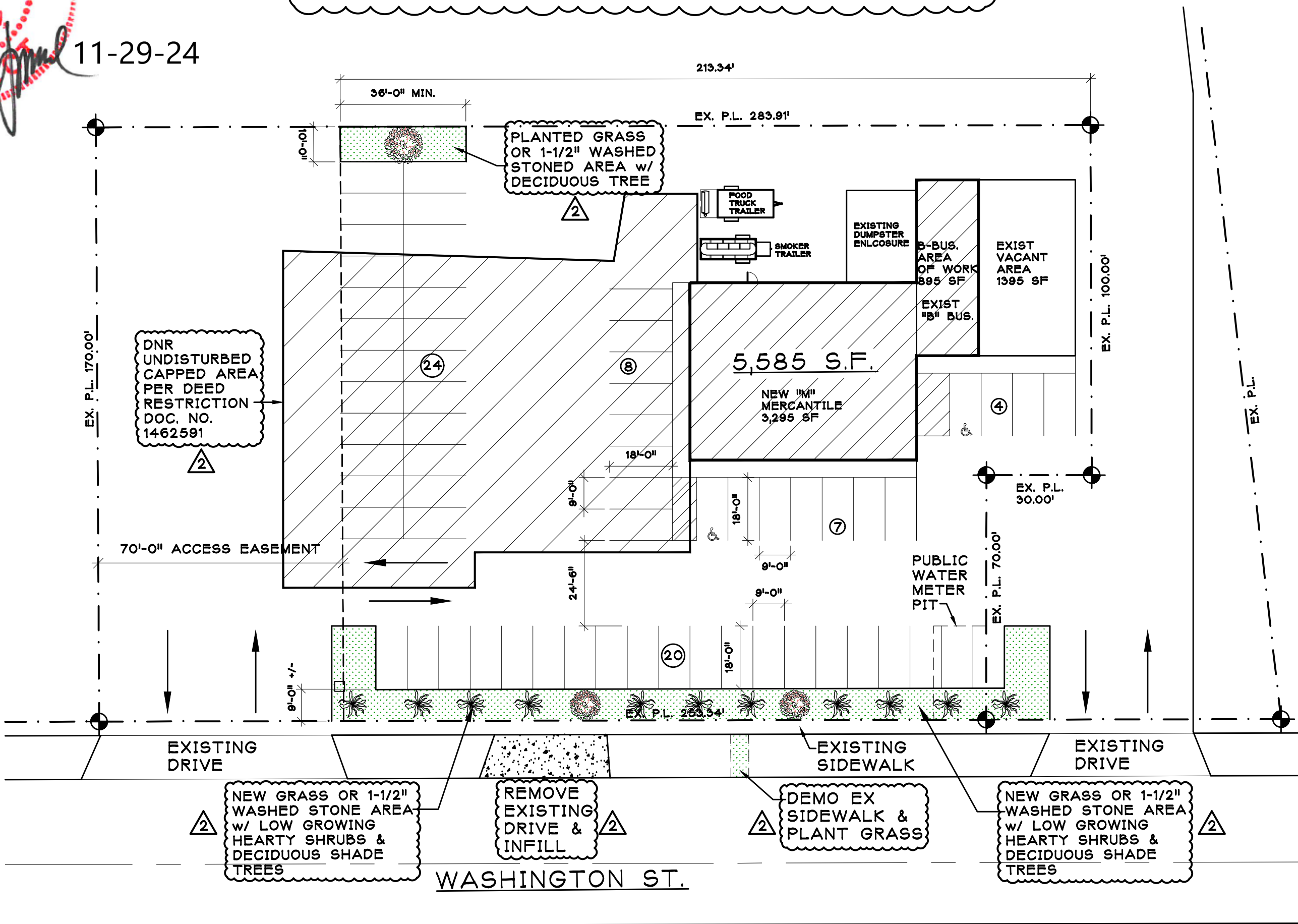
SHEET	SHEET TITLE
T1.0	COVER SHEET, INDEX & NOTES

ARCHITECTURAL	
A1.0	FLOOR PLAN
A1.1	EGRESS PLAN
A1.2	EXTERIOR ELEVATIONS
A2.0	ADA DETAILS

PER DEED RESTRICTIONS DOC. NO. 14652591

THE FOLLOWING ACTIVITIES ARE PROHIBITED ON THE PORTION OF THE PROPERTY WHERE CAPPED AREA IS SHOWN BELOW.

- (1) EXCAVATING OR GRADING OF THE LAND SURFACE
- (2) FILLING ON THE CAPPED AREA
- (3) PLOWING FOR AGRICULTURAL CULTIVATION
- (4) CONSTRUCTION OR INSTALLATION OF A BUILDING OR OTHER STRUCTURE WITH A FOUNDATION THAT WOULD SIT ON OR BE PLACED WITHIN THE CAP OR COVER.
- (5) ANY OTHER ACTIVITY THAT WOULD DECREASE THE EFFECTIVENESS OF THE IMPERVIOUS BARRIER.



SCHEMATIC SITE PLAN  
NO SCALE

NORTH



AN INTERIOR REMODEL FOR,  
420 S. WASHINGTON ST.  
KIMBERLY,  
WISCONSIN

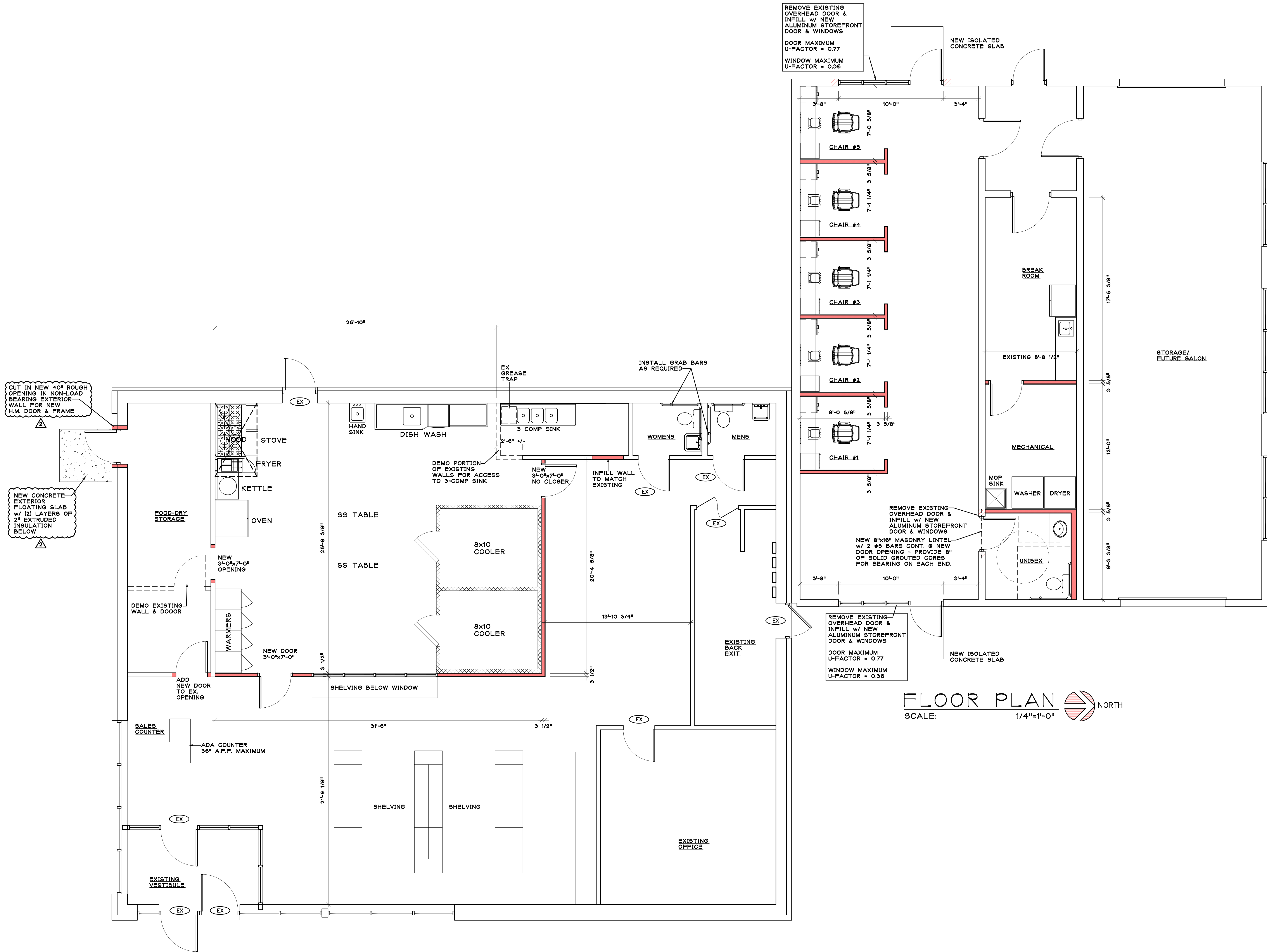
DATE: OCT. 24, 2024  
ARCH. K. SPERL  
D. BY: S. BURTON  
JOB: 24-060


REVISIONS  
△ ADDED A1.2 EXT. ELEVATIONS 11-12-24  
△ FOR VILLAGE SITE PLAN REVIEW 12-17-24

T  
1.0

ACS  
Architectural  
Construction  
Services, Inc.  
327 RANDOLPH DRIVE - SUITE C  
APPLETON, WI 54913  
TELE: 920-707-4226 FAX: 920-240-8072







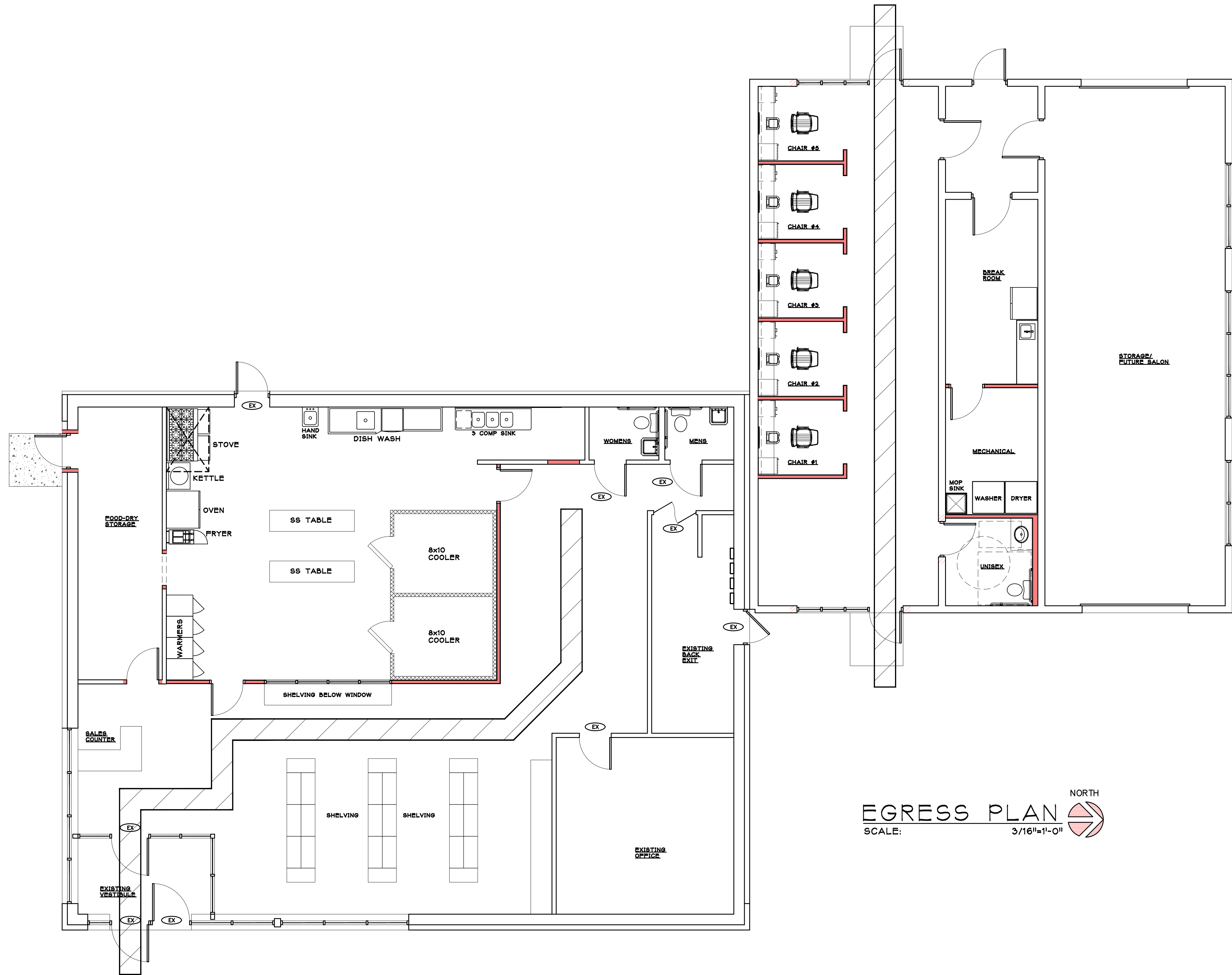
327 RANDOLPH DRIVE - SUITE C  
APPLETON, WI 54913  
TELE: 920-707-4226 FAX: 920-240-8072

AN INTERIOR REMODEL FOR,  
**420 S. WASHINGTON ST.**  
KIMBERLY, WISCONSIN

DATE: OCT. 24, 2024  
ARCH. K. SPERL  
D. BY: S. BURTON  
JOB: 24-060

REVISIONS  
△ ADDED A1.2 EXT. ELEVATIONS 11-12-24  
△ FOR VILLAGE SITE PLAN REVIEW 12-17-24

**A**  
**1.0**



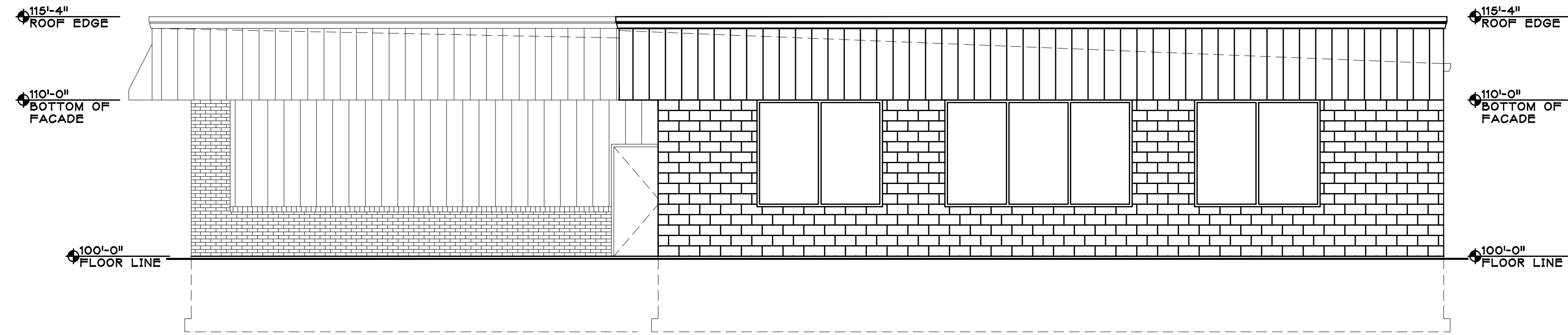
EGRESS PLAN NORTH  
SCALE: 3/16"=1'-0"

AN INTERIOR REMODEL FOR,  
**420 S. WASHINGTON ST.**  
KIMBERLY, WISCONSIN

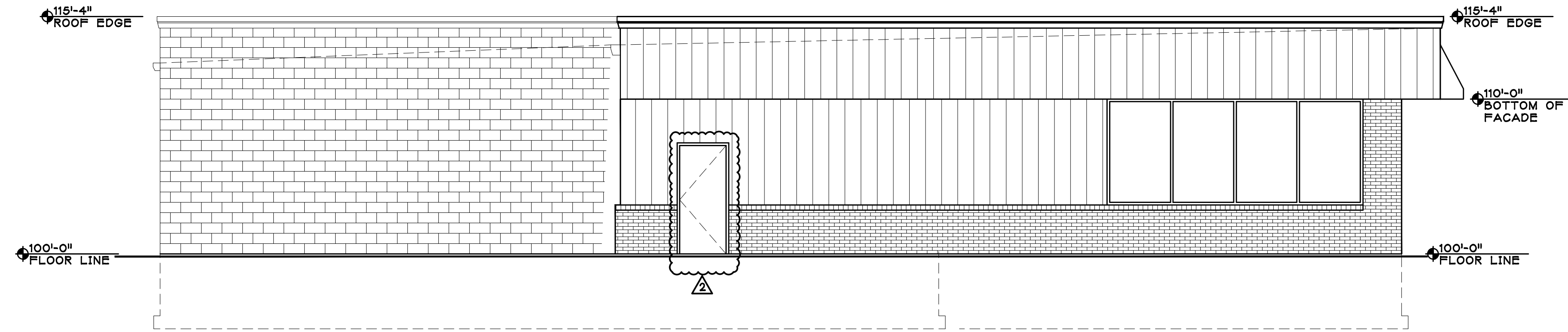
DATE: OCT. 24, 2024  
ARCH. K. SPERL  
D. BY: S. BURTON  
JOB: 24-060  
REVISIONS  
△ ADDED A1.2 EXT.  
ELEVATIONS 11-12-24  
△ FOR VILLAGE SITE  
PLAN REVIEW 12-17-24

ACS  
Architectural  
Construction  
Services, Inc.  
327 RANDOLPH DRIVE - SUITE C  
APPLETON, WI 54913  
TELE: 920-707-4226 FAX: 920-240-8072

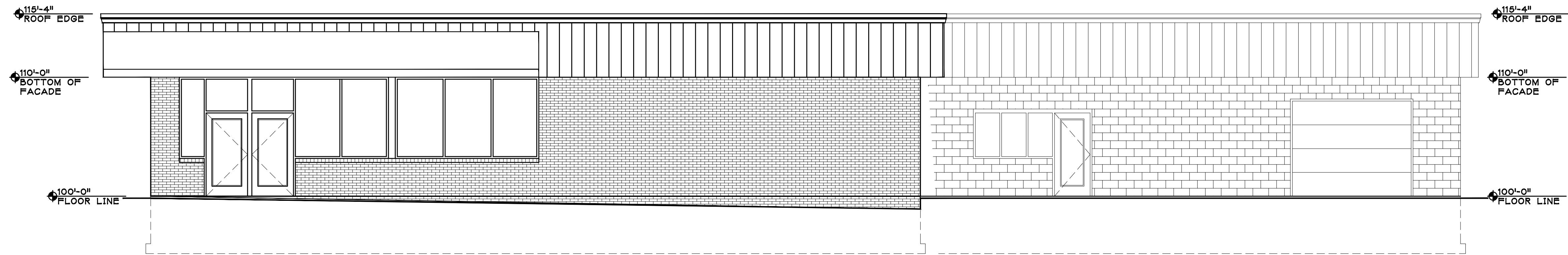
A  
1.1



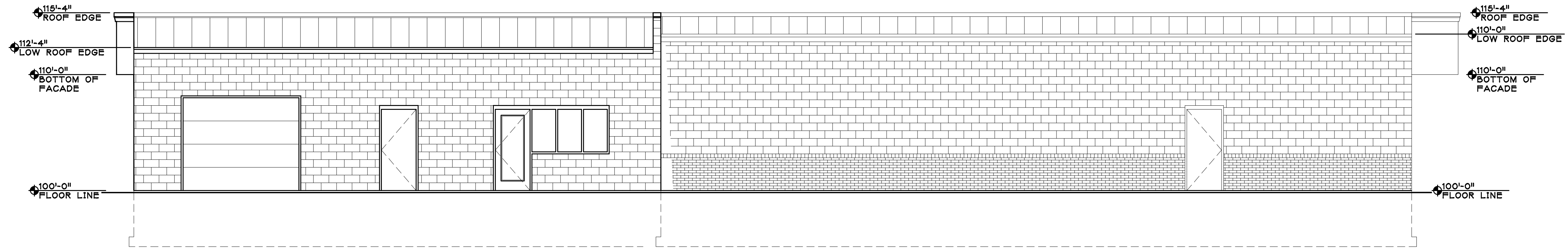
NORTH ELEVATION  
SCALE: 3/16"=1'-0"



SOUTH ELEVATION  
SCALE: 3/16"=1'-0"

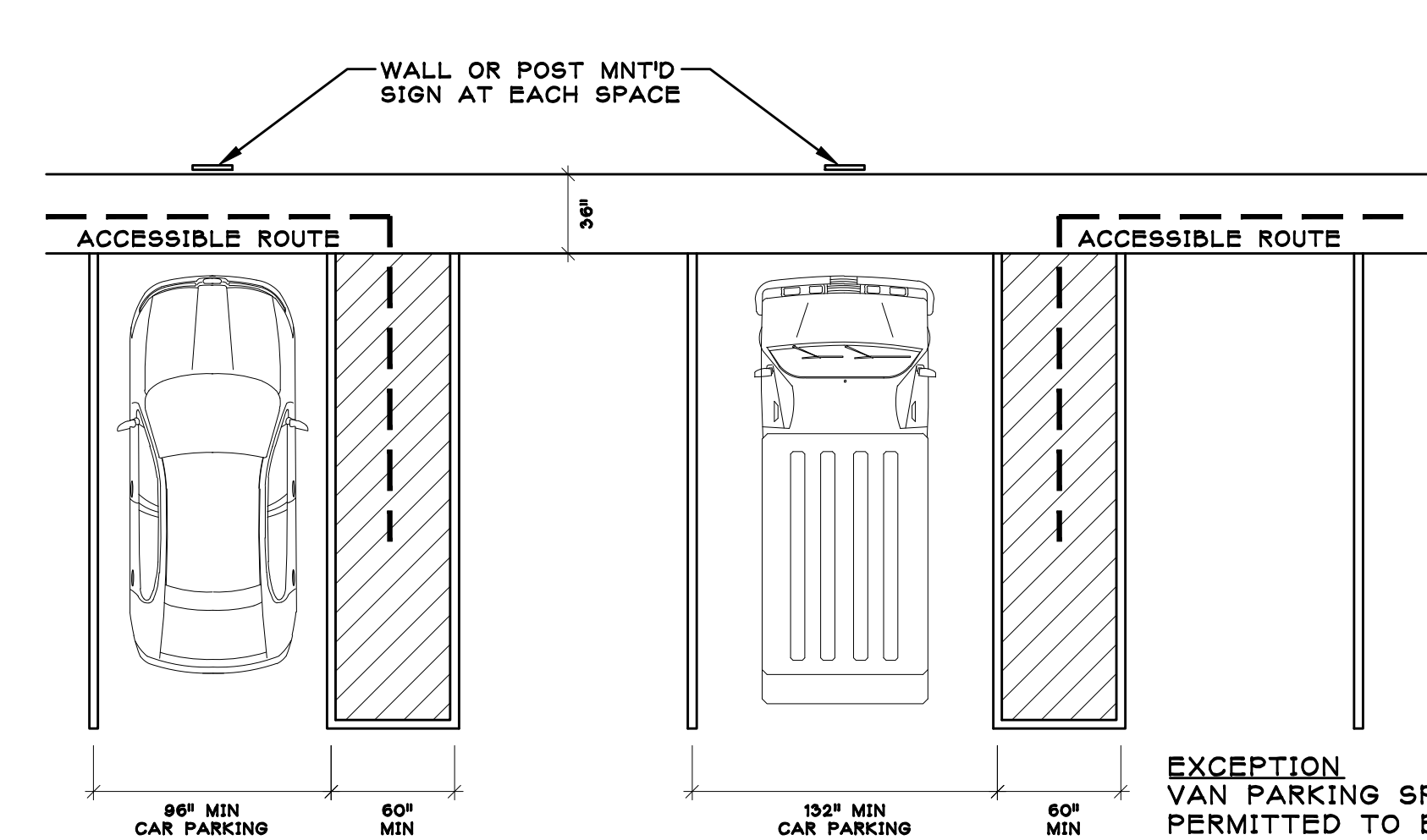


EAST ELEVATION  
SCALE: 3/16"=1'-0"



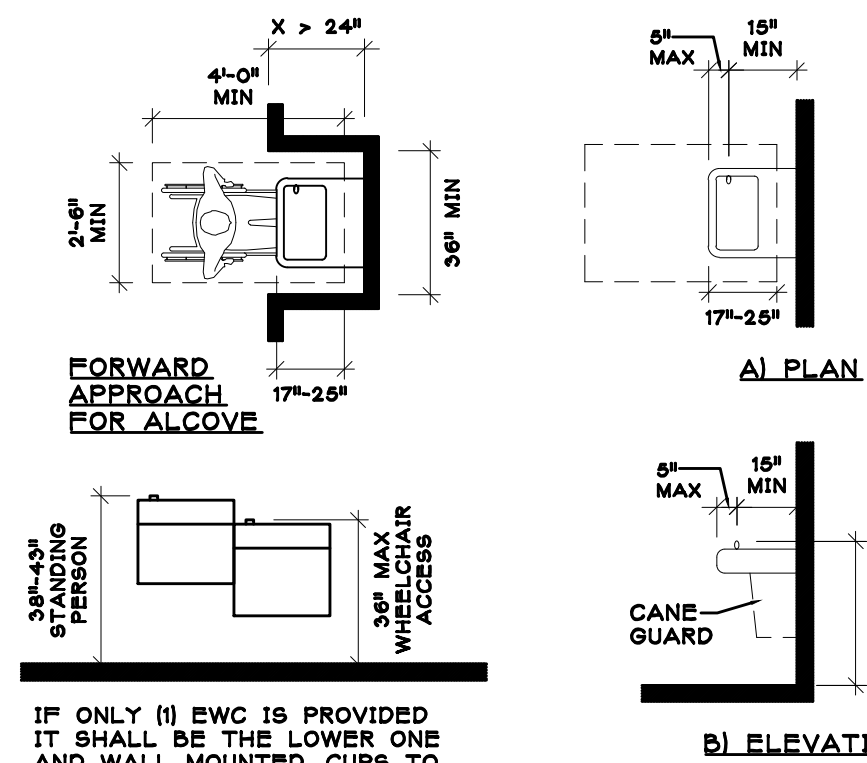
WEST ELEVATION  
SCALE: 3/16"=1'-0"



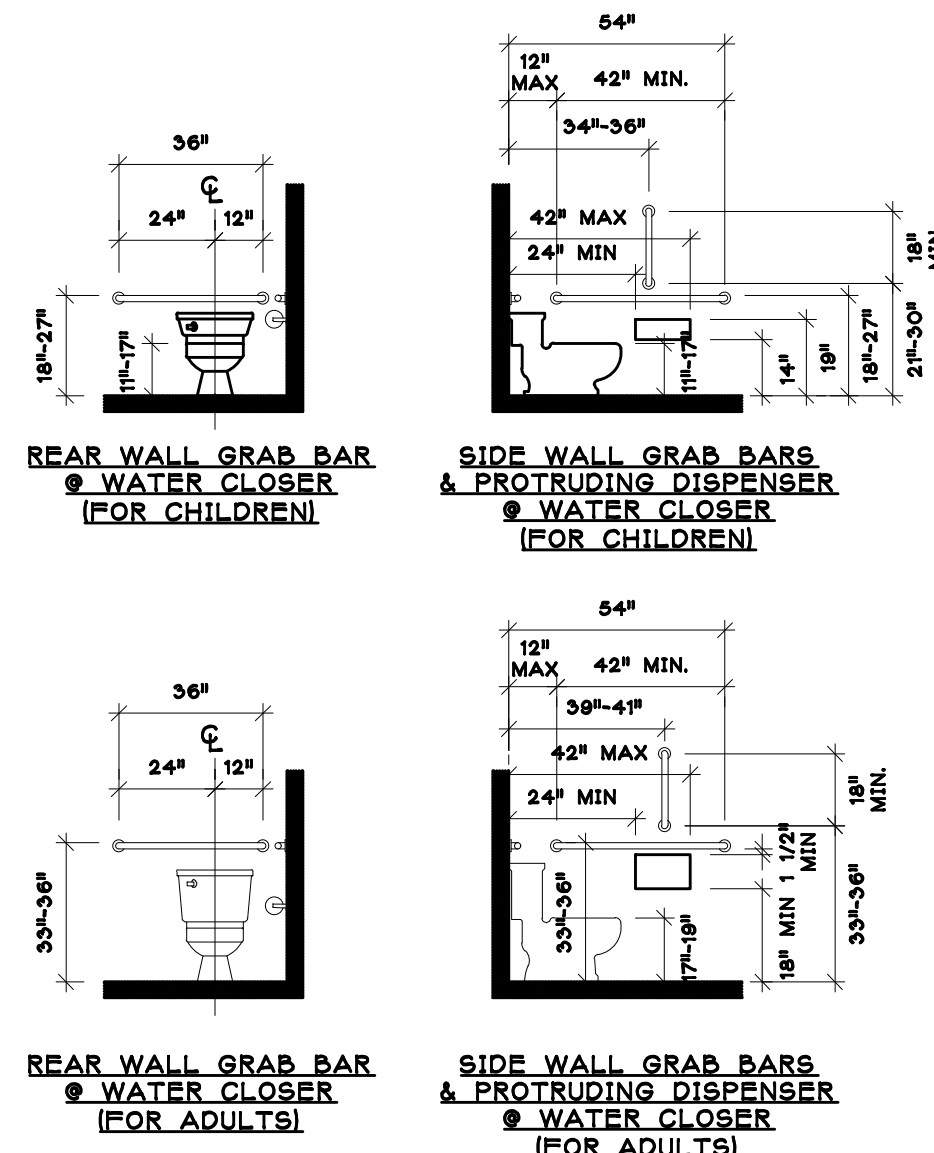


### VEHICLE PARKING SPACE SIZE & ACCESS AISLE

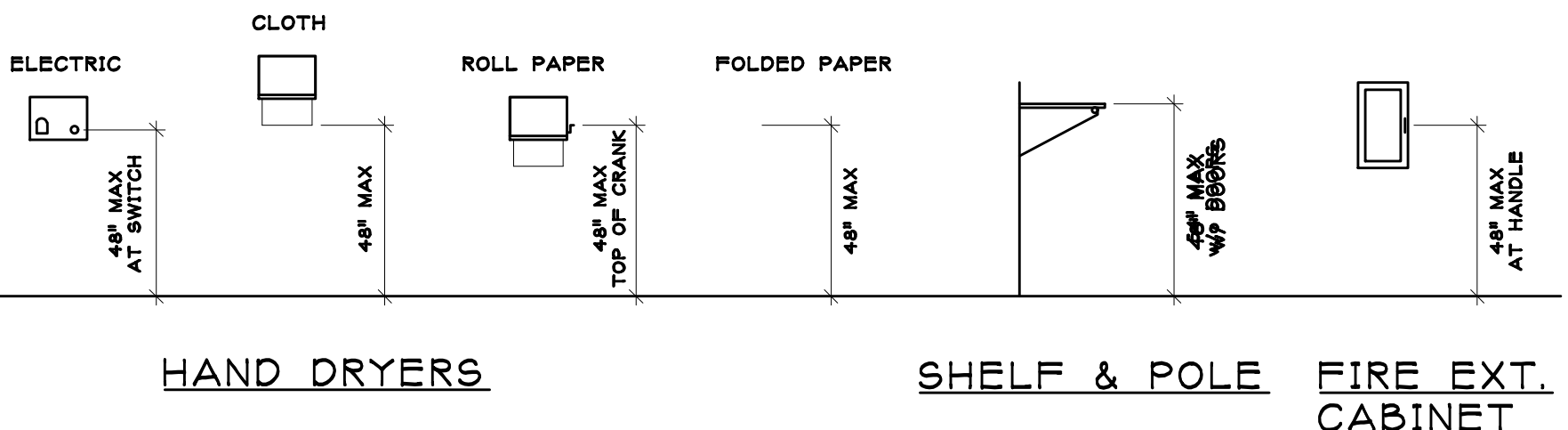
THE MAXIMUM SLOPE AT PARKING SPACES IS 1:50 (4.6.2)



### ELECTRIC WATER COOLER CLEAR SPACE



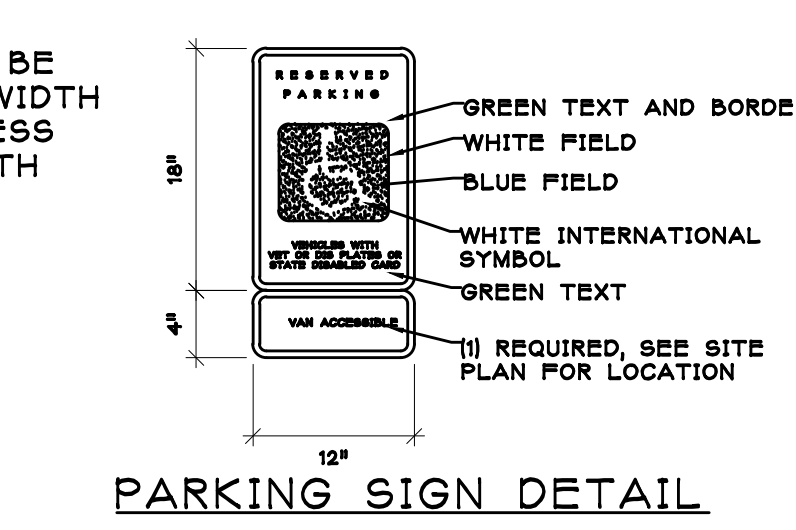
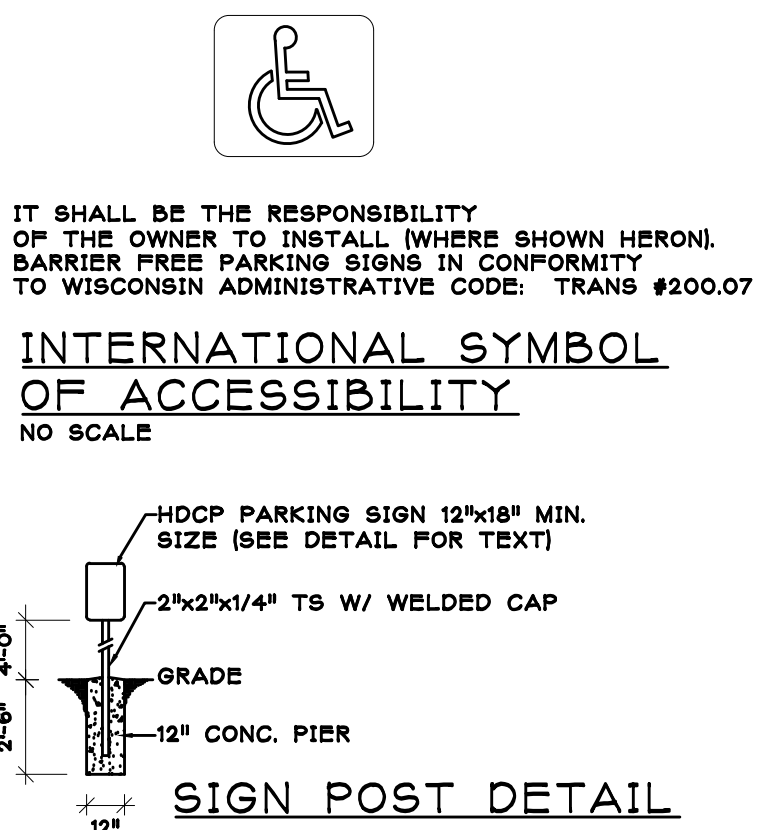
### FLOOR MOUNT TOILET & GRAB BARS



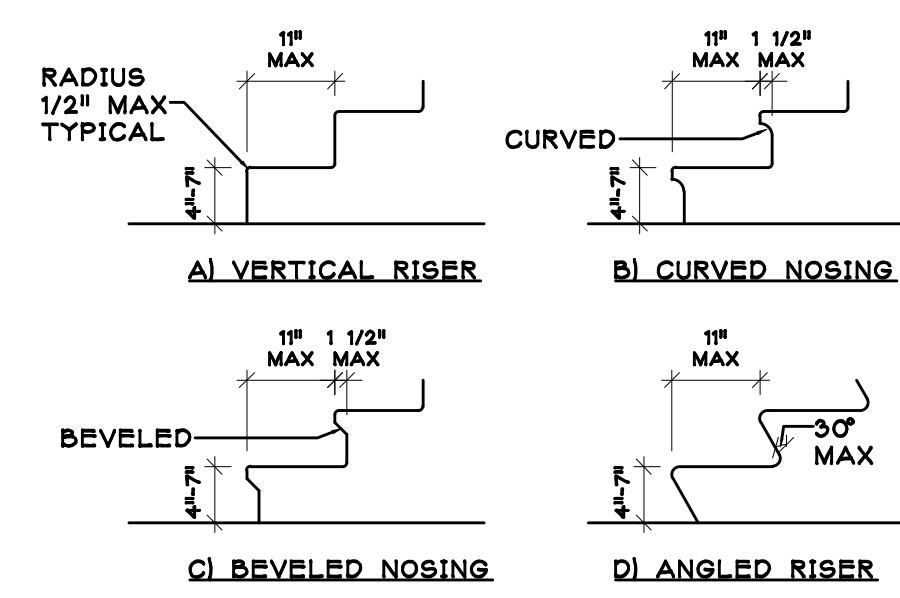
### HAND DRYERS

### SHELF & POLE

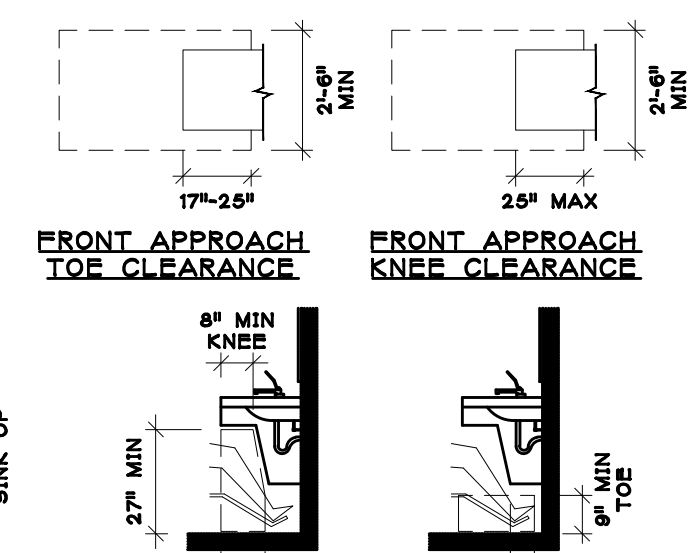
### FIRE EXT. CABINET



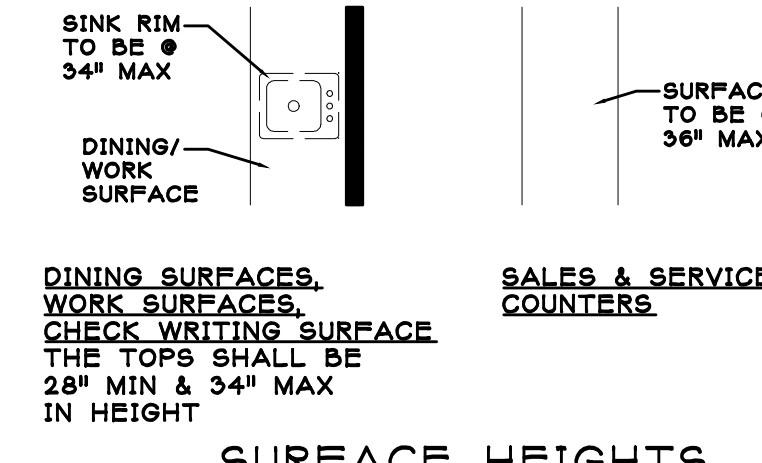
### PARKING SIGN DETAIL



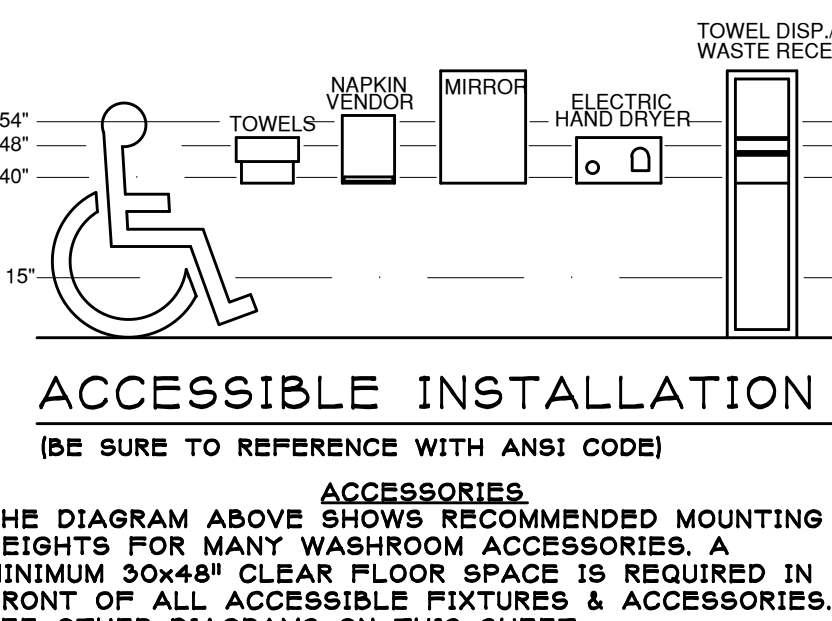
### TREADS/RISE & STAIR NOSINGS



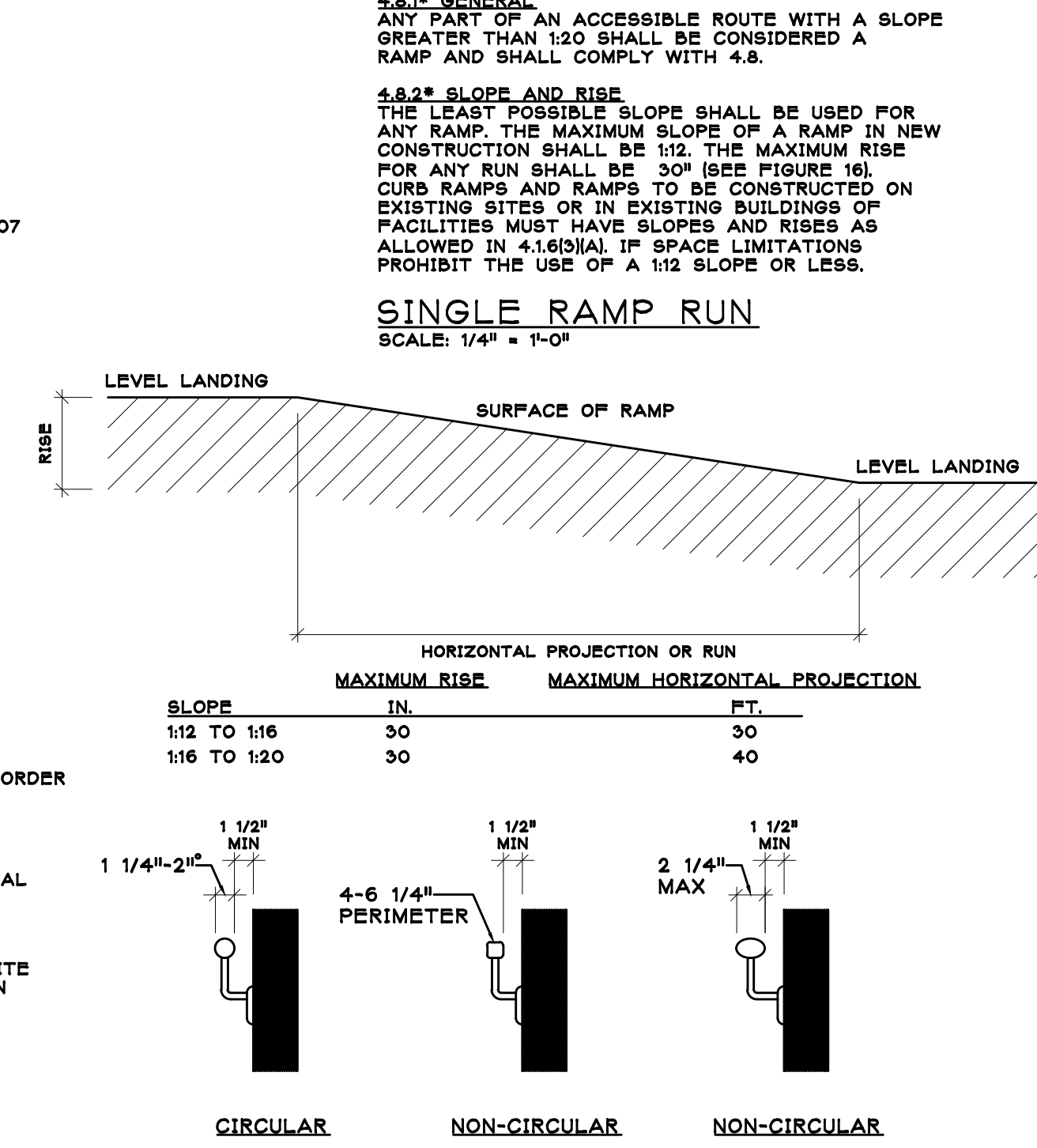
### KNEE & TOE CLEARANCES



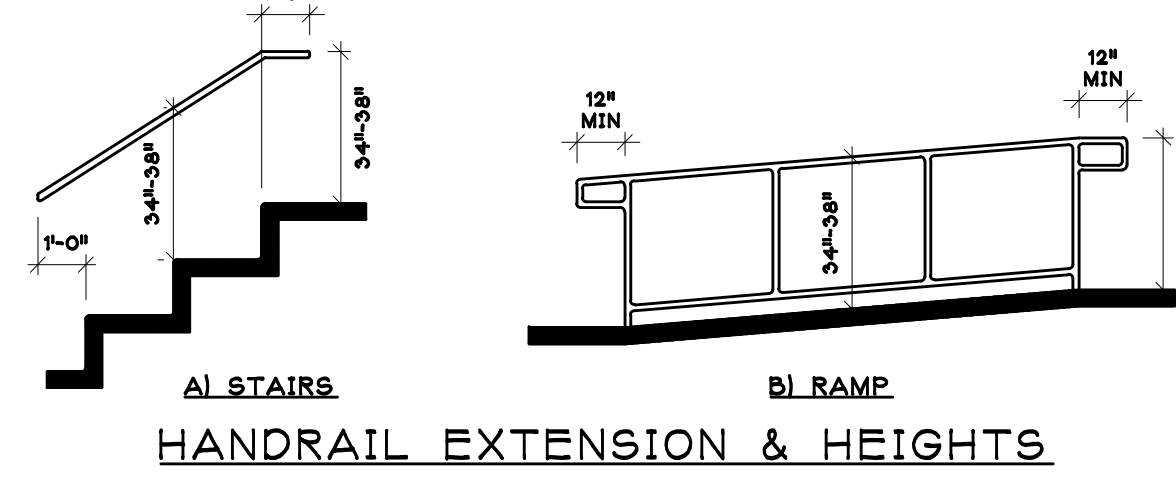
### SURFACE HEIGHTS



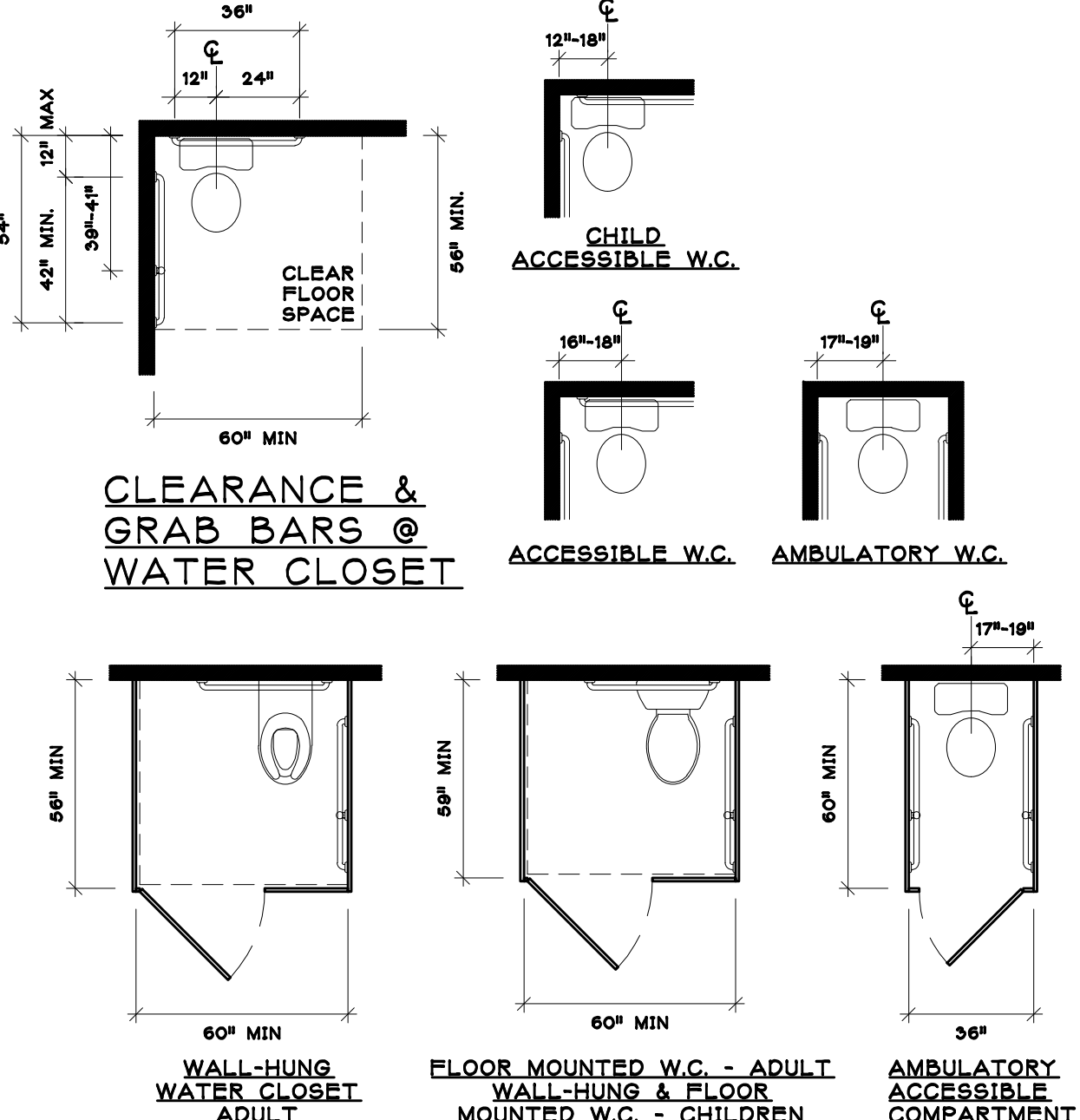
### ACCESSIBLE INSTALLATION GUIDELINES



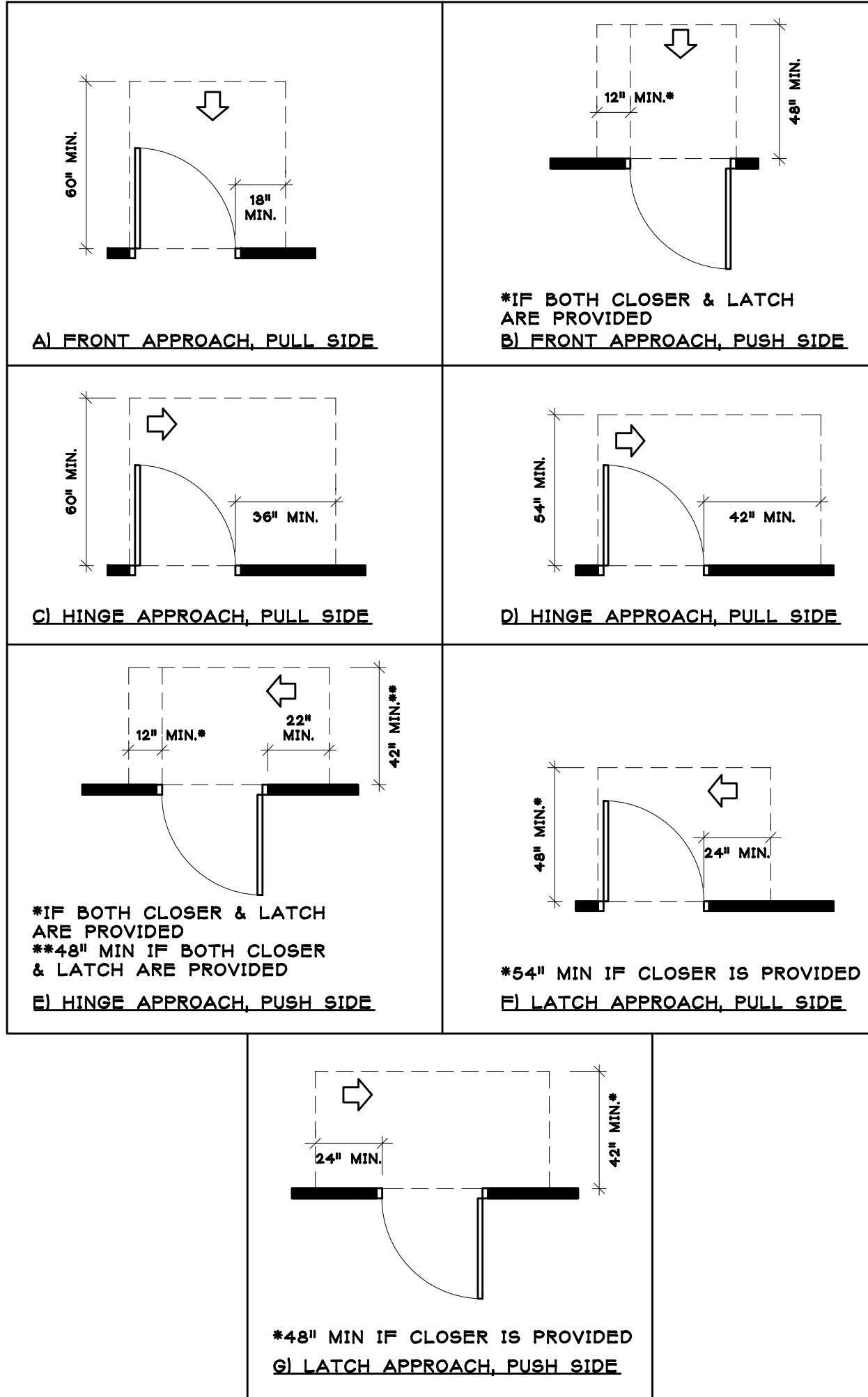
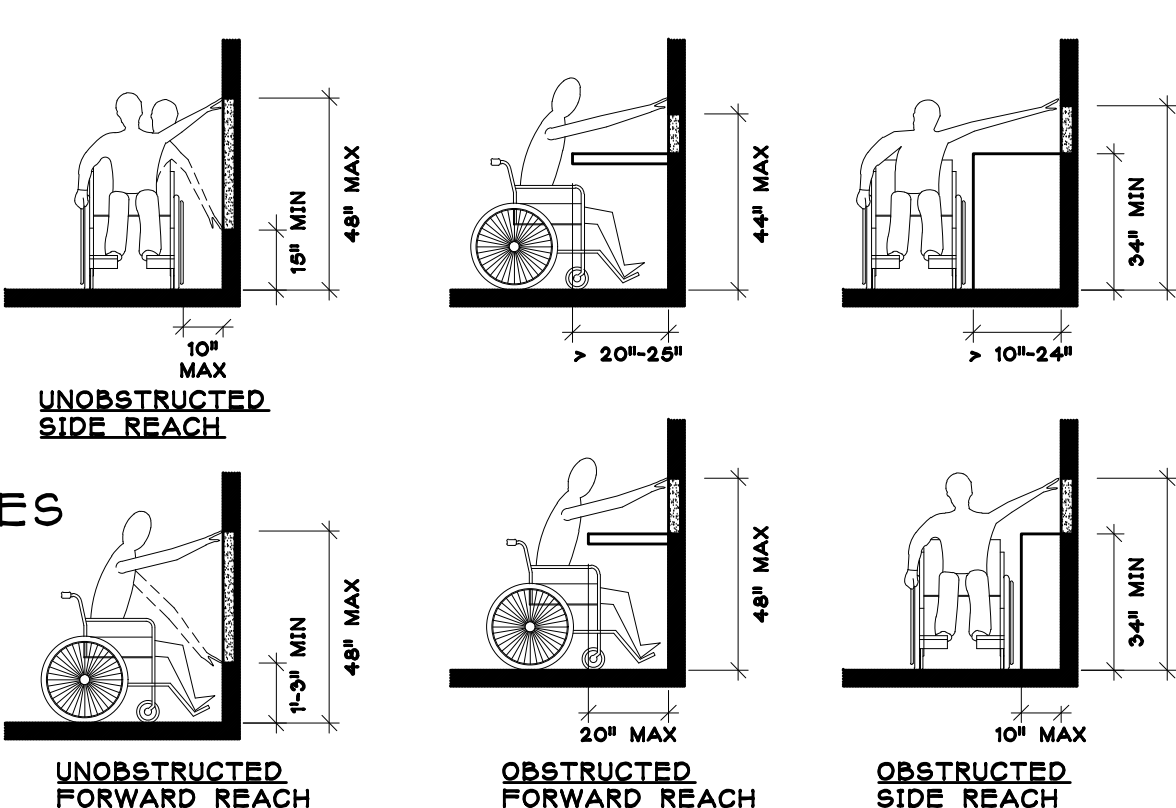
### HANDRAIL SECTIONS



### HANDRAIL EXTENSION & HEIGHTS

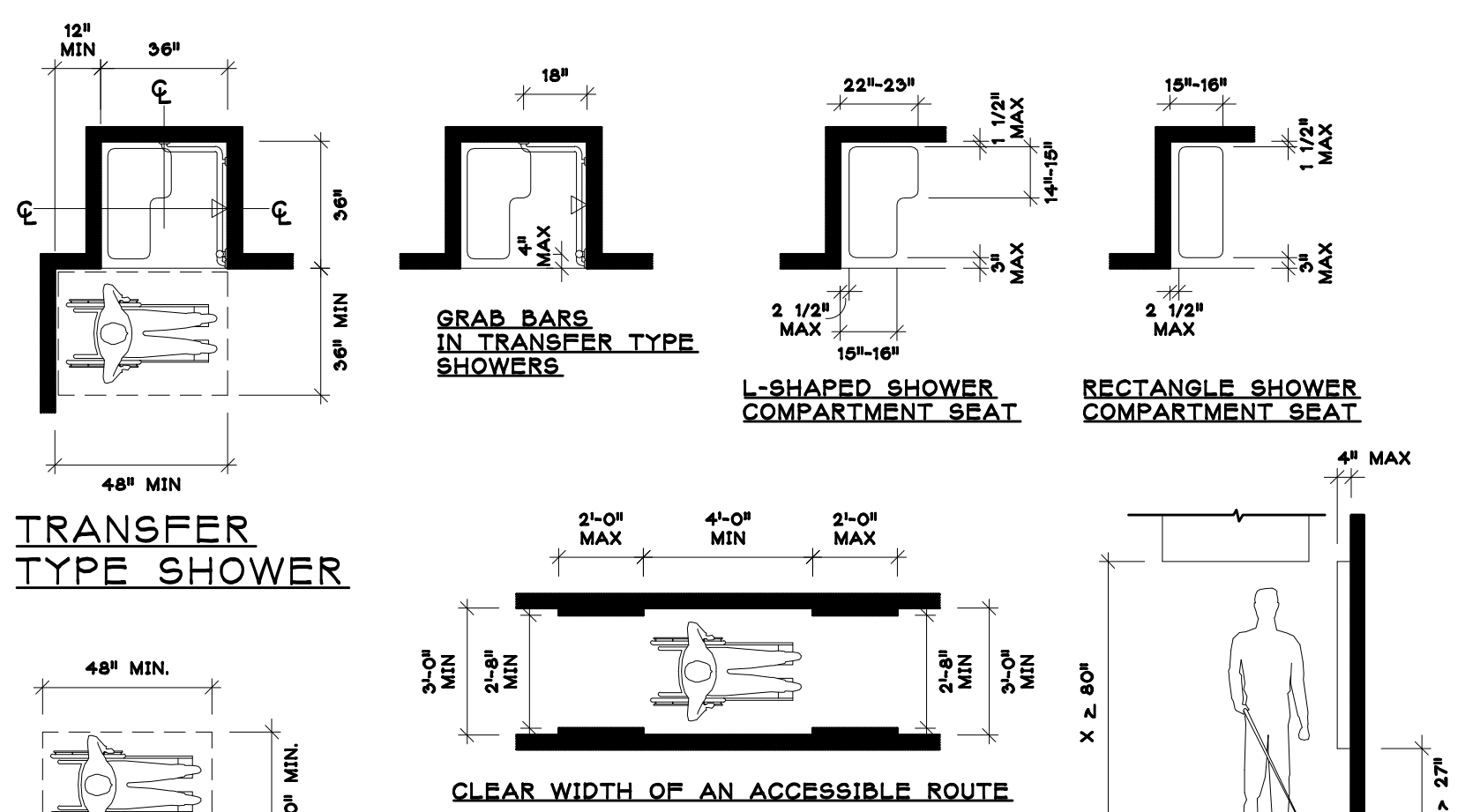


### WHEELCHAIR ACCESSIBLE TOILET COMPARTMENTS



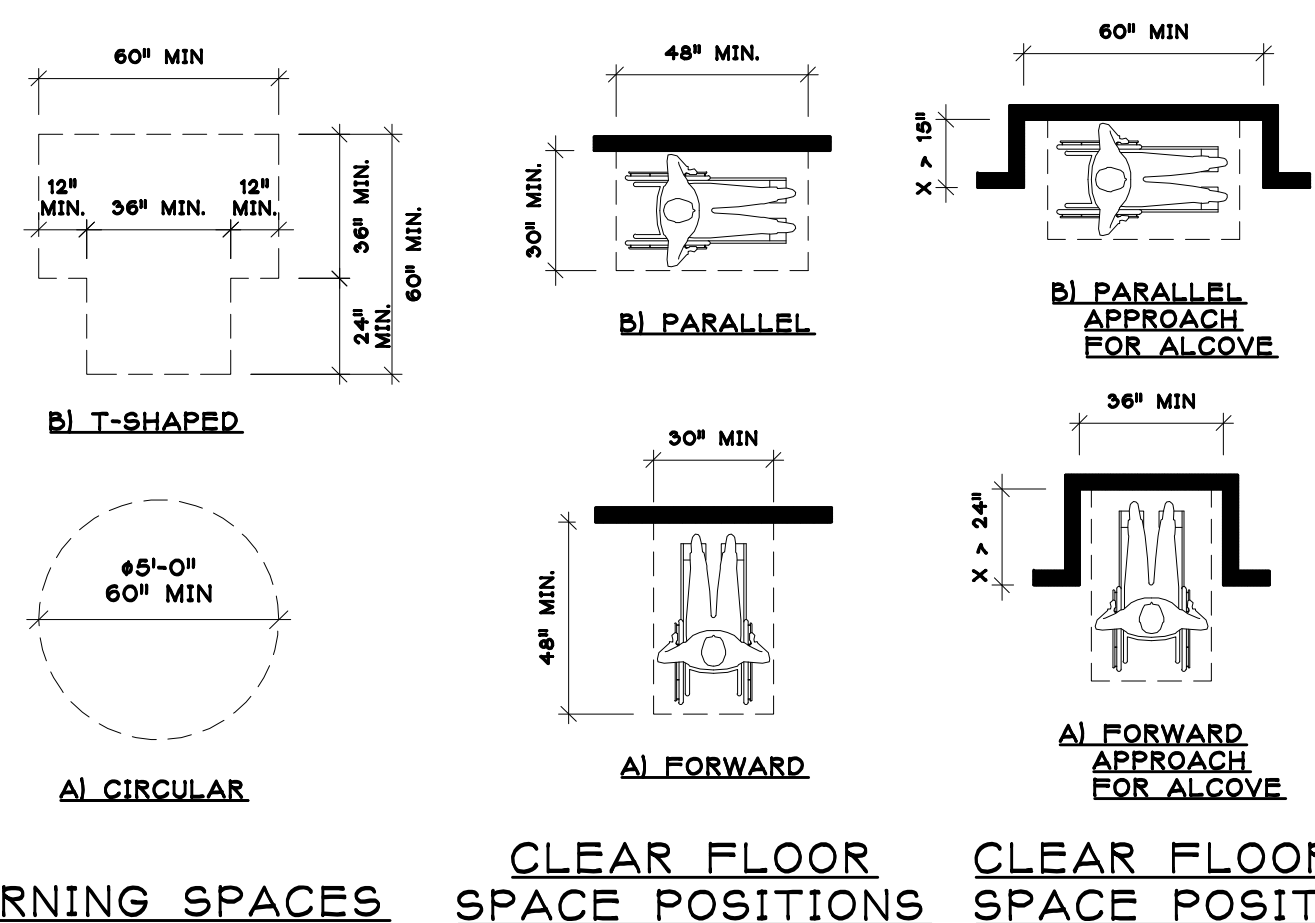
### CLEARANCE AT MANUAL SWING DOORS

### CLEARANCE AT RECESSED DOORS



### TRANSFER TYPE SHOWER

### LIMIT OF PROTRUDING OBJECTS



### CLEAR FLOOR SPACE POSITIONS

### CLEAR FLOOR SPACE POSITIONS

**From:** [Brad Werner](#)  
**To:** [Sam Schroeder](#)  
**Cc:** [Danielle Block](#); [Anna Huber](#); [Jerry Verstegen](#)  
**Subject:** Review Comments for 420 S Washington St Redevelopment  
**Date:** Friday, December 6, 2024 11:05:38 AM  
**Attachments:** [image001.gif](#)  
[420 S WASHINGTON REVIEW.pdf](#)  
[CL GIS Mapping Washington St.pdf](#)

---

Hi Sam,

As this is primarily and interior remodeling I have limited comments.

1. With the CSM recorded and the transfer of property from US Venture to the new owners were the appropriate ERU modifications to both the original Venture property and the new CSM completed for billing? I included a quick markup of the Utility form with the ERU's to be removed from the original Venture billing and the new billing for 420 S Washington, assuming they install the green space along the right of way. The developer should completely fill out the form and submit it to the village.
2. I am working with the water department to determine the location of the water service for the parcel. The public watermain is on an easement thru this and Venture's remaining property. The location of the watermain is not exactly known as it is not able to be traced. This main was installed before my time (pre 1989). I do know that the water superintendent at the time did not want trace wire placed on plastic main, so there is no way to field locate it now. I do have some old drawings prepared in the early 2000's when Venture did an addition in this area. These drawings indicate that the watermain exists under the old carwash that is a part of 420 S Washington. Once the water department has fully investigated we can review this further. Not sure if there is anything we want to address with this situation now other than to make sure the public watermain easement is shown correctly on the newly approved CSM.
3. Sanitary is served off of the Combined Locks 8 inch sanitary line on the east side of Washington St. It may be a good idea to require televising this line to determine if it is in compliance with our ordinance as a change in ownership and use may be a good trigger to make sure all is up to current code. There was a building in this location in 1957. It appears that the current building went in between 1980 and 1992. Not sure if they used the original sanitary line or installed a new one. If a full new line was installed at the time the Express Station was built, there is a good chance it is in compliance to at least the road right of way.
4. I would concur with your recommendations on driveway access to the site.

Let me know if you have any questions.

Thanks,  
Brad

## **Brad D. Werner, P.E.**

Vice President / Sr Municipal Engineer



1445 McMahon Dr | Neenah, WI 54956

O:920.751.4200 x225 | C:920.858.6072

[website](#) | [facebook](#) | [linkedin](#) | [instagram](#)

### **Confidentiality Statement**

THE INFORMATION CONTAINED IN THIS E-MAIL IS INTENDED FOR PERSONAL AND CONFIDENTIAL USE OF THE DESIGNATED RECIPIENT(S) NAMED ABOVE. This message may be a client communication, and as such is privileged and confidential. If the reader(s) of this message is not the intended recipient(s) or agent(s) responsible for delivering it to the intended recipient(s), you are hereby notified that you have received this message in error, and that any review, dissemination, distribution, or copying of this message is strictly prohibited. If you have received this communication in error, please notify us by telephone and delete the original message. Thank you.