



VILLAGE OF KIMBERLY, WI

NOTICE OF VILLAGE PLAN COMMISSION MEETING

DATE: Tuesday, November 19, 2024
TIME: 5:00 pm
LOCATION: Village Hall, Rick J. Hermus Council Chambers
515 W. Kimberly Ave.
Kimberly, WI 54136

Notice is hereby given that a Plan Commission meeting will be held on Tuesday, November 19, 2024, at the Village Hall. This meeting is open to the public and the agenda is listed below.

- 1) Call to Order
- 2) Roll Call
- 3) Moment of Silent Reflection, Pledge of Allegiance
- 4) Approval of Minutes from the 09/17/2024 Meeting
- 5) Unfinished Business
 - a) None
- 6) New Business for Consideration and Approval
 - a) Certified Survey Map – Lot Consolidation – Aspire Senior Living Community located at 825 Cobblestone Ln
 - b) Certified Survey Map – Lot Consolidation – Crane Engineering Site located at 707 Ford Street
 - c) Site & Architectural Review – Crane Engineering Building Expansion located at 707 Ford Street
 - d) Affidavit of Correction – Kimberly Industrial Park Plat – Removal of the 30 Foot Front Yard Setback
 - e) Site & Architectural Review – Clubhouse remodel for proposed wine bar and social space located at 345 N Main Street
- 7) Adjournment

Plan Commission

Please join my meeting from your computer, tablet or smartphone.

<https://meet.goto.com/894788813>

You can also dial in using your phone.

Access Code: 894-788-813

United States (Toll Free): [1 866 899 4679](tel:18668994679)

United States: [+1 \(571\) 317-3116](tel:+15713173116)

Any person wishing to attend the meeting who because of their disability is unable to attend, is requested to contact the ADA Coordinator at 920-788-7500 at least 48 hours prior to the meeting so that reasonable accommodations may be made.

**VILLAGE OF KIMBERLY
PLAN COMMISSION MINUTES
09/17/2024**

A meeting of the Village Kimberly Plan Commission was called to order on Tuesday, September 19, 2024 at 5:00pm in the Rick J. Hermus Council Chambers, 515 W. Kimberly Ave by President Kuen.

Commissioners Present: President Chuck Kuen, Commissioners: Norb Karner, Todd Schneider, Jeremy Freund and Dean Schiesl
Commissioners Excused: Commissioner Dave Vander Velden
Staff Present: Deputy Clerk Erica Ziegert, Administrator/Public Works Director Danielle Block and Brad Werner of McMahon (appearing via phone)

Approval of Minutes from the 08-20-2024 Meeting

Commissioner Karner moved, Commissioner Schiesl seconded the motion to approve the minutes from the 08-20-2024 Plan Commission meeting. Motion carried by unanimous vote.

Unfinished Business

None

New Business

Site & Architectural Review – Aspire Senior Living Community Phase 2, New Addition, 100,008 sq ft, located at 825 Cobblestone Ln

Commissioner Karner moved, Commissioner Schneider seconded the motion to approve the site plan and architectural components of the Aspire Phase 2 development, contingent upon the following: revised Storm Water Management Plan, Recorded Storm Water Maintenance Agreement, proper verification of site drainage and grading, completion of Fire Department requirements, Certified Survey Map to combine the parcels, installation of new 6” water service and proper abandonment of existing service and additional parking stalls. Motion carried by unanimous vote.

Review Preliminary & Final Blue at the Trail Condominium Plat

Commissioner Schiesl moved, Commissioner Karner seconded the motion to approve the preliminary and final Blue at the Trail Condominium Plat. Motion carried by unanimous vote.

Adjournment

Commissioner Karner moved, Commissioner Freund seconded the motion to adjourn. Motion carried by unanimous vote at 5:13pm.

Erica Ziegert
Deputy Clerk
Dated 09/18/2024



Village of Kimberly Request for Plan Commission Recommendation

ITEM DESCRIPTION: Certified Survey Map – Lot Combination – 825 Cobblestone Lane – Aspire Senior Living Community (Parcels 250-0959-04 and 250-0959-05)

REPORT PREPARED BY: Sam Schroeder, Community Development Director

REPORT DATE: November 19, 2024

EXPLANATION: Kimberly ALF LLC & Kimberly IL LLC have submitted a certified survey map (CSM) to combine two existing lots into one larger lot to allow for an expansion of the existing building as previously approved by the plan commission. Both properties are zoned B-1, business general district and meet the regulations and restrictions of the zoning code.

Attached to this staff report includes:

1. CSM Application
2. CSM

RECOMMENDED ACTION: Staff recommends approval of the proposed Certified Survey Map as presented.



VILLAGE OF KIMBERLY
Plan Commission Application
Certified Survey Map
Plat
Planned Unit Development

Submit to:

Street Department
426 W. Kimberly Ave.
Kimberly WI 54136
920-788-7507

Applicant Information

Petitioner: Kimberly ALF LLC & Kimberly IL LLC Date: 10/22/2024

Petitioner Address: 7901 West National Avenue, Suite C City: West Allis State: WI Zip: 53214

Telephone #: (414) 308-6142 Fax: () _____ email: aklecker@msphousing.com

Status of Petitioner (please check one): ☒ Owner ☐ Representative ☐ Tenant ☐ Prospective Buyer

Petitioner's Signature (required): *Mike Pinkerton*

Owner Information

Owner(s): Kimberly ALF LLC & Kimberly IL LLC Date: 10/22/2024

Owner(s) Address: 7901 West National Avenue, Suite C City: West Allis State: WI Zip: 53214

Telephone #: (414) 308-6142 Fax: () _____ email: aklecker@msphousing.com

Ownership Status (please check one): ☐ Individual ☐ Trust ☒ Partnership ☐ Corporation

Property Owner Consent (required):

By signature hereon, I/We acknowledge that Village officials and/or employees may, in the performance of their functions and duties, enter upon the property to inspect or gather other information necessary to process this application. I also understand that all meeting dates are tentative and may be postponed by the Village for incomplete submissions or other administrative reasons.

Property Owner's Signature: *Mike Pinkerton* Date: 10/22/2024

CSM/Subdivision Information

Address/Location of Proposed Project: 825 Cobblestone Lane, Kimberly WI 54136 Zoning: B1: Business General

Proposed Project or Use: Combination of lots for senior living building expansion

Current or Last Use of Property: senior living facility

Reason for Land Division: Combination of lots for senior living building expansion

Proposed Number of Lots: 1 Proposed Lot Sizes: Min. _____ Max. _____ Average: 346,555 S.F.

Acreage Contained in Parcel(s): 7.956 acres

Land Uses Surrounding this Address: North: Business

South: County Trunk Highway CE

East: Residential

West: Business - Daycare

Significant Natural Amenities (slope, vegetation, large tree stands, etc.): Existing stormwater pond

Floodplains, navigable streams, wetlands, and other development restrictions: N/A

Note:

- It is recommended that the applicant meet with Village Department staff prior to submittal to review the project and submitted materials.
- Application Fees must be submitted with the application.

SUBMITTAL REQUIREMENTS – Must accompany the application to be complete.





➤ Basic Materials

- ☒ Completed Application
- ☒ Legal Description of Site
- ☐ Two (2) full size paper prints of the preliminary or final plat prepared in accordance with Village Subdivision Regulations
- ☐ Twelve (12) copies of the subdivision plat reduced to 8 ½" x 11"
- ☒ One copy of the Certified Survey Map
- ☒ Digital (PDF) Copy of Preliminary Plat, Final Plat, or CSM

Staff Use Only:

Fees Collected: _____ Date Received: _____ Staff Initials: _____

BEING A COMBINATION OF LOTS 1 AND 2 OF CERTIFIED SURVEY MAP 7105 LOCATED IN GOVERNMENT LOTS 7 AND 8 OF SECTION 27, TOWNSHIP 21 NORTH, RANGE 18 EAST, IN THE VILLAGE OF KIMBERLY, OUTAGAMIE COUNTY, WISCONSIN

-  – INDICATES 0.75 INCH DIA. IRON REBAR FOUND.
 – INDICATES 1.0 INCH DIA. I.D. PIPE FOUND.
 – INDICATES 0.75 INCH DIA. STEEL REBAR FOUND.
 – INDICATES 1.25 INCH DIA. STEEL REBAR FOUND.

ALL DIMENSIONS SHOWN ARE MEASURED TO THE NEAREST HUNDREDTH OF A FOOT.

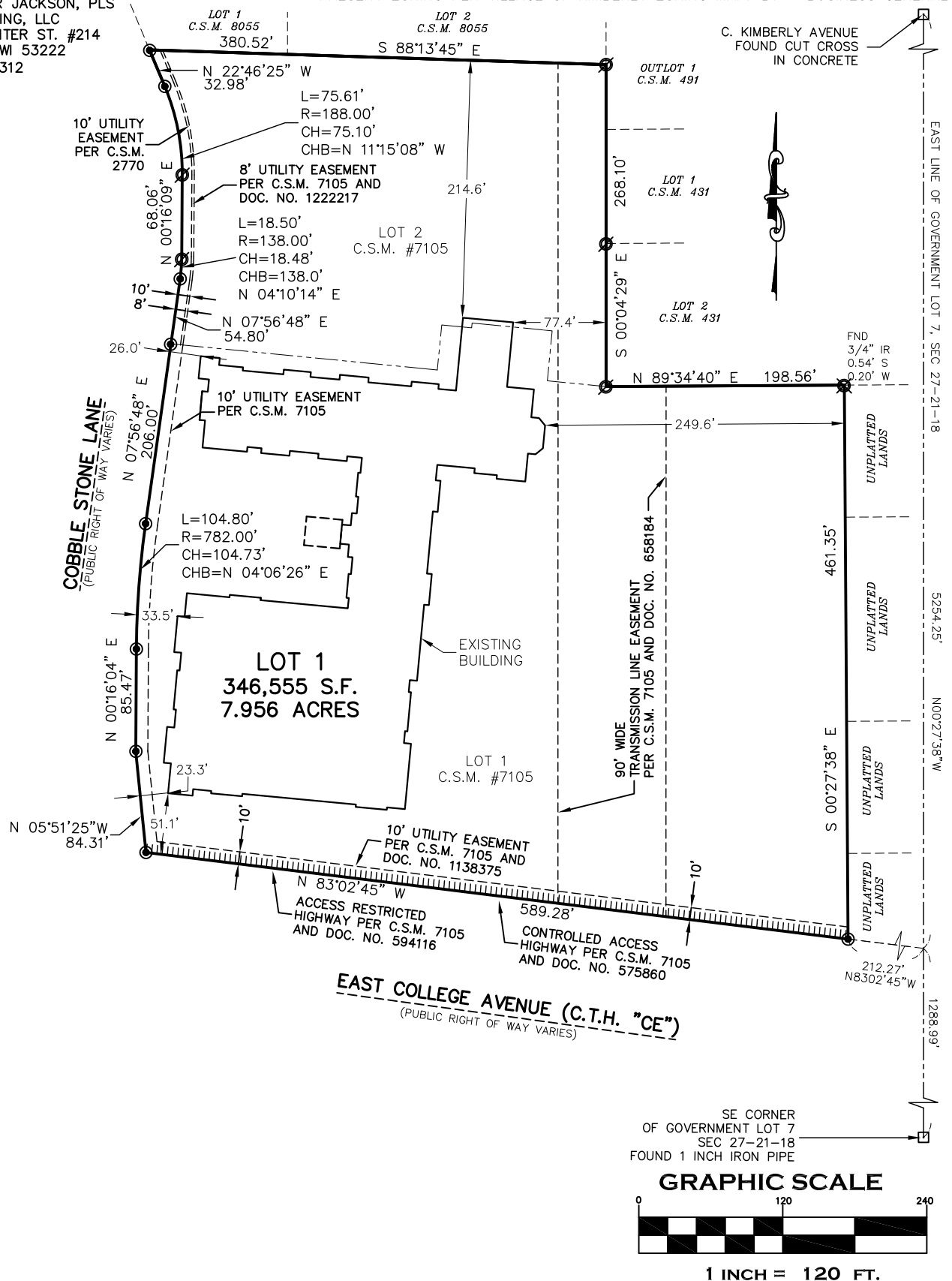
ALL BEARINGS SHOWN ARE REFERENCED TO THE EAST LINE OF GOVERNMENT LOT 7
SECTION 27 T21N R18E, WHICH BEARS N 00°27'38" W COORDINATES PER OUTAGAMIE
COUNTY COORDINATE SYSTEM.

PREPARED FOR:
KIMBERLY ALF LLC
1295 NORTHLAND DR.
MENDOTA HEIGHTS, MN 55120

ACCESS RESTRICTION: LOT 1 IS HEREBY RESTRICTED IN THAT NO OWNER, POSSESSOR, USER NOR LICENSEE, NOR OTHER PERSONS SHALL HAVE ANY RIGHT OF DIRECT VEHICULAR INGRESS AND EGRESS WITH COUNTY TRUNK HIGHWAY CE. ALL ACCESS TO THIS LOT SHALL BE FROM COBBLE STONE LANE, IT BEING EXPRESSLY INTENDED THAT THIS RESTRICTION SHALL CONSTITUTE A RESTRICTION FOR THE BENEFIT OF THE PUBLIC ACCORDING TO SECTION 236.293 OF THE WISCONSIN STATUTES

PREPARED BY:
CHRISTOPHER JACKSON, PLS
CJ ENGINEERING, LLC
9205 W. CENTER ST. #214
MILWAUKEE, WI 53222
(414) 443-1312

PRESENT ZONING PER VILLAGE OF KIMBERLY ZONING MAP: B1 – BUSINESS GENERAL



CERTIFIED SURVEY MAP NO. _____

BEING A COMBINATION OF LOTS 1 AND 2 OF CERTIFIED SURVEY MAP 7105 LOCATED IN GOVERNMENT LOTS 7 AND 8 OF SECTION 27, TOWNSHIP 21 NORTH, RANGE 18 EAST, IN THE VILLAGE OF KIMBERLY, OUTAGAMIE COUNTY, WISCONSIN

SURVEYOR'S CERTIFICATE

I, CHRISTOPHER JACKSON, A PROFESSIONAL LAND SURVEYOR, HEREBY CERTIFY:

THAT I HAVE SURVEYED, DIVIDED AND MAPPED A COMBINATION OF LOTS 1 AND 2 OF CERTIFIED SURVEY MAP NUMBER 7105, RECORDED IN VOLUME 42 OF CERTIFIED SURVEY MAPS ON PAGE 7105, AS DOCUMENT NO. 2061924, LOCATED IN GOVERNMENT LOTS 7 AND 8 OF SECTION 27, TOWNSHIP 21 NORTH, RANGE 18 EAST, IN THE VILLAGE OF KIMBERLY, OUTAGAMIE COUNTY.

CONTAINING: 346,555 SQUARE FEET OR 7.956 ACRES

THAT I HAVE MADE SUCH SURVEY, LAND DIVISION AND MAP BY THE DIRECTION OF KIMBERLY ALF LLC, OWNERS OF SAID LAND.

THAT SUCH MAP IS A CORRECT REPRESENTATION OF ALL EXTERIOR BOUNDARIES OF THE LAND SURVEYED AND THE DIVISION THEREOF MADE.

THAT I HAVE FULLY COMPLIED WITH THE PROVISIONS OF CHAPTER 236.34 OF THE STATUTES OF THE STATE OF WISCONSIN AND CHAPTER 514-16 OF THE VILLAGE OF KIMBERLY CODE OF ORDINANCES IN SURVEYING, DIVIDING, AND MAPPING THE SAME.

DATED THIS _____ DAY OF _____, 20__.

CHRISTOPHER A. JACKSON
PROFESSIONAL LAND SURVEYOR, S-2851
STATE OF WISCONSIN

CERTIFIED SURVEY MAP NO. _____

BEING A COMBINATION OF LOTS 1 AND 2 OF CERTIFIED SURVEY MAP 7105 LOCATED IN GOVERNMENT LOTS 7 AND 8 OF SECTION 27, TOWNSHIP 21 NORTH, RANGE 18 EAST, IN THE VILLAGE OF KIMBERLY, OUTAGAMIE COUNTY, WISCONSIN

OWNER'S CERTIFICATE

KIMBERLY ALF LLC, A WISCONSIN LIMITED LIABILITY COMPANY EXISTING UNDER THE LAWS OF THE STATE OF WISCONSIN AS OWNER, DOES HEREBY CERTIFY THAT SAID COMPANIES CAUSED THE LAND DESCRIBED ON THIS MAP TO BE SURVEYED, DIVIDED AND MAPPED AS REPRESENTED ON THIS MAP.

IN WITNESS WHEREOF, KIMBERLY ALF LLC, HAS CAUSED THESE PRESENTS TO BE SIGNED BY MILO PINKERTON, MANAGER, THIS _____ DAY OF _____, 20__ .

KIMBERLY ALF LLC
MILO PINKERTON
MANAGER

STATE OF WISCONSIN)
MILWAUKEE COUNTY) SS

PERSONALLY CAME BEFORE ME THIS ____DAY OF _____, 20__, MILO PINKERTON, TO ME KNOWN TO BE THE MANAGER OF KIMBERLY ALF LLC, AND THE PERSON WHO EXECUTED THE FOREGOING INSTRUMENT AS SUCH OFFICERS OF SAID COMPANY AND ACKNOWLEDGED THE SAME.

NOTARY PUBLIC, STATE OF WISCONSIN
MY COMMISSION EXPIRES_____,20__

CONSENT OF CORPORATE MORTGAGEE

BREMER BANK NATIONAL ASSOCIATION, AN ASSOCIATION DULY ORGANIZED AND EXISTING UNDER AND BY VIRTUE OF THE LAWS OF THE STATE OF WISCONSIN, MORTGAGEE OF THE ABOVE DESCRIBED LAND, DOES HEREBY CONSENT TO THE SURVEYING, DIVIDING AND MAPPING OF THE LAND DESCRIBED IN THE FORGOING AFFIDAVIT OF CHRISTOPHER A. JACKSON, SURVEYOR, AND DOES HEREBY CONSENT TO THE ABOVE CERTIFICATION OF OWNERS.

IN WITNESS WHEREOF, THE SAID BREMER BANK NATIONAL ASSOCIATION, HAS CAUSED THESE PRESENTS TO BE SIGNED BY _____, AT _____, WISCONSIN, THIS _____ DAY OF _____, 20__.

BY: _____

STATE OF _____)
_____ COUNTY) SS

NAME:
TITLE:

PERSONALLY CAME BEFORE ME ON _____, 20__, BY _____, IN HIS/HER CAPACITY AS _____ OF BREMER BANK NATIONAL ASSOCIATION, TO ME KNOWN TO BE THE PERSON WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THE SAME.

NOTARY PUBLIC, STATE OF _____
MY COMMISSION EXPIRES_____

CERTIFIED SURVEY MAP NO. _____

BEING A COMBINATION OF LOTS 1 AND 2 OF CERTIFIED SURVEY MAP 7105 LOCATED IN GOVERNMENT LOTS 7 AND 8 OF SECTION 27, TOWNSHIP 21 NORTH, RANGE 18 EAST, IN THE VILLAGE OF KIMBERLY, OUTAGAMIE COUNTY, WISCONSIN

VILLAGE BOARD OF KIMBERLY APPROVAL

APPROVED BY THE VILLAGE BOARD OF KIMBERLY, WISCONSIN ON THE _____ DAY OF _____ , 20__ .

VILLAGE PRESIDENT
CHARLES A. KUEN

DATE

VILLAGE CLERK
JENNIFER WEYENBERG

DATE

CERTIFICATE OF TREASURERS

I, BEING THE DULY ELECTED, QUALIFIED AND ACTING TREASURER, DO HEREBY CERTIFY THAT IN ACCORDANCE WITH THE RECORDS IN MY OFFICE THERE ARE NO UN-PAID TAXES OR UN-PAID SPECIAL ASSESSMENTS ON ANY OF THE LANDS INCLUDED IN THIS CERTIFIED SURVEY MAP AS OF:

VILLAGE _____ DATE _____

COUNTY _____ DATE _____

VILLAGE TREASURER _____ DATE _____
JENNIFER WEYENBERG

COUNTY TREASURER _____ DATE _____
ROCHELLE OSKEY



Village of Kimberly Request for Plan Commission Recommendation

ITEM DESCRIPTION: Certified Survey Map – Lot Combination – 707 Ford Street – Crane Engineering Site
(Parcels 250-1928-00, 250-1929-00, 250-1930-00 and 250-1931-00)

REPORT PREPARED BY: Sam Schroeder, Community Development Director

REPORT DATE: November 19, 2024

EXPLANATION: Robert E. Lee & Associates on behalf of Crane Engineering has submitted a certified survey map (CSM) to combine four existing lots into one larger lot to allow for an expansion of the existing building. All four properties are zoned I-1, limited industrial district and meet the regulations and restrictions of the zoning code.

The existing lots per the Kimberly Industrial Park Plat, do have a 30-foot front yard setback designated on each lot as recorded on the plat. As noted in the CSM, it is the intention of the applicant and Village staff to request to release/reduce this plat restriction through an affidavit of correction, included as part of this Plan Commission packet. If approved by the Village Board, the 30-foot restriction listed on the plat would be removed, however, the covenants could still be enforced until such a time these were also amended.

Attached to this staff report includes:

1. CSM Application
2. CSM

RECOMMENDED ACTION: Staff recommends approval of the proposed Certified Survey Map as presented contingent upon an affidavit of correction removing the 30-foot front yard setback is approved by the Village Board prior to recording.



VILLAGE OF KIMBERLY
Plan Commission Application
Certified Survey Map
Plat
Planned Unit Development

Submit to:

Street Department
426 W. Kimberly Ave.
Kimberly WI 54136
920-788-7507

Applicant Information

Petitioner: TROY HEWITT Date: 10/29/2024

Petitioner Address: 1250 CENTENNIAL CENTRE BLVD City: HOBART State: WI Zip: 54155

Telephone #: (920) 662-9641 Fax: () _____ email: thewitt@releeinc.com

Status of Petitioner (please check one): ☐ Owner ☒ Representative ☐ Tenant ☐ Prospective Buyer

Petitioner's Signature (required): 

Owner Information

Owner(s): CAROLE D. CRANE ESTATE TAX SHELTERED TRUST Date: 10/29/2024


Owner(s) Address: PO BOX 38 City: KIMBERLY State: WI Zip: 54136

Telephone #: (920) 250-7120 Fax: () _____ email: jimatf1@gmail.com

Ownership Status (please check one): ☐ Individual ☒ Trust ☐ Partnership ☐ Corporation

Property Owner Consent (required):

By signature hereon, I/We acknowledge that Village officials and/or employees may, in the performance of their functions and duties, enter upon the property to inspect or gather other information necessary to process this application. I also understand that all meeting dates are tentative and may be postponed by the Village for incomplete submissions or other administrative reasons.

Property Owner's Signature:  Date: 11/1/24

CSM/Subdivision Information

Address/Location of Proposed Project: 707 FORD STREET Zoning: I-1

Proposed Project or Use: INDUSTRIAL

Current or Last Use of Property: INDUSTRIAL

Reason for Land Division: COMBINING PARCELS

Proposed Number of Lots: 1 Proposed Lot Sizes: Min. 6.501 AC Max. _____ Average: _____

Acreage Contained in Parcel(s): 6.501

Land Uses Surrounding this Address: North: BUSINESS PARK

South: BUSINESS PARK

East: BUSINESS PARK

West: BUSINESS PARK

Significant Natural Amenities (slope, vegetation, large tree stands, etc.): _____

Floodplains, navigable streams, wetlands, and other development restrictions: _____

Note:

- It is recommended that the applicant meet with Village Department staff prior to submittal to review the project and submitted materials.
- Application Fees must be submitted with the application.

SUBMITTAL REQUIREMENTS – Must accompany the application to be complete.

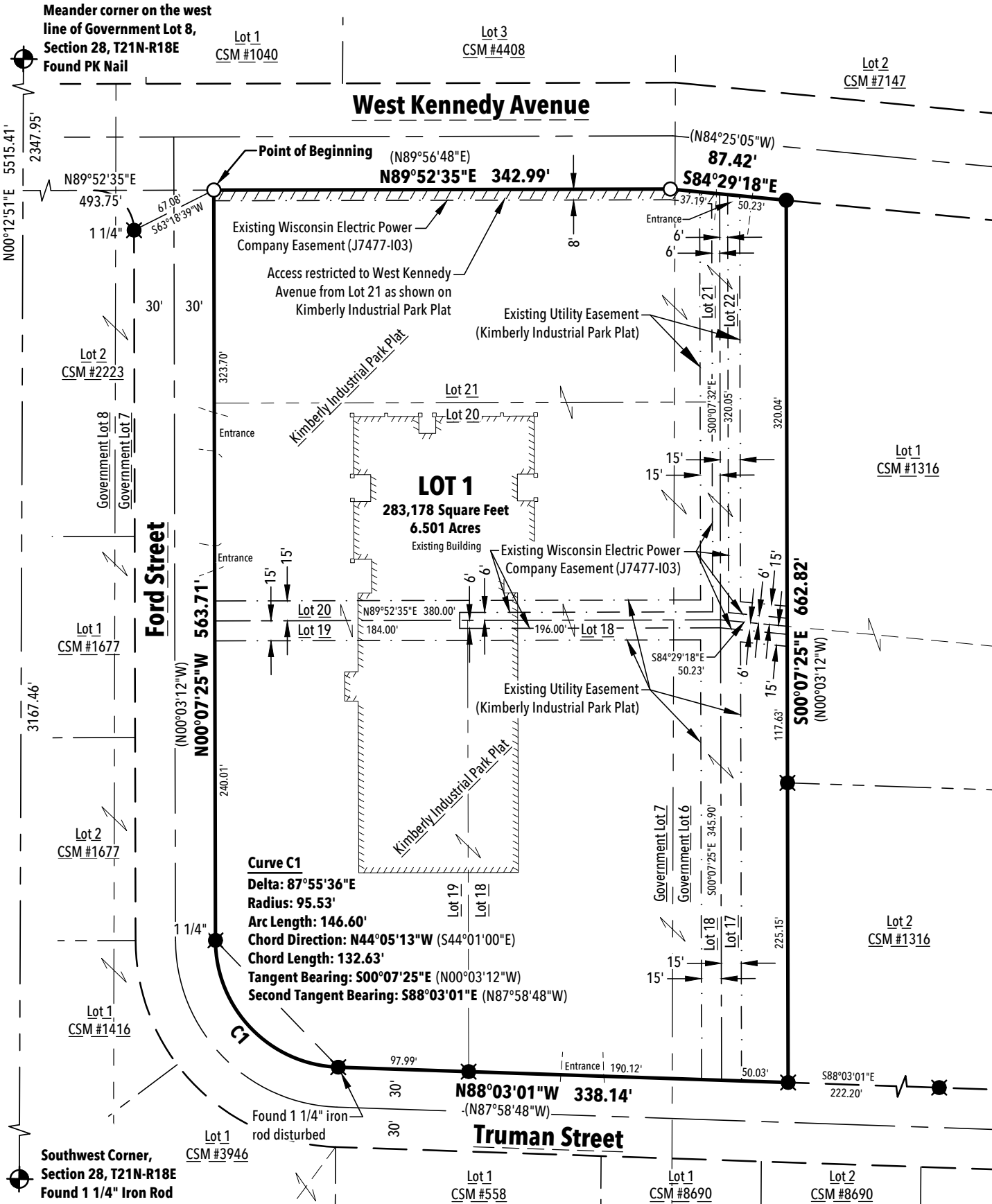
- **Basic Materials**
 - ☐ Completed Application
 - ☐ Legal Description of Site
 - ☐ Two (2) full size paper prints of the preliminary or final plat prepared in accordance with Village Subdivision Regulations
 - ☐ Twelve (12) copies of the subdivision plat reduced to 8 ½" x 11"
 - ☐ One copy of the Certified Survey Map
 - ☐ Digital (PDF) Copy of Preliminary Plat, Final Plat, or CSM

Staff Use Only:

Fees Collected: _____ Date Received: _____ Staff Initials: _____
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CERTIFIED SURVEY MAP

ALL OF LOTS 18, 19, 20 AND 21, PART OF LOTS 17 AND 22, KIMBERLY INDUSTRIAL PARK PLAT, CABINET E, PAGE 10, DOCUMENT NUMBER 891343, LOCATED IN PART OF GOVERNMENT LOTS 6 AND 7, SECTION 28, TOWNSHIP 21 NORTH, RANGE 18 EAST, VILLAGE OF KIMBERLY, OUTAGAMIE COUNTY, WISCONSIN



LEGEND

- Set 1" x 18" Iron Pipe with cap weighing 1.38 lbs./lin. ft.
- Existing 1" Iron Pipe
- ⊗ Existing 3/4" Iron Rod Unless Noted
- ⊕ Recorded County Monument

(xx.xx') Record bearing or distance

SCALE: 1" = 100'



Bearings are referenced to the Outagamie County Coordinate System. The west line of Government Lot 8 of Section 28, T21N-R18E bears N00°12'51"E.

REL Robert E. Lee & Associates, Inc.

1250 Centennial Centre Blvd | Hobart, WI | 920-662-9641 | releinc.com

R:\2400\2450\2450036\dwg\2450036_csm.dwg Drafted by: Troy E. Hewitt 10/02/24

CERTIFIED SURVEY MAP

ALL OF LOTS 18, 19, 20 AND 21, PART OF LOTS 17 AND 22, KIMBERLY INDUSTRIAL PARK PLAT, CABINET E, PAGE 10,
DOCUMENT NUMBER 891343, LOCATED IN PART OF GOVERNMENT LOTS 6 AND 7, SECTION 28, TOWNSHIP 21 NORTH,
RANGE 18 EAST, VILLAGE OF KIMBERLY, OUTAGAMIE COUNTY, WISCONSIN

SURVEYOR'S CERTIFICATE:

I, Troy E. Hewitt, Professional Land Surveyor, do hereby certify that by the order and under the direction of the owners listed hereon, I have surveyed, mapped and divided all of Lots 18, 19, 20 and 21, part of Lots 17 and 22, Kimberly Industrial Park Plat, Cabinet E, Page 10, Document Number 891343, located in part of Government Lots 6 and 7, Section 28, Township 21 North, Range 18 East, Village of Kimberly, Outagamie County, Wisconsin more fully described as follows:

Commencing at the Southwest corner of said Section 28; thence N00°12'51"E, 3167.52 feet on the west line of said Government Lot 8 to the westerly extension of the south right of way of West Kennedy Avenue; thence N89°52'35"E, 493.75 feet on said westerly extension and continuing on said south right of way and its easterly extension to the northwest corner of said Lot 21, the POINT OF BEGINNING; thence continuing N89°52'35"E, 342.99 feet on said south right of way; thence S84°29'18"E, 87.42 feet on said south right of way to the northwest corner of Lot 1, Volume 7 of Certified Survey Maps, Page 1316, Map Number 1316, Document Number 1044275 (CSM #1316); thence S00°07'25"E, 662.82 feet on the west line of said Lot 1 and continuing on the west line of Lot 2, CSM #1316 to the north right of way of Truman Street; thence N88°03'01"W, 338.14 feet on said north right of way; thence 146.60 feet on the arc of a 95.53 foot radius curve to the right, having a long chord which bears N44°05'13"W, 132.63 feet on said north right of way to the east right of way of Ford Street; thence N00°07'25"W, 563.71 feet on said east right of way to the Point of Beginning.

Said parcel contains 283,178 Square Feet (6.501 Acres) of land more or less. Subject to any and all easements and restrictions of record.

That the within map is a true and correct representation of the exterior boundaries of the land surveyed and the division of that land and that I have fully complied with the provisions of Chapter 236.34 of the Wisconsin Statutes and Chapter 514 Subdivision of Land of the Village of Kimberly in the surveying, mapping and dividing of the same.

Dated this _____ day of _____, 2024.

Troy E. Hewitt PLS #2831
ROBERT E. LEE & ASSOCIATES, INC.

This certified survey map is contained wholly within the property described in the following recorded instrument.

<u>Owner of Record</u>	<u>Recording Information</u>	<u>Tax Parcel ID Number</u>
Carole D. Crane Estate Tax Sheltered Trust	Document Number 2289103	250192800, 250192900, 250193000, 250193100

**ALL OF LOTS 18, 19, 20 AND 21, PART OF LOTS 17 AND 22, KIMBERLY INDUSTRIAL PARK PLAT, CABINET E, PAGE 10,
DOCUMENT NUMBER 891343, LOCATED IN PART OF GOVERNMENT LOTS 6 AND 7, SECTION 28, TOWNSHIP 21 NORTH,
RANGE 18 EAST, VILLAGE OF KIMBERLY, OUTAGAMIE COUNTY, WISCONSIN**

As owner, I do hereby certify that I caused the land described on this Certified Survey Map to be surveyed, mapped and divided as represented on this map. I also do further certify that this Certified Survey Map is required by s-236.34 to be submitted to the following for approval or objection: VILLAGE OF KIMBERLY

My commission expires: _____

CERTIFIED SURVEY MAP

ALL OF LOTS 18, 19, 20 AND 21, PART OF LOTS 17 AND 22, KIMBERLY INDUSTRIAL PARK PLAT, CABINET E, PAGE 10,
DOCUMENT NUMBER 891343, LOCATED IN PART OF GOVERNMENT LOTS 6 AND 7, SECTION 28, TOWNSHIP 21 NORTH,
RANGE 18 EAST, VILLAGE OF KIMBERLY, OUTAGAMIE COUNTY, WISCONSIN

VILLAGE OF KIMBERLY APPROVAL CERTIFICATE:

Approved for the Village of Kimberly on the _____ day of _____, 2024.

Chuck Kuen
Village President

BUILDING SETBACK NOTE

A 30' building setback line was labeled and depicted on the Kimberly Industrial Park Plat referencing the Kimberly Industrial Park Plat Covenants. This setback is removed from this Certified Survey Map. Please reference said covenants and the local Village of Kimberly Zoning Ordinance for any setback restrictions.

TREASURERS CERTIFICATE:

As duly elected/appointed Outagamie County Treasurer and Village of Kimberly Treasurer, we hereby certify that there are no unpaid taxes or unpaid special assessments on any of the lands shown hereon.

Rochelle Oskey
Outagamie County Treasurer

Jennifer Weyenbert
Village of Kimberly Treasurer



Village of Kimberly Request for Plan Commission Recommendation

ITEM DESCRIPTION: Crane Engineering Site & Building Plan Review

REPORT PREPARED BY: Sam Schroeder, Community Development Director

REPORT DATE: November 19, 2024

EXPLANATION: Robert E. Lee & Associates on behalf of Crane Engineering has submitted a site review application for a proposed building addition to the Crane Engineering building at 707 Ford Street. The site currently includes 4 parcels (250-1928-00, 250-1929-00, 250-1930-00 and 250-1931-00) totaling 6.501 acres all of which are zoned I-1, limited industrial district. As part of the approval the applicant also included a Certified Survey Map (CSM) to combine all 4 properties into one site.

Attached to this staff report includes:

1. Site Plan Review Application
2. Project Description
3. Plan Drawings

Scope of Construction – Reference Project Description and Plans for additional insight.

4. 43,000sf building addition to the southern portion of the building
5. Addition includes additional manufacturing and warehousing/staging areas
6. Façade material will be made up of an insulated metal panel
7. Project includes the addition of 50 on-site parking stalls
8. Project includes enhanced stormwater management on the SE portion of the site including new roof drains
9. New site lighting complies with applicable Village ordinances
10. New landscaping along the southern and western portions of the property will be provided

The staff zoning review identified the proposed project complies with applicable ordinances.

Staff has completed a review of the site for compliance with the Kimberly Municipal Code and Kimberly Industrial Park Covenants whereas the proposed project substantially meets code and notes the following:

11. **Setbacks.** As noted on the plat and recorded in the original covenants, there is an existing 30-foot front yard setback on these properties. This restriction is greater than the zoning requirements for the I-1 district which does not require any front yard setback. Unaware of the covenants, the proposed building was designed roughly 20+ feet from Ford and Truman Street. The project as presented would be contingent upon the Village Board approving an affidavit of correction to remove the 30-foot setback on the plat and both the Village Board and the property owners of the plat to reduce the setback restriction within the covenants.
12. **Parcel.** The structure/development cannot cross a parcel line. The four lots must be combined via Certified Survey Map.
13. **Stormwater.** The Applicant has submitted a stormwater management plan. This plan will need full review and approval by the Village of Kimberly. Upon acceptance a stormwater management agreement shall be recorded against the property.

14. **Building Inspections and Approvals.** Building plan review and inspections will be completed by the State of Wisconsin, unless delegation authority is completed by the Village of Kimberly.

RECOMMENDED ACTION: Staff recommends approval of the site plan and architectural components of the Crane Engineering building expansion, contingent upon the following:

1. A Certified Survey Map combining all four properties is recorded prior to the issuance of permit.
2. The 30-foot front yard setback as noted on the original plat and as documented in the covenants is released or reduced to allow the proposed development as presented.
3. Stormwater management plan shall be reviewed, and a stormwater management agreement is recorded for the property



VILLAGE OF KIMBERLY

Site Review Application

Submit to:

Planning & Zoning
515 W. Kimberly Ave.
Kimberly WI 54136
920-788-7500

Applicant Information

Petitioner: ROBERT E LEE & ASSOCIATES - AMON BREITENFELDT Date: 10/31/24
Petitioner Address: 1250 CENTENNIAL LEAF BLVD City: HOBART State: WI Zip: 54155
Telephone #: (910) 662-9641 Fax: () email: abreitenfeldt@releemc.com
Status of Petitioner (please check one): ☐ Owner ☒ Representative ☐ Tenant ☐ Prospective Buyer
Petitioner's Signature (required): Amon Breitenfeldt

Owner Information

Owner(s): JAMES S. CRANE Date: 11/1/24
Owner(s) Address: PO Box 38 City: Kimberly State: WI Zip: 54136
Telephone #: (239) 250 7120 Fax: () email: jimatf1@gmail.com
Ownership Status (please check one): ☐ Individual ☒ Trust ☐ Partnership ☐ Corporation

Property Owner Consent (required):

By signature hereon, I/We acknowledge that Village officials and/or employees may, in the performance of their functions and duties, enter upon the property to inspect or gather other information necessary to process this application. I also understand that all meeting dates are tentative and may be postponed by the Village for incomplete submissions or other administrative reasons.

Property Owner's Signature: James S. Crane Date: 11/1/24

Site Information

Address/Location of Proposed Project: 707 FORD STREET Zoning: I-1
Proposed Project or Use: CRANE ENGINEERING
Current or last Use of Property: CRANE ENGINEERING
Land Uses Surrounding this Address: North: INDUSTRIAL / COMMERCIAL
South: COMMERCIAL
East: INDUSTRIAL / COMMERCIAL
West: INDUSTRIAL

- It is recommended that the applicant meet with Village Department staff prior to submittal to review the project and submitted materials.
- Application Fees must be submitted with the application.

November 4, 2024

Ms. Danielle Block, Administrator / Director of Public Works
VILLAGE OF KIMBERLY
515 W Kimberly Ave
Kimberly, WI 54136

RE: Crane Engineering Expansion – Site Plan Application

Dear Ms. Block:

On behalf of Crane Engineering, Robert E. Lee & Associates, Inc. is submitting the attached site plan review application documents. Crane Engineering is proposing to construct a new 43,600 square foot building addition off the south and west ends of their existing building. The project also includes the construction of an additional 50-stall parking lot area and reconstructing the existing south end of the paved parking lot to relocate the loading dock area and add overhead doors along the building. Effects on the adjoining properties will be minimal as this business is already located on this property and the use will remain the same. Significant changes in traffic generation are not anticipated.

Please review at your earliest convenience and let us know if you have any questions or comments.

Sincerely,

ROBERT E. LEE & ASSOCIATES, INC.



Aaron Breitenfeldt, PE
Sr. Project Manager

AJB

ENC.



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FAX (920) 766-5004

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Greenfield, WI 53022
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FAX (262) 250-9740

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CRANE ENGINEERING

WISCONSIN

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REVISIONS

1	04.17.2024	J.R.S.
2		
3		
4		
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6		

PROJECT MANAGER:

K. VERSTEGEN

DESIGNER:

R. LINDSTROM

INTERIOR DESIGNER:

DRAWN BY:

J.R.S.

EXPEDITOR:

SUPERVISOR:

PRELIMINARY NO:

P24099

CONTRACT NO:

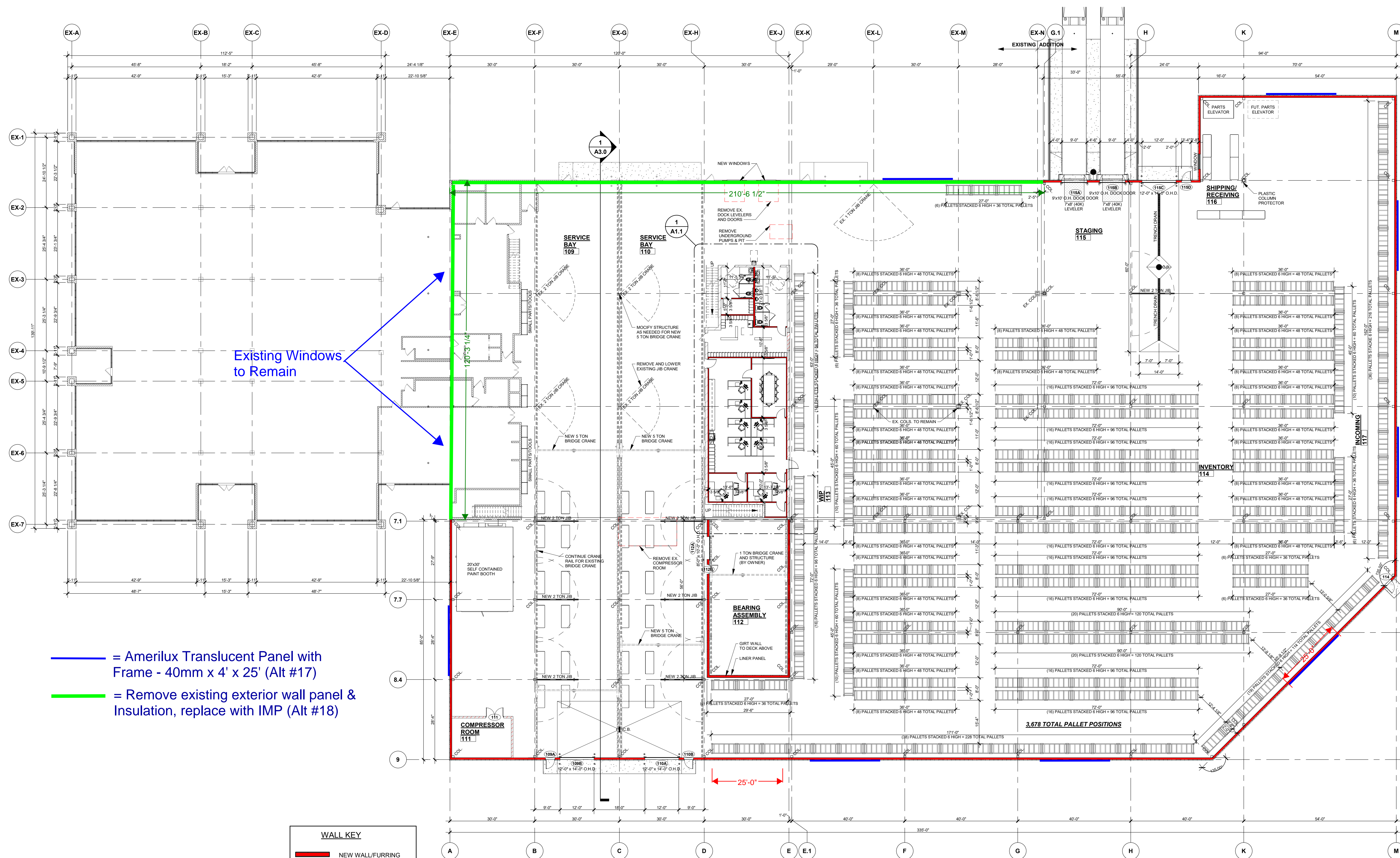
DATE:

03.25.2024

SHEET:

A1.0

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= Amerilux Translucent Panel with Frame - 40mm x 4' x 25' (Alt #17)

= Remove existing exterior wall panel & Insulation, replace with IMP (Alt #18)

WALL KEY

	NEW WALL/FURRING
	NEW MASONRY/ VENEER WALL
	NEW COOLER/ FREEZER WALLS
	NEW FOUNDATION WALL
	NEW IMP WALL
	NEW PRECAST WALL
	TYPICAL EXISTING WALL
	DEMO WALLS
	FIRE WALL OR FIRE BARRIER



FLOOR PLAN

1/16" = 1'-0"



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SUPERVISOR:

PRELIMINARY NO:

P24099

CONTRACT NO:

DATE:

03.25.2024

SHEET:

A2.0

DOOR & WINDOW VALUES			
WINDOWS:	U VALUE	0.22	
	SHGC	0.22	
	VT	0.22	
DOORS:	U VALUE	0.38	
(SWINGING)			
O.H. DOORS:	U VALUE	0.11	
(NON-SWINGING)			
DOORS:	U VALUE	0.22	
	SHGC	0.22	
	VT	0.22	
(90% GLAZING)			

WEST ELEVATION

1/16" = 1'-0"

NORTH ELEVATION

1/16" = 1'-0"

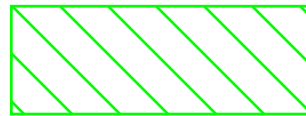
EAST ELEVATION

1/16" = 1'-0"

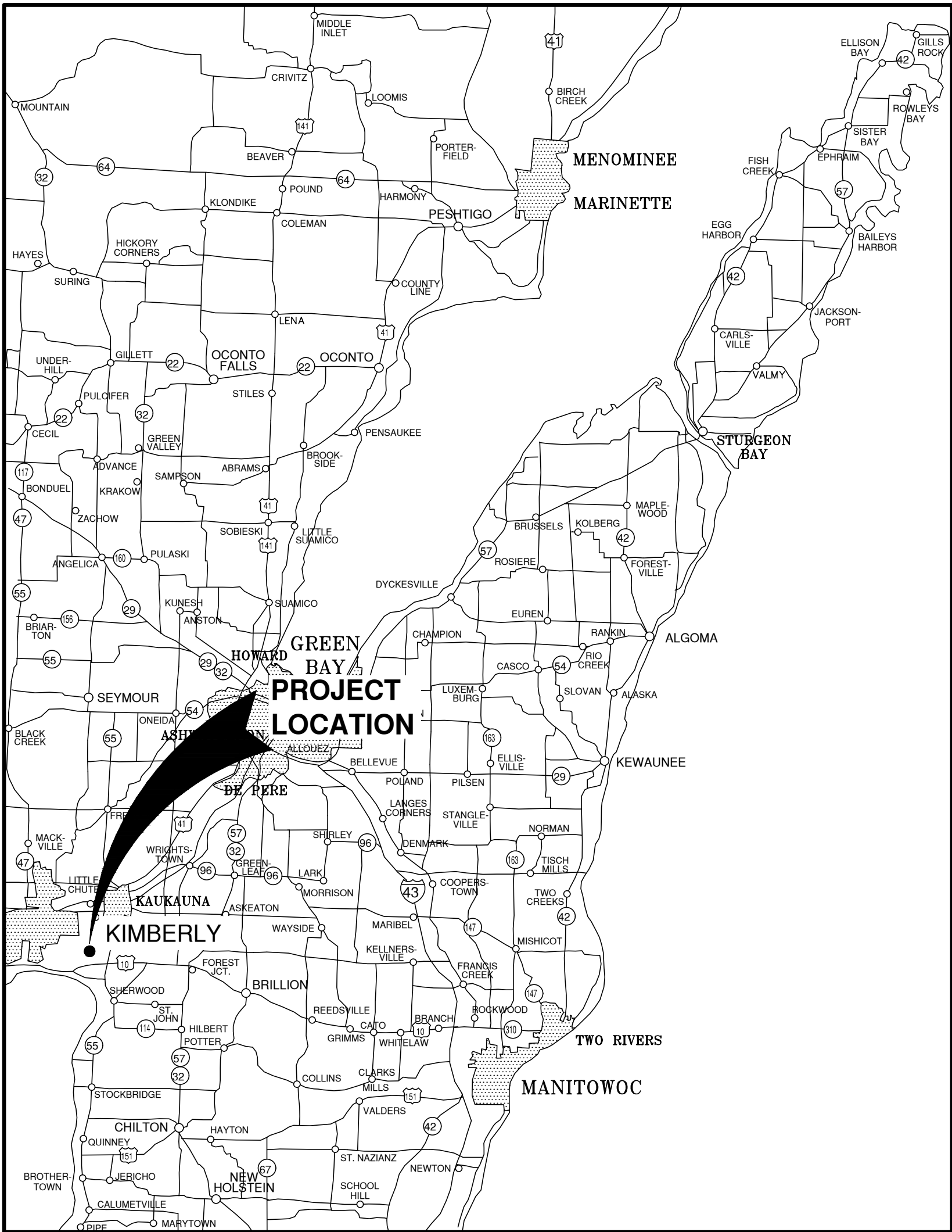
SOUTH ELEVATION

1/16" = 1'-0"

 = Amerilux Translucent Panel with Frame - 40mm x 4' x 25' (Alt #17)

 = Remove existing exterior wall panel & Insulation, replace with IMP (Alt #18)

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VICINITY MAP

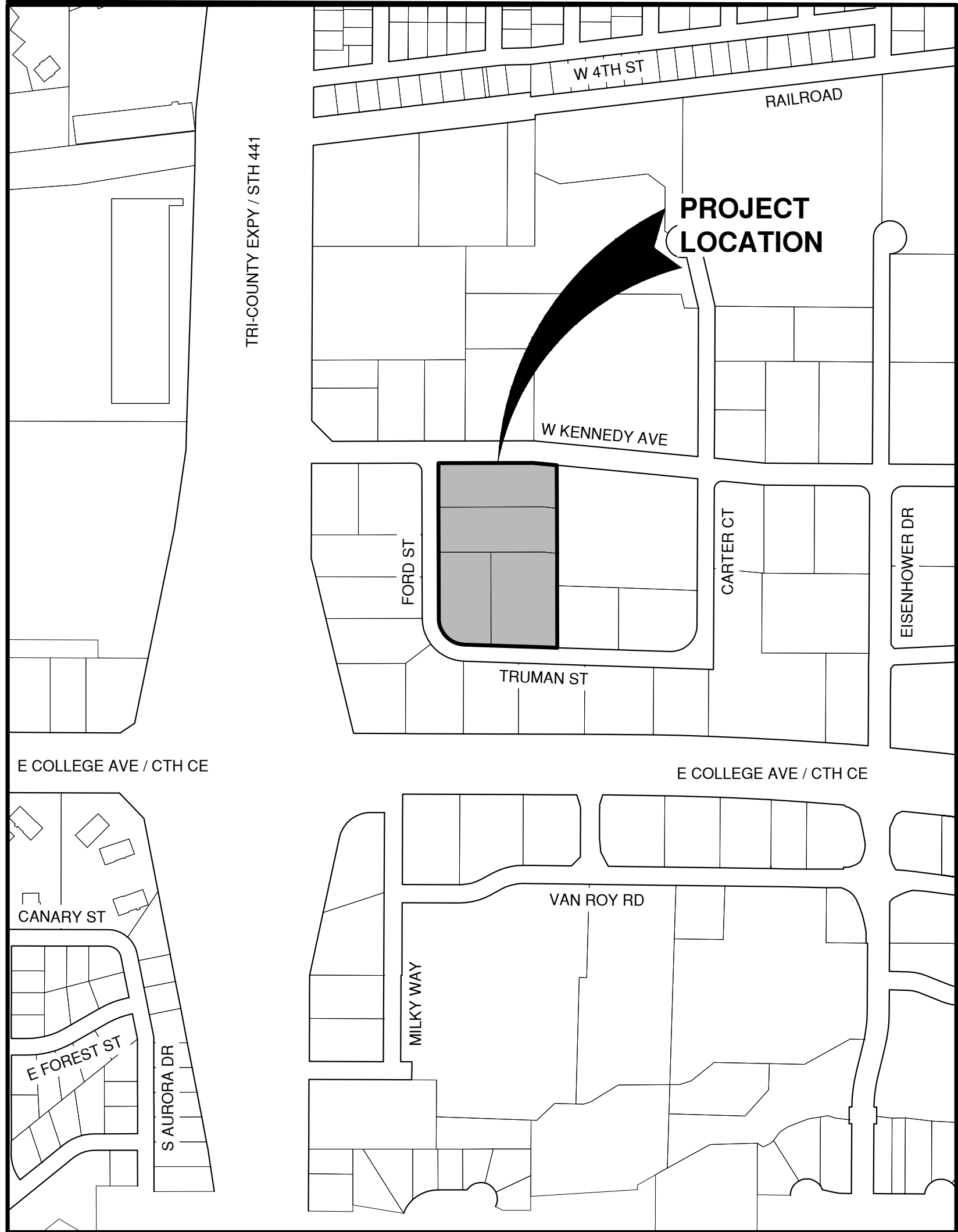
NOTE:
EXISTING UTILITIES SHOWN ON PLANS ARE APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING EXACT LOCATIONS AND ELEVATIONS OF ALL UTILITIES, WHETHER SHOWN OR NOT, FROM THE OWNERS OF THE RESPECTIVE UTILITIES. ALL UTILITY OWNERS SHALL BE NOTIFIED FOR LOCATES BY THE CONTRACTOR 72 HOURS PRIOR TO EXCAVATION.

NOTE:
ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO CONSTRUCTION AND SHALL CONFORM TO THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES CONSTRUCTION SITE EROSION CONTROL AND TECHNICAL STANDARDS.

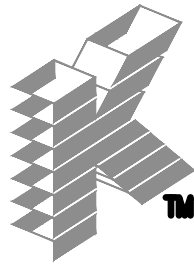
INDEX TO DRAWINGS

SHT. NO.	DESCRIPTION
C1.0	LOCATION MAPS AND INDEX TO DRAWINGS
C2.0	GENERAL NOTES
C3.0	EXISTING SITE CONDITIONS
C4.0	SITE PLAN
C5.0	UTILITY PLAN
C6.0	GRADING PLAN
C7.0	EROSION CONTROL PLAN
C8.0	POND PLN
C9.0	MISCELLANEOUS DETAILS
C10.0	MISCELLANEOUS DETAILS
C11.0	EROSION CONTROL - INLET PROTECTION TYPES A, B, C AND D
C12.0	EROSION CONTROL - INLET PROTECTION TYPE D-HR AND TYPE D-M
C13.0	EROSION CONTROL - DITCH CHECK DETAILS
C14.0	EROSION CONTROL - SHEET FLOW DETAILS
C15.0	EROSION CONTROL - TRACKOUT CONTROL PRACTICES
C16.0	EROSION CONTROL - EROSION MAT SLOPE APPLICATION DETAILS
C17.0	EROSION CONTROL - EROSION MAT CHANNEL APPLICATION DETAILS

ATTENTION!
DOWNLOADED PLANS ARE NOT SCALEABLE, NEITHER THE OWNER OR THE ENGINEER SHALL BE HELD RESPONSIBLE FOR THE SCALE OR PRINT QUALITY OF DOWNLOADED PLANS. ONLY PRINTED PLANS FROM BLUE PRINT SERVICE CO., INC. SHALL BE CONSIDERED TO BE SCALEABLE PLANS.



LOCATION MAP



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Germantown, WI 53022
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1-800-236-2534
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DRAWN BY:

EXPEDITOR:

SUPERVISOR:

PRELIMINARY NO:

CONTRACT NO:

DATE:

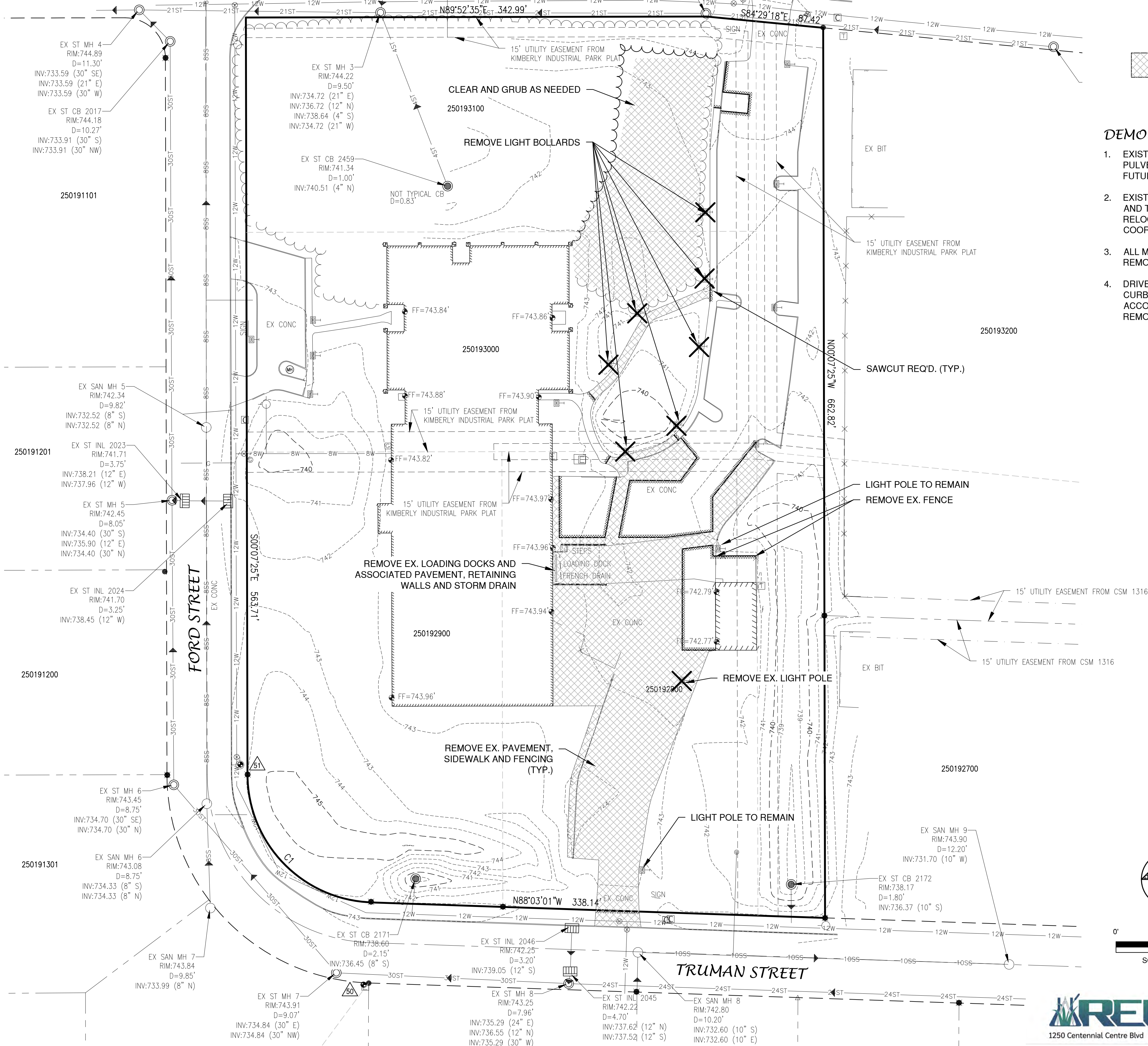
SHEET:

C1.0

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Curve Table					
Curve #	Delta	Radius	Length	Chord Direction	Chord Length
C1	87°55'36"	95.53'	146.60'	S44°05'13"E	132.63'

W KENNEDY AVENUE



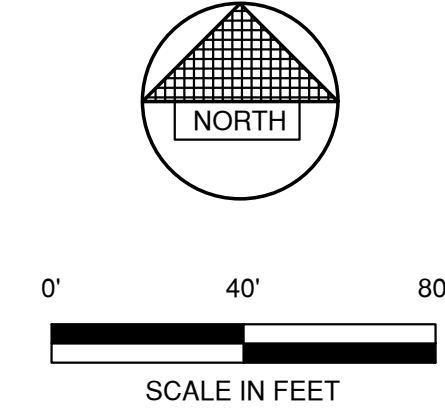
BENCHMARK		
BENCHMARK ESTABLISHED BY: ROBERT E. LEE & ASSOCIATES, INC. FIELD VERIFY BENCHMARKS FOR ACCURACY.		
NO.	DESCRIPTION	EL.
50	NW CORNER OF TRANSFORMER PAD	743.34
51	BURY TAG 7-0 ON HYDRANT	745.15

LEGEND

X TO BE REMOVED

[Hatched Box] TO BE DEMOLISHED

- DEMOLITION NOTES**
- EXISTING ASPHALT AND BASE COURSE MAY BE PULVERIZED AND STOCKPILED ON SITE FOR FUTURE USE.
 - EXISTING GAS, ELECTRIC, CABLE TELEVISION AND TELEPHONE TO BE REMOVED AND/OR RELOCATED BY OTHERS. WORK SHALL BE COORDINATED BY GENERAL CONTRACTOR.
 - ALL MISCELLANEOUS STRUCTURES SHALL BE REMOVED.
 - DRIVEWAY OPENINGS SHALL BE REMOVED AND CURB OPENINGS SHALL BE CLOSED IN ACCORDANCE WITH STANDARD DETAIL "CURB REMOVAL", SEE DETAIL SHEETS.



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San Francisco, WI 53560
Phone (608) 318-2336
Fax (608) 318-2337

MILWAUKEE
18204 W11800
Graftonville Rd
Graftonville, WI 53022
Phone (262) 220-2710
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DESIGNER: _____

DRAWN BY: _____

EXPEDITOR: _____

SUPERVISOR: _____

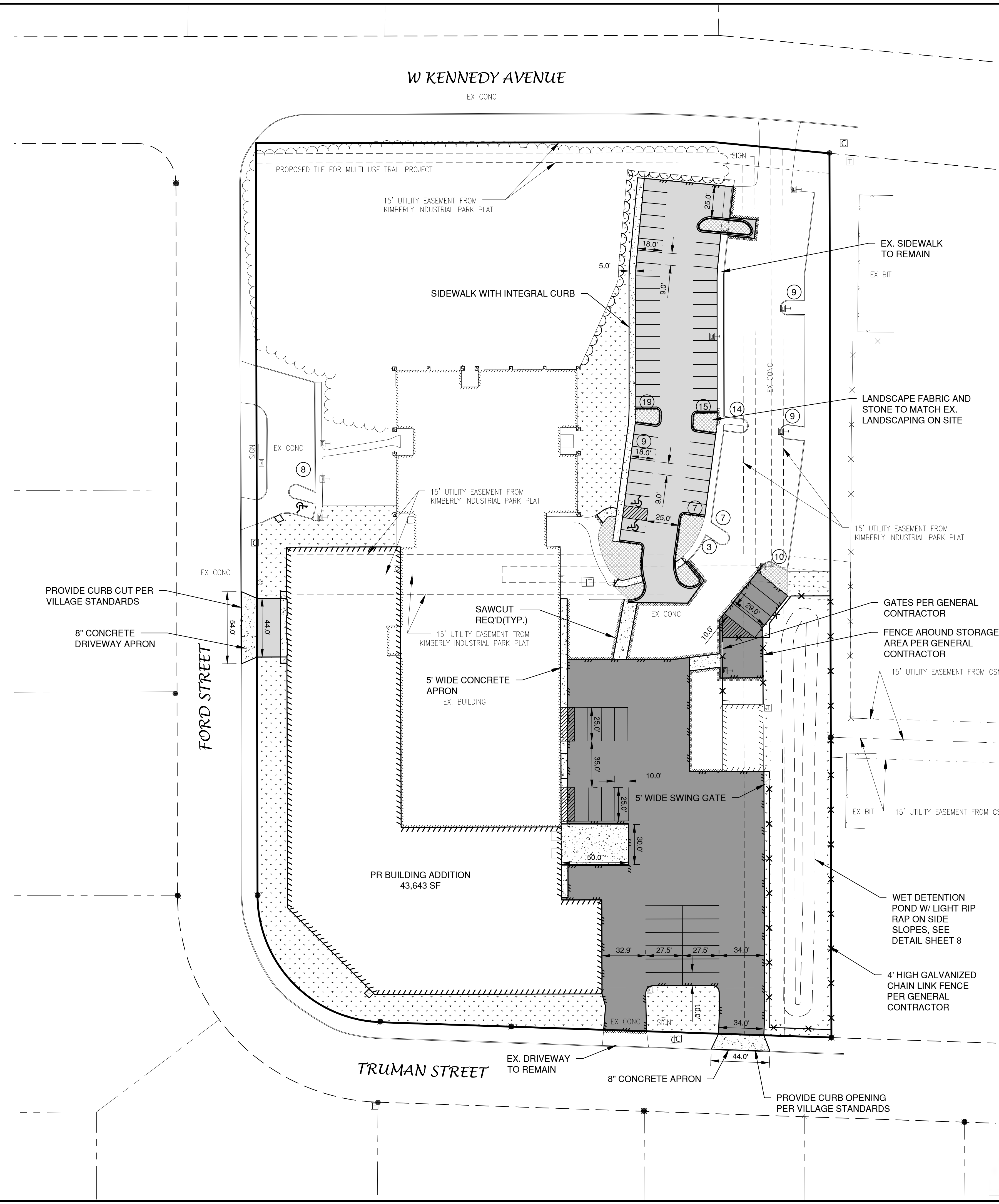
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DATE: _____

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LEGEND

- CONCRETE PAVEMENT (S.F.)
- ASPHALT PAVEMENT (LIGHT) (16,779 S.F.)
- ASPHALT PAVEMENT (HEAVY) (33,488 S.F.)
- LANDSCAPE AREA
- GREEN SPACE
- PROPOSED 18" STANDARD SHEDDING CURB AND GUTTER
- TRAFFIC FLOW ARROW
- HANDICAPPED PARKING
- SIGN
- INDICATES NUMBER OF PARKING STALLS

1

SEEKING PARKING VIA ACCESSIBLE

NOTE

ALL DISTURBED AREAS SHALL BE TOPSOILED TO A DEPTH OF 6 INCHES, SEEDED AND MULCHED. AREA TO BE RAKED FREE OF STONES AND CLUMPS.

PARKING DATA

TOTAL PARKING STALLS PROVIDED = 110
HANDICAP ACCESSIBLE PARKING STALLS = 3
TOTAL PARKING STALLS REQUIRED = X

SITE DATA

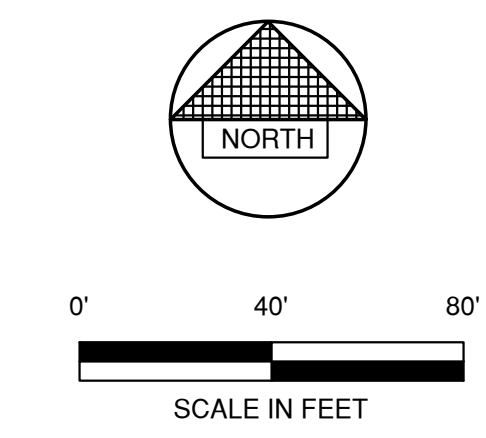
TOTAL AREA = 6.51 ACRES, 283,178 S.F.
BUILDING AREA = 2.00 ACRES, 86,925 S.F. (30.7%)
SIDEWALK/PARKING LOT AREA = 2.07 ACRES, 90,172 S.F. (31.8%)
GREEN SPACE = 2.44 ACRES, 106,081 S.F. (37.5%)

ZONING

I-1 - LIMITED INDUSTRIAL

PARCEL NO.

250193100, 250193000, 250192600 AND 250192800
(CSM IN PROGRESS TO COMBINE)



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1-800-236-2534
Fax (920) 766-5004

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771 Lake Dr.
Sun Prairie, WI 53560
Phone (608) 318-2337
Fax (608) 318-2337

MILWAUKEE
18204 W11800
Goldsboro Rd
Germantown, WI 53022
Phone (262) 220-0710
1-800-236-2534
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PROPOSED FOR:

CRANE ENGINEERING EXPANSION

VILLAGE OF KIMBERLY
OUTAGAMIE COUNTY, WISCONSIN

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PROJECT MANAGER: _____

DESIGNER: _____

DRAWN BY: _____

EXPEDITOR: _____

SUPERVISOR: _____

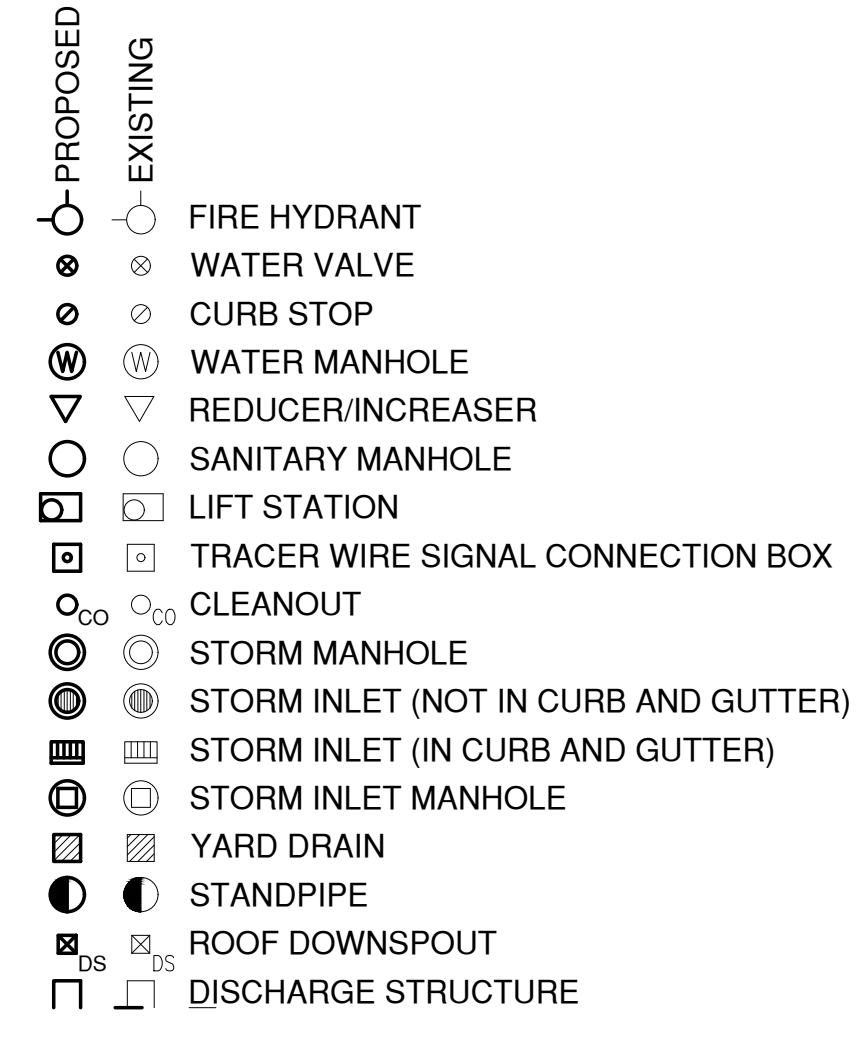
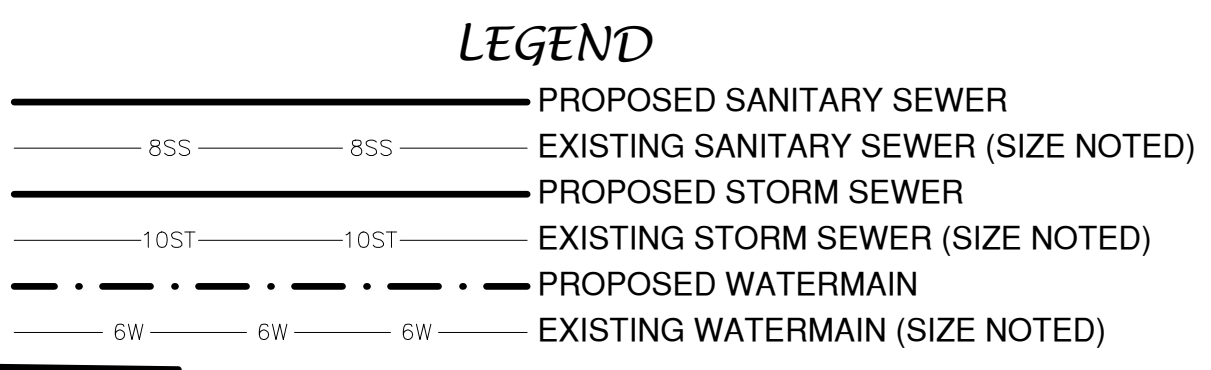
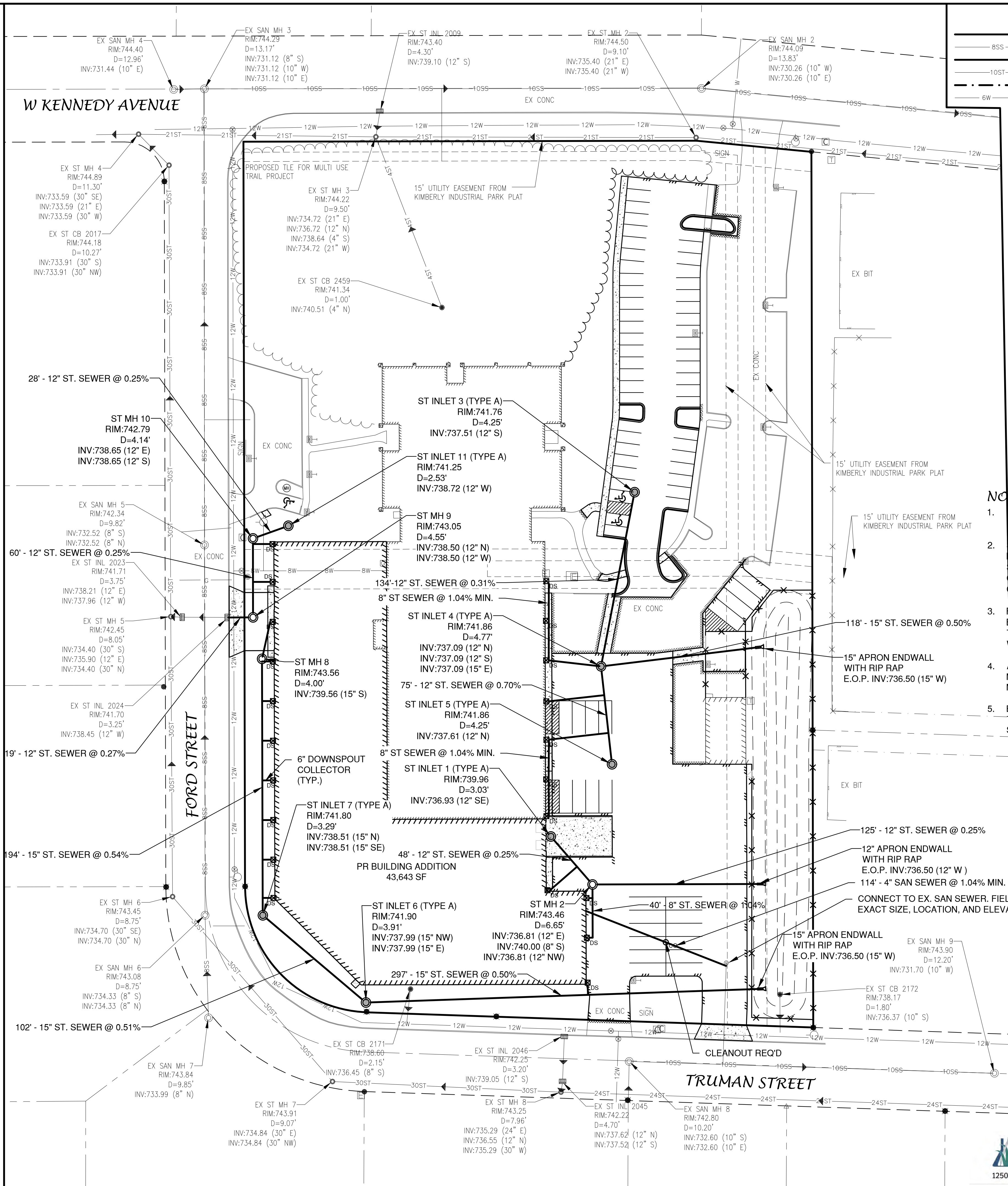
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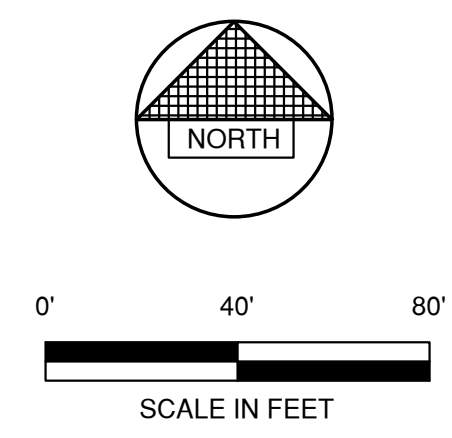
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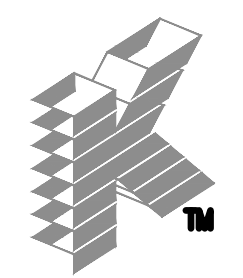
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Plot Date: Oct 29, 2024 12:20:24
User: jll



- NOTE**
1. A MINIMUM OF 6.5 FEET OF COVER SHALL BE MAINTAINED OVER ALL WATERMAIN.
 2. SANITARY SEWER, WATERMAIN AND STORM SEWER SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN AND ADMINISTRATIVE CODE CHAPTERS SPS 381-387.
 3. FIELD VERIFY LOCATION OF EXISTING UTILITIES. IF EXISTING LOCATIONS DIFFER FROM WHAT IS INDICATED ON THE PLANS, **CONTACT ENGINEER**, PRIOR TO CONTINUED WORK.
 4. ALL SANITARY SEWER, STORM SEWER AND WATER SERVICES / MAINS SHALL BE PROVIDED WITH TRACER WIRE OR OTHER METHOD TO BE LOCATED.
 5. EXISTING GAS, ELECTRIC, CABLE TELEVISION AND TELEPHONE TO BE REMOVED AND/OR RELOCATED BY OTHERS. WORK SHALL BE COORDINATED BY GENERAL CONTRACTOR.



REL Robert E. Lee & Associates, Inc.
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FOX CITIES
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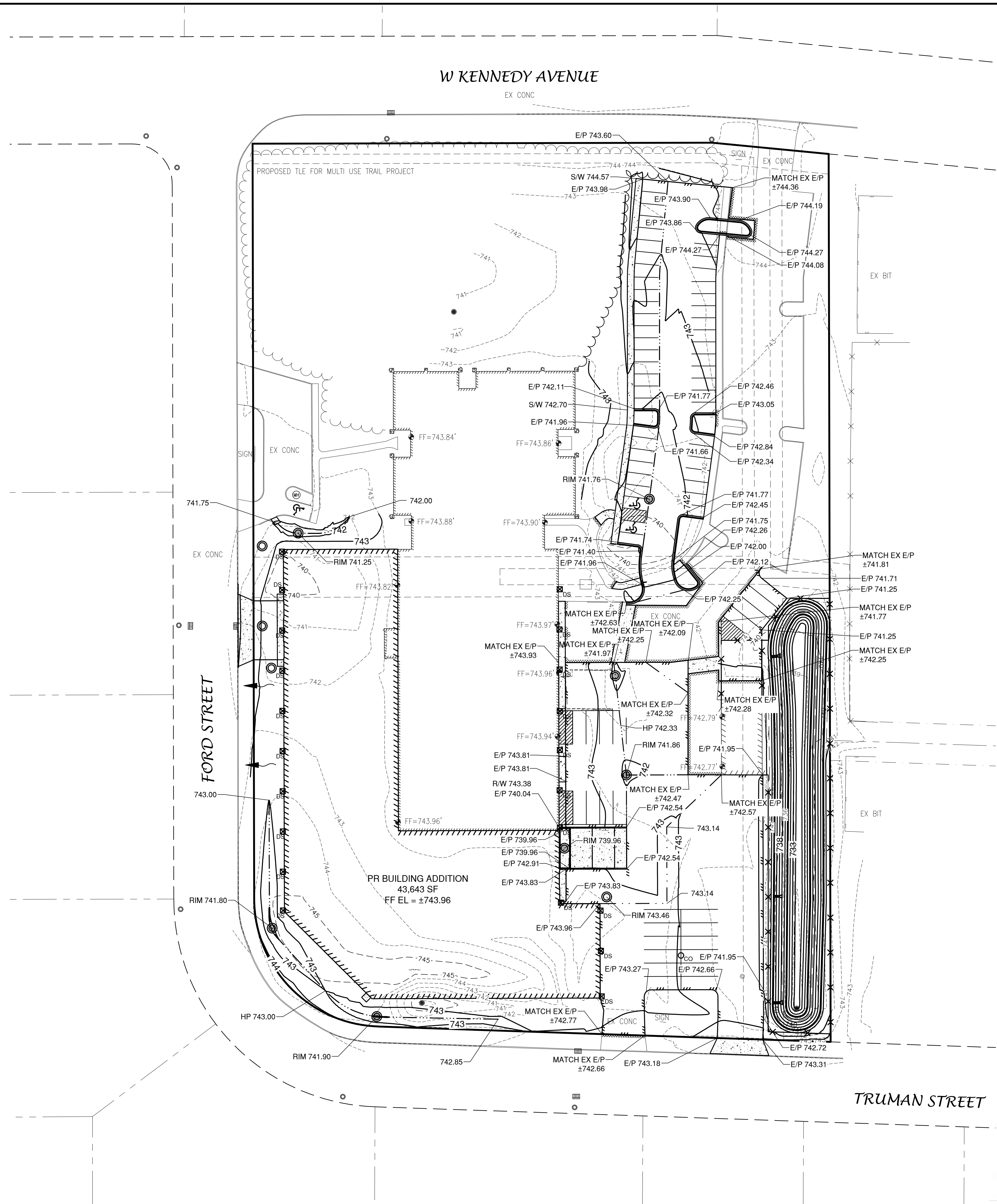
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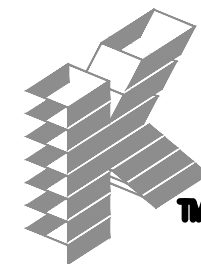
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Plot Date: Oct 29, 2014 11:30 AM
User: JKL



LEGEND

- T/C 999.99 TOP OF CURB ELEVATION
- F/L 888.88 FLOW LINE ELEVATION
- S/W 666.66 TOP OF SIDEWALK ELEVATION
- E/P 555.55 EDGE OF PAVEMENT ELEVATION
- R/W 444.44 TOP OF RETAINING WALL ELEVATION
- 333.33 GROUND ELEVATION
- DRAINAGE SWALE
- - - DRAINAGE DIVIDE
- FLOW ARROW



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Fax (920) 786-5904

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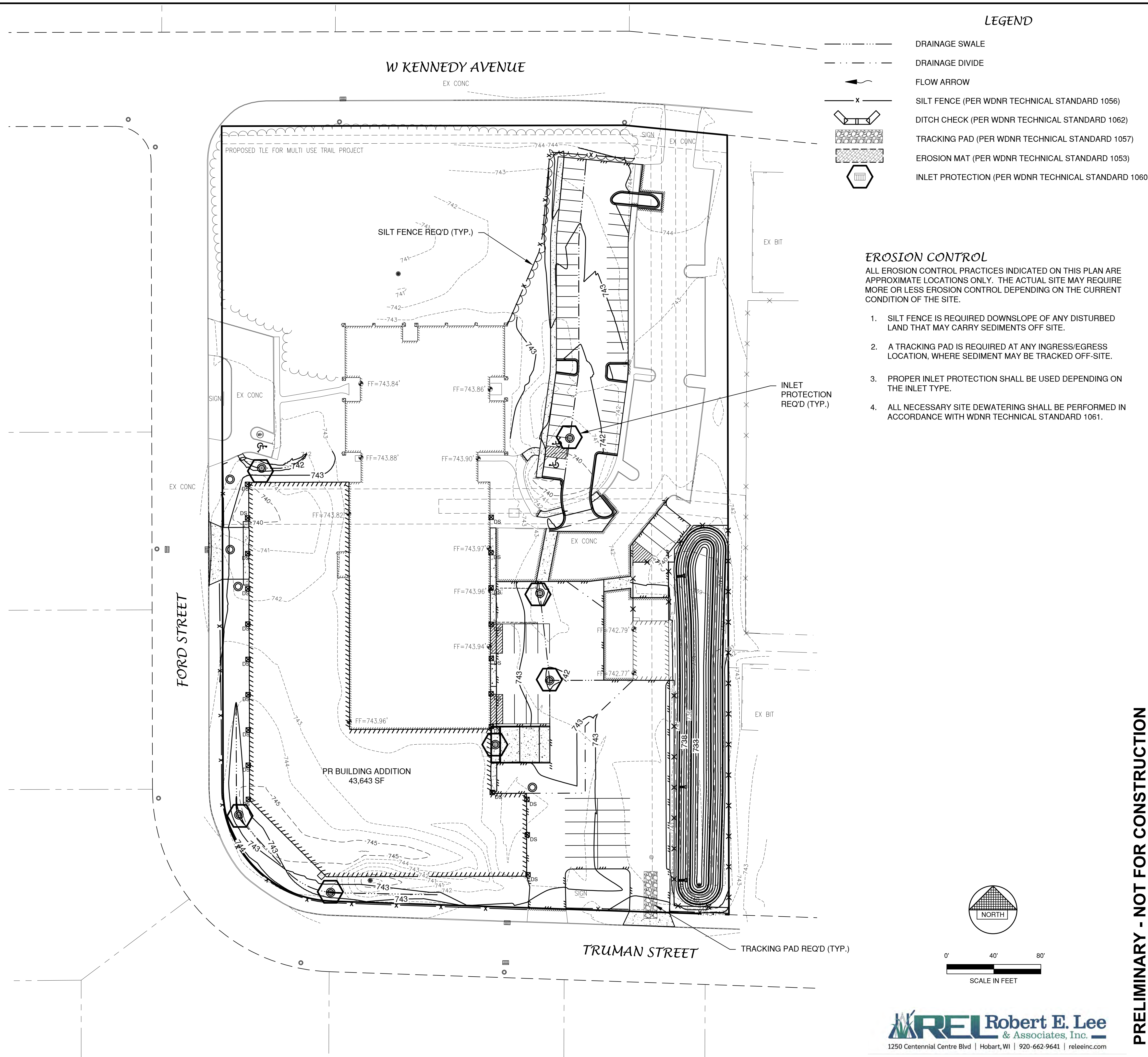
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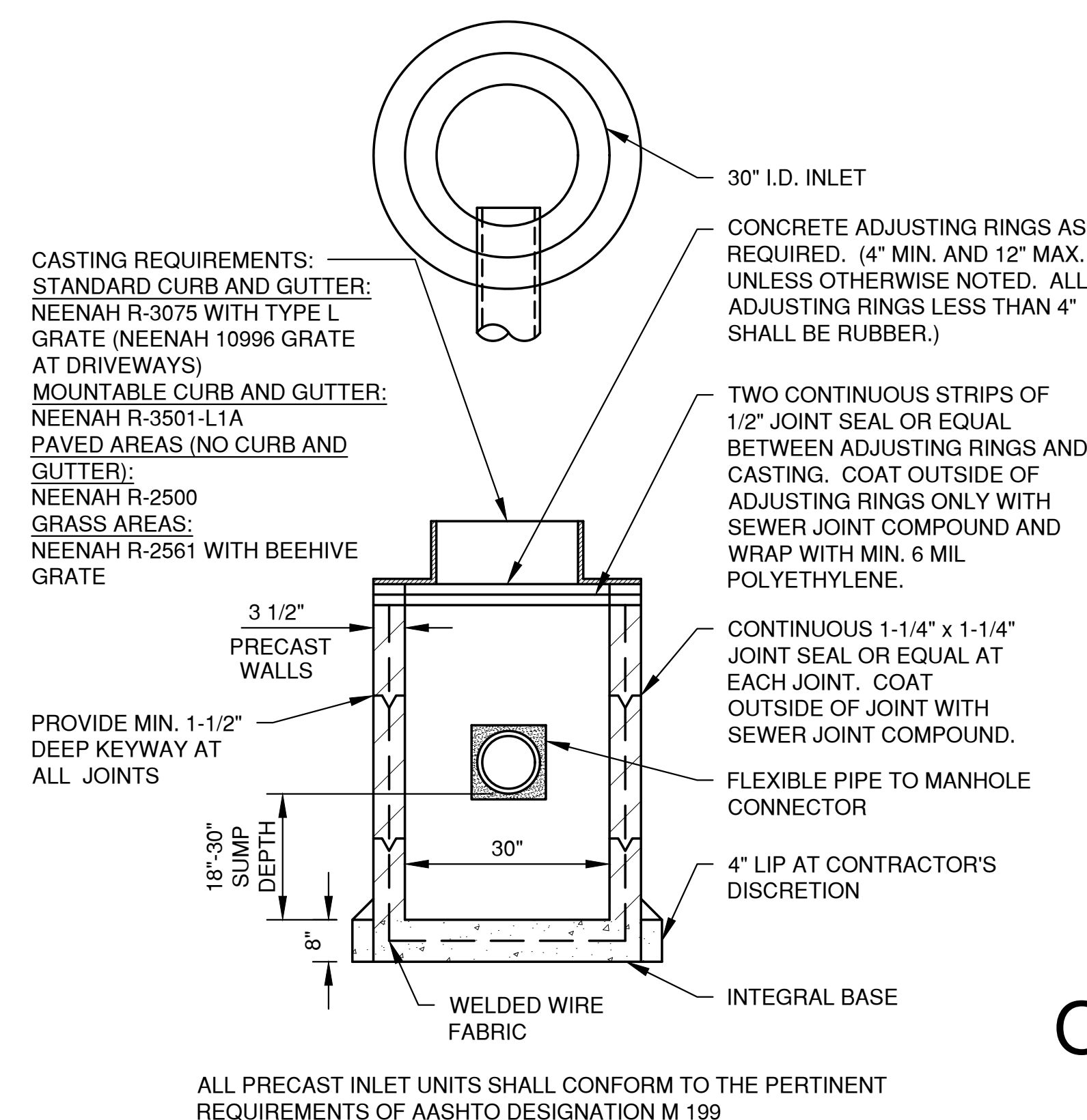
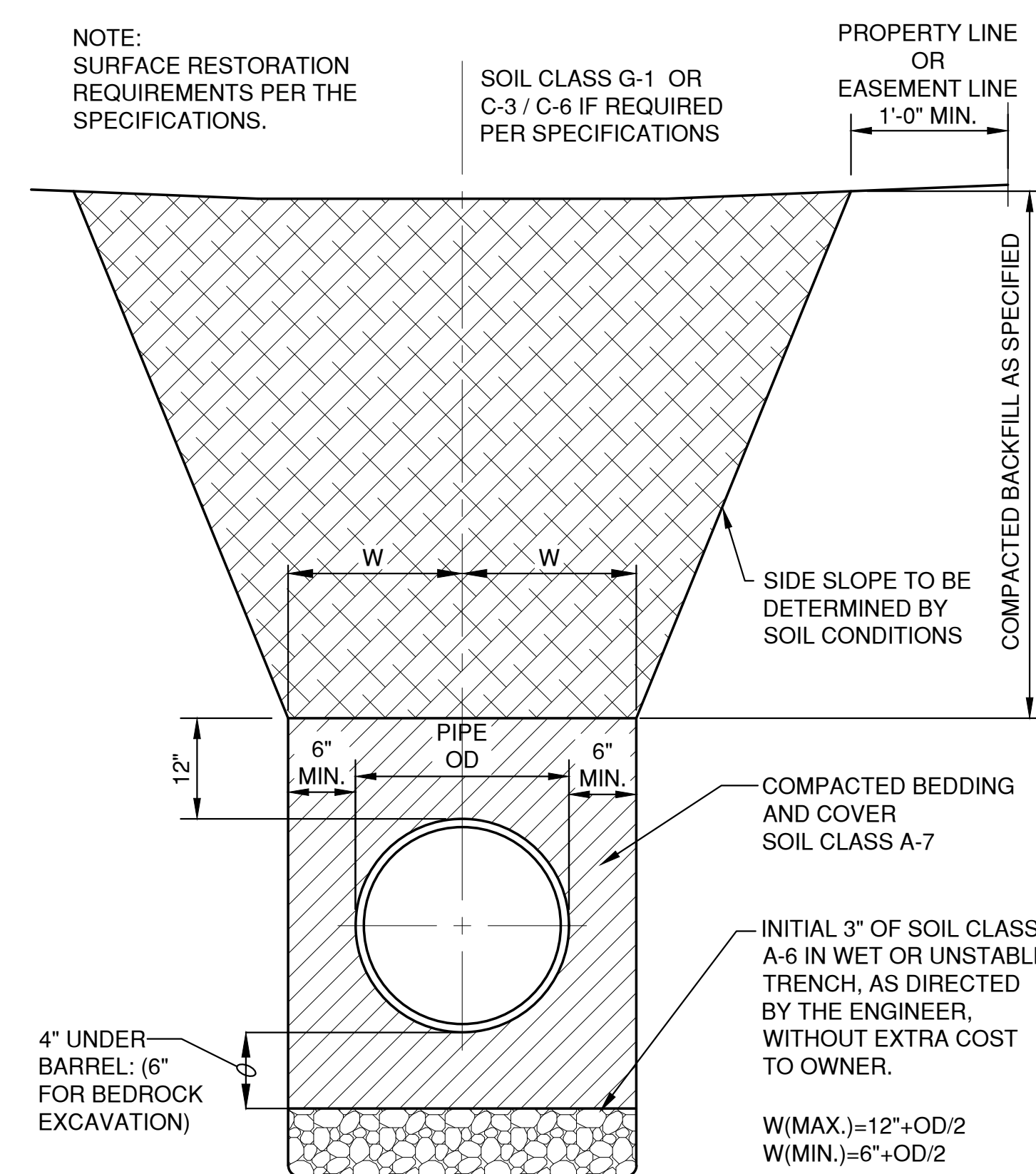
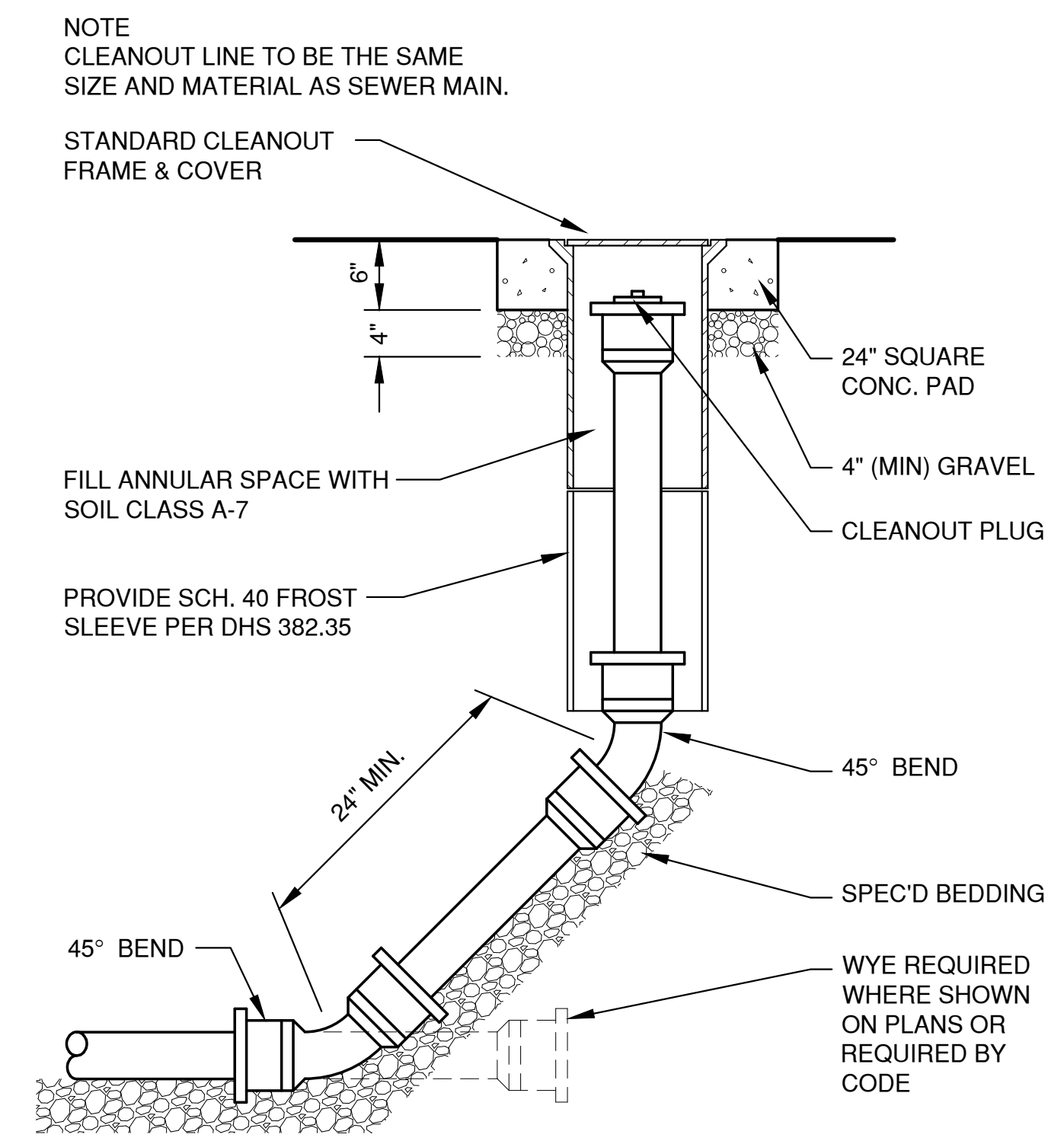
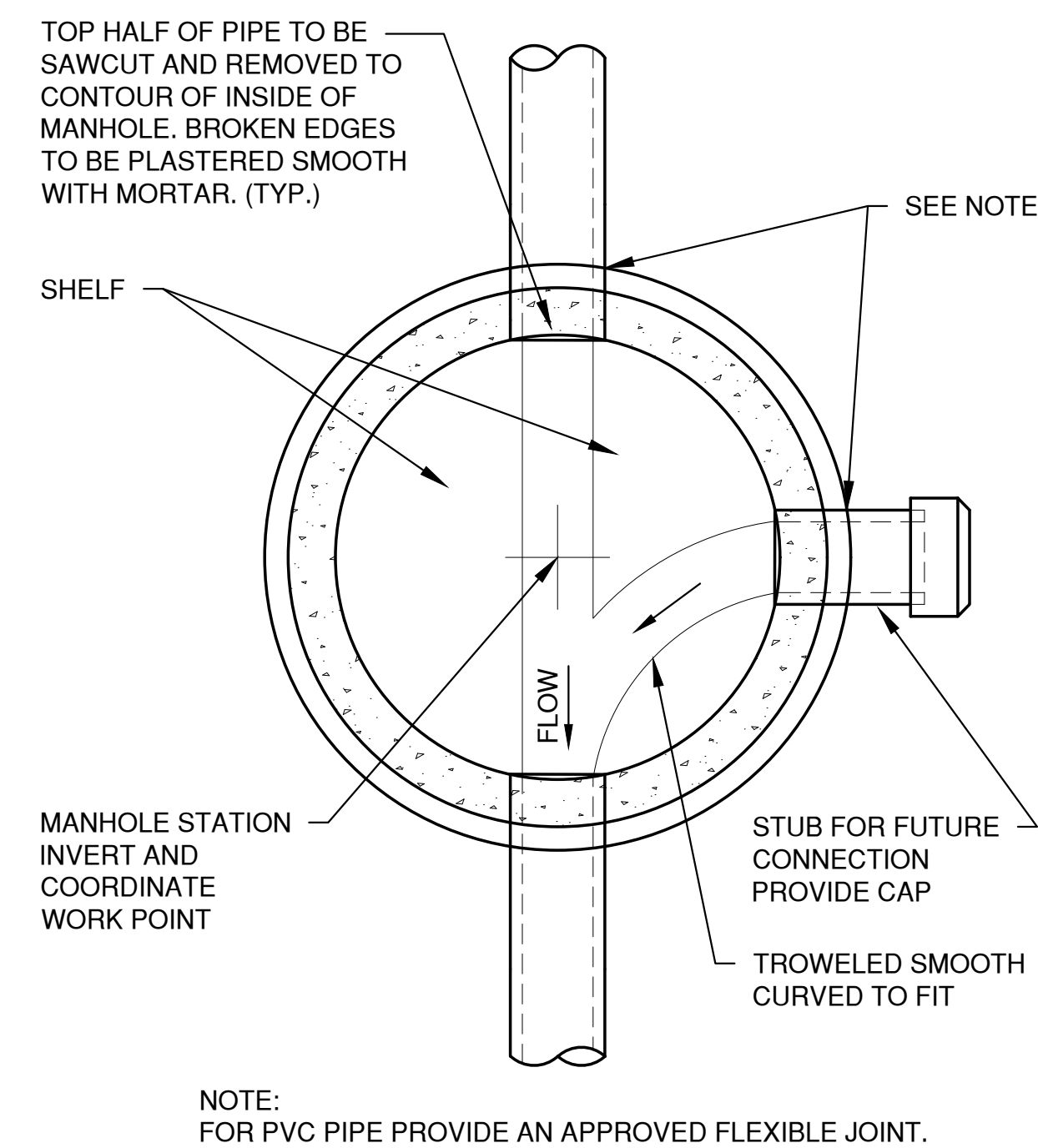
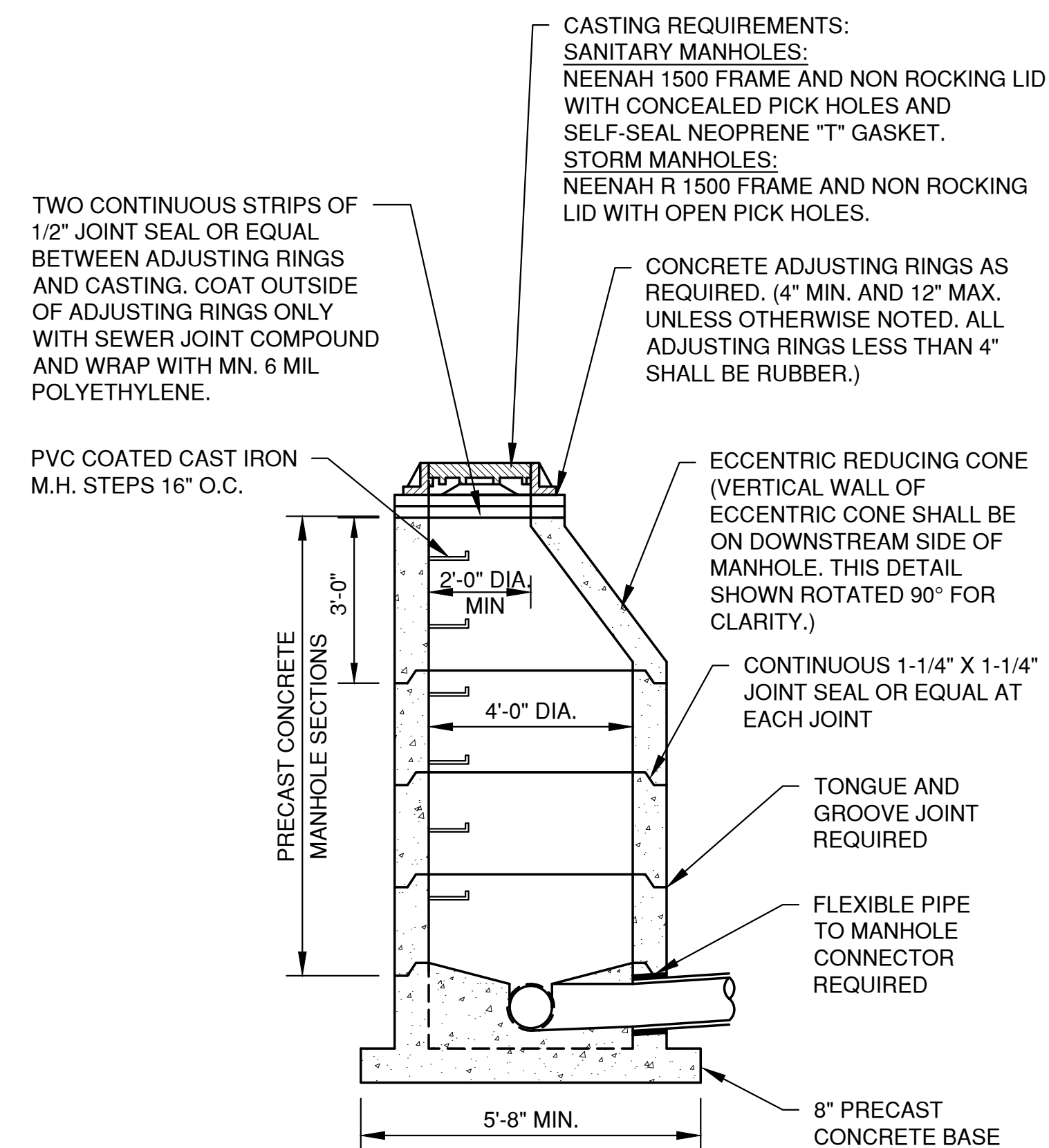
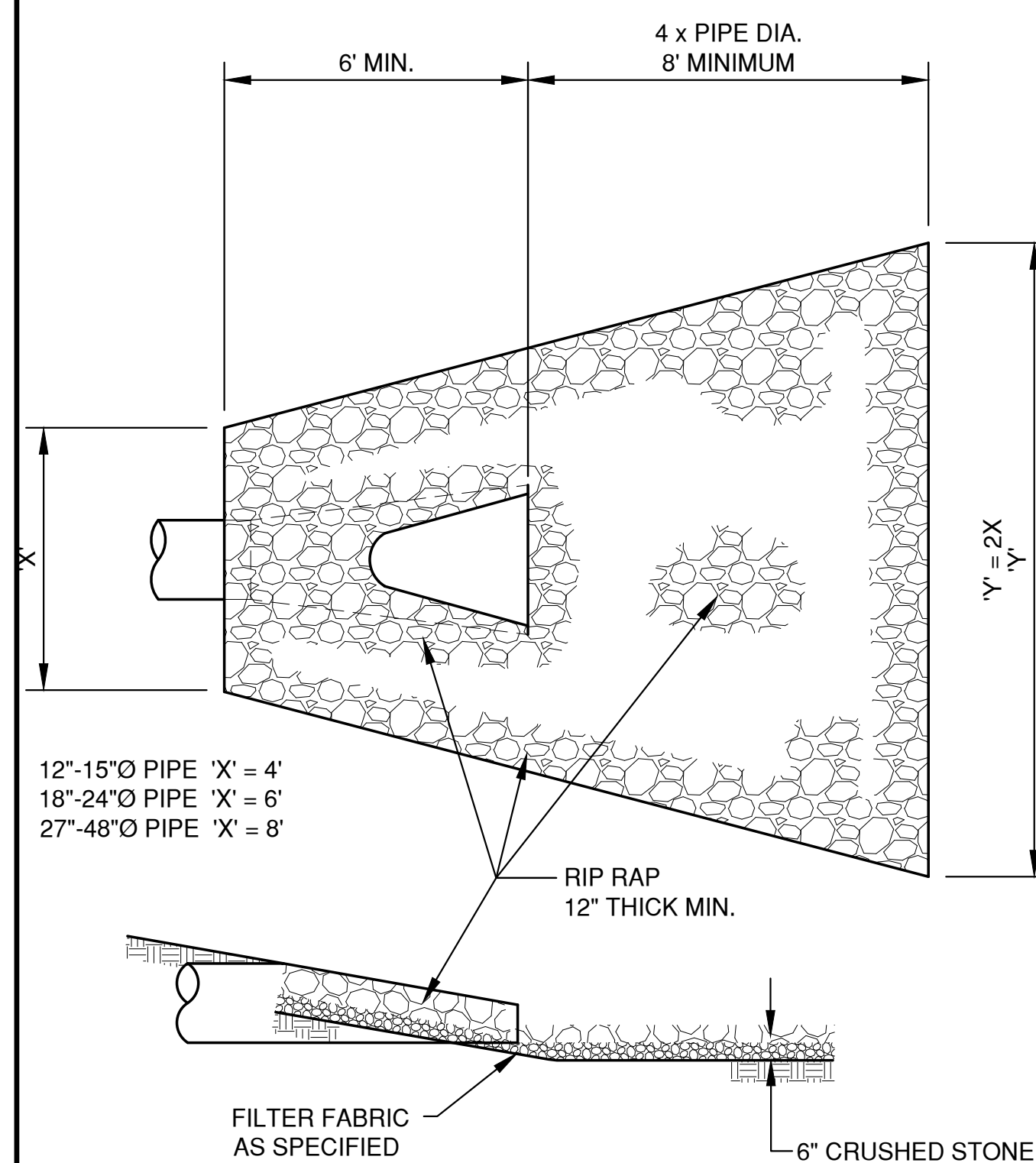
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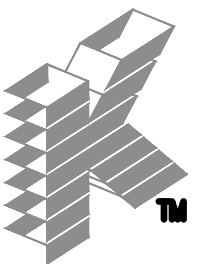
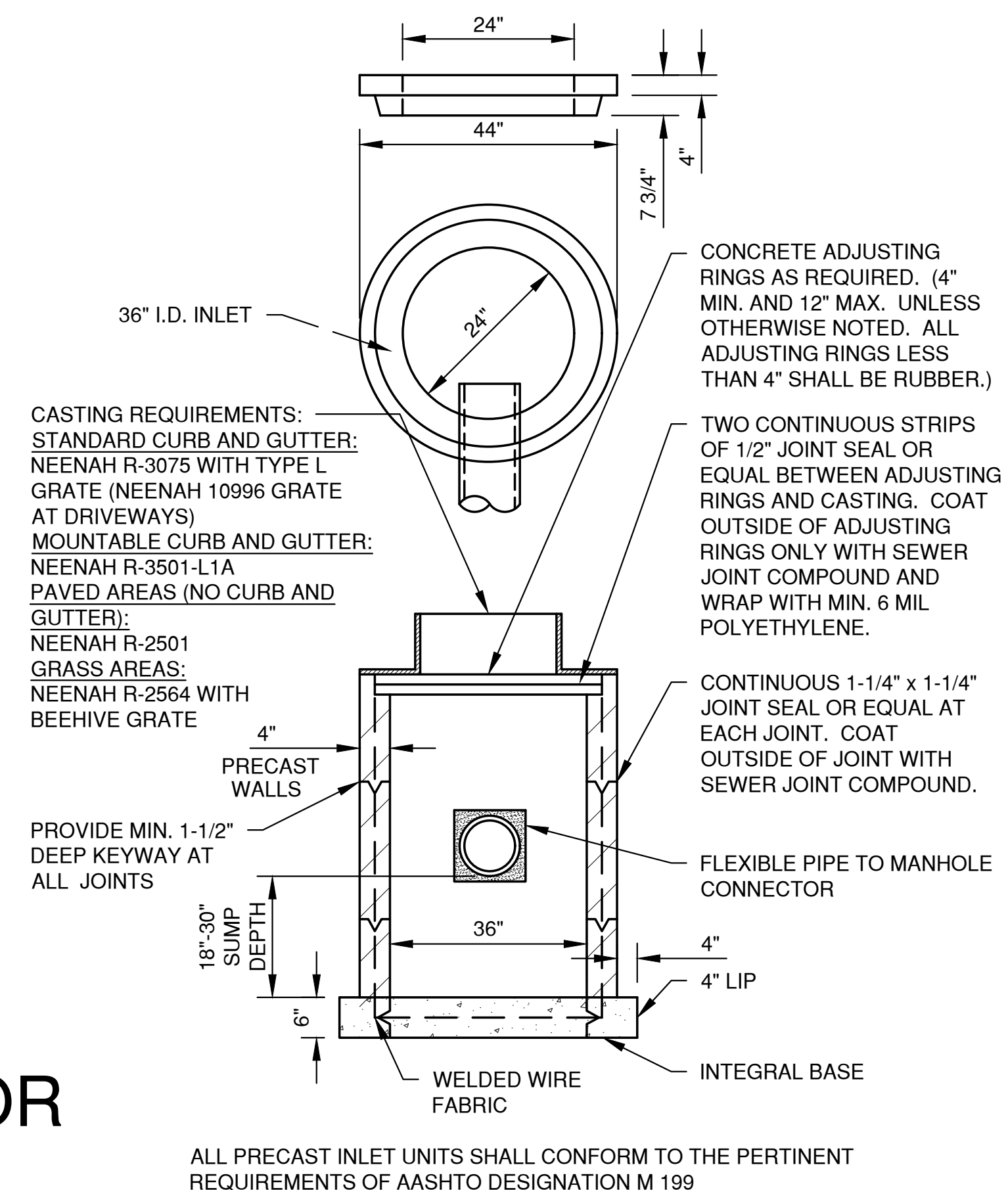
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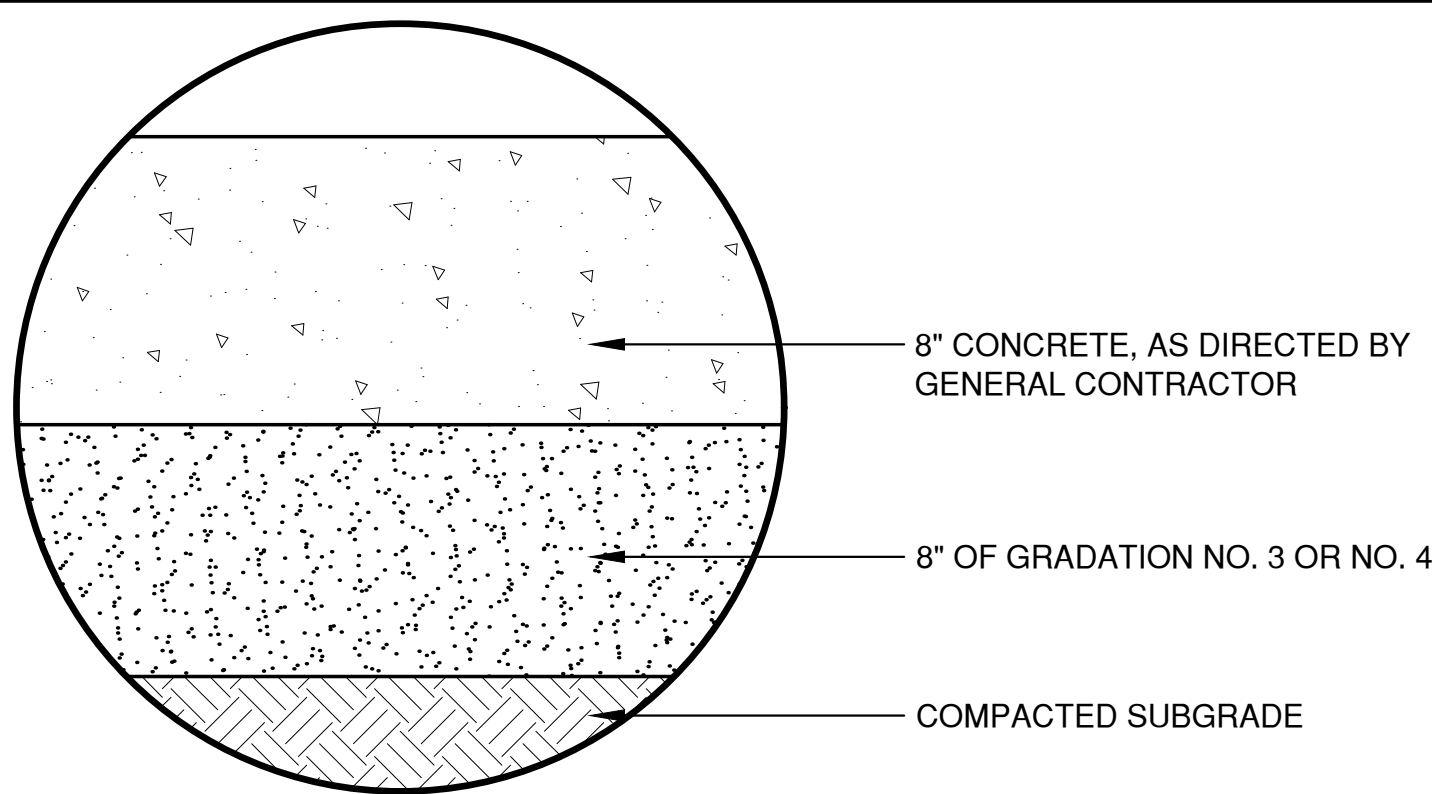
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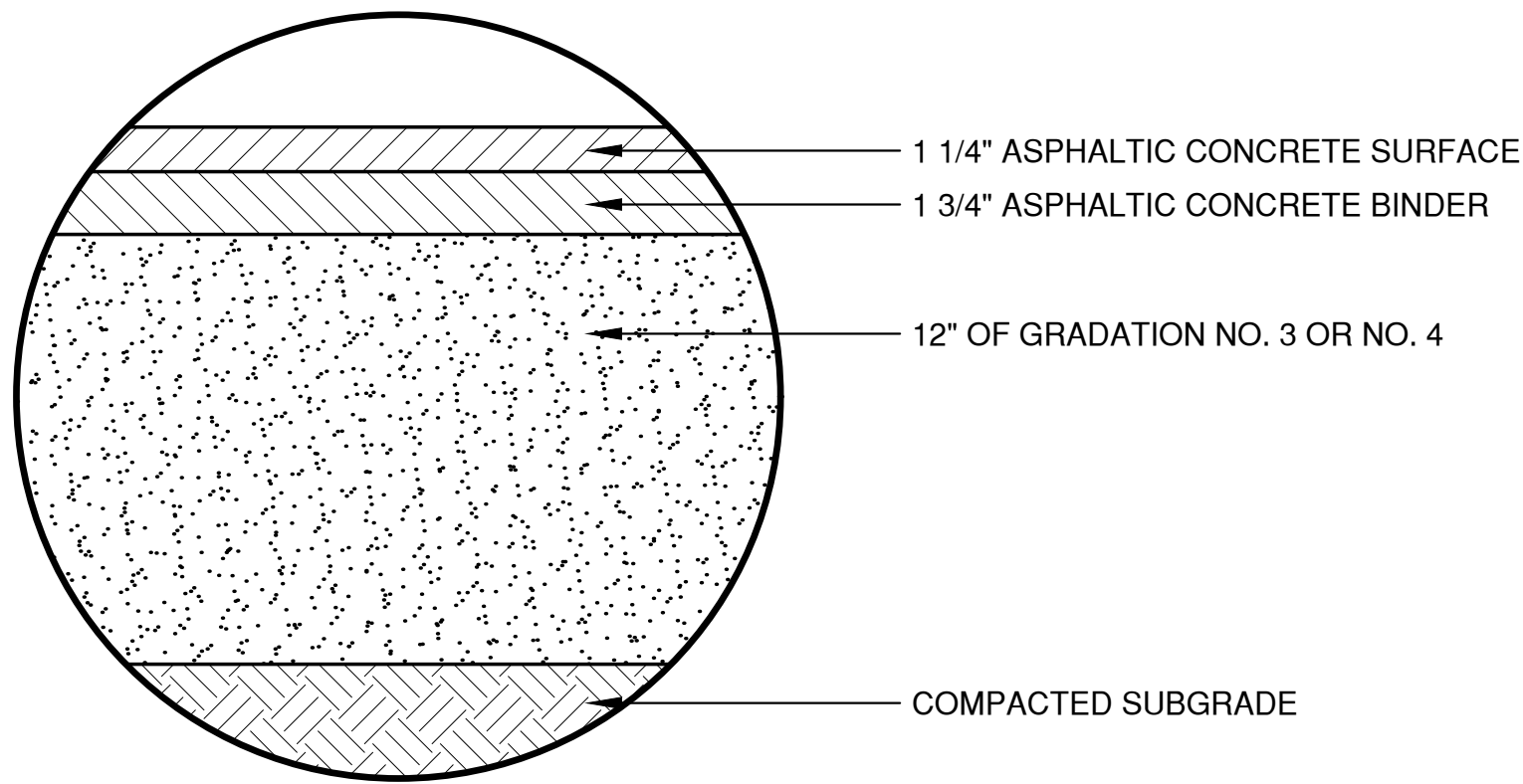
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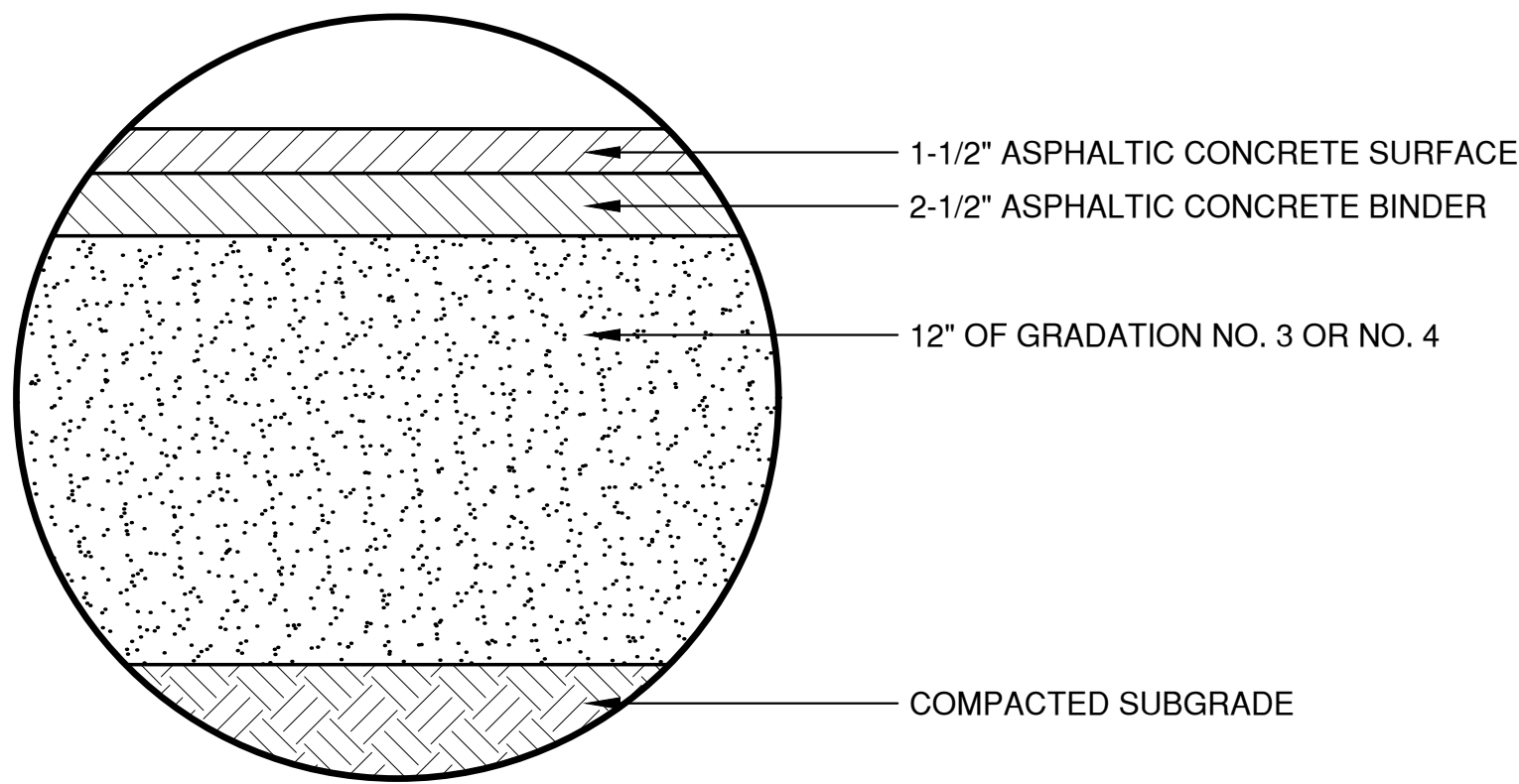
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CONCRETE PAVEMENT

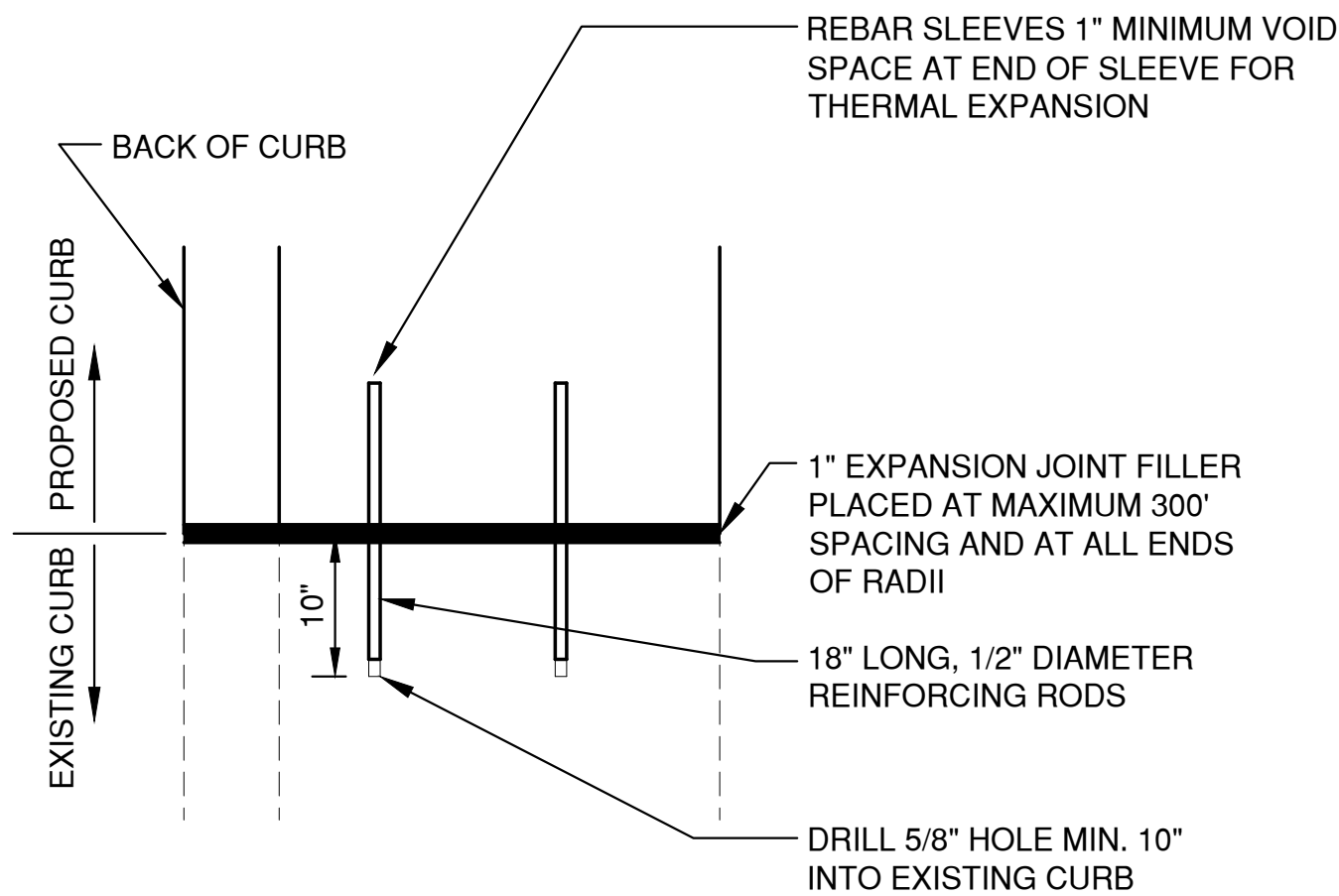


LIGHT DUTY ASPHALT PAVEMENT

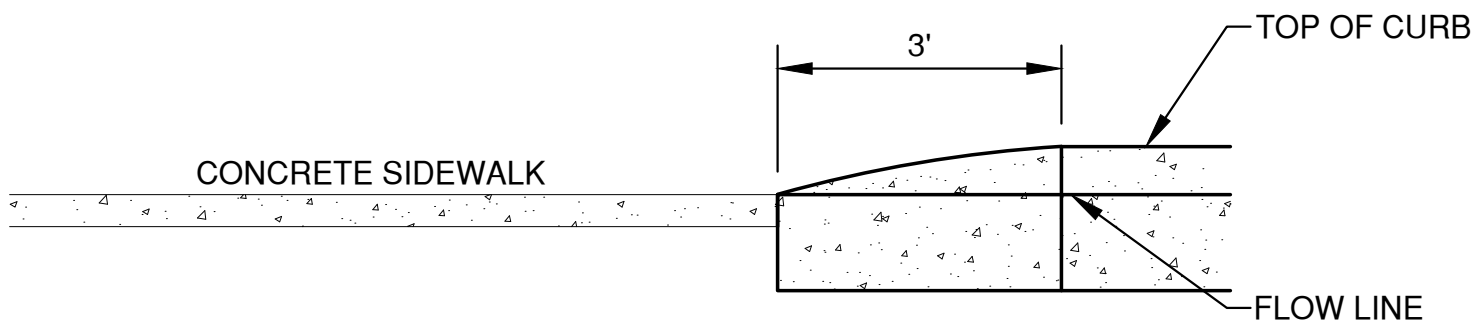


HEAVY DUTY ASPHALT PAVEMENT

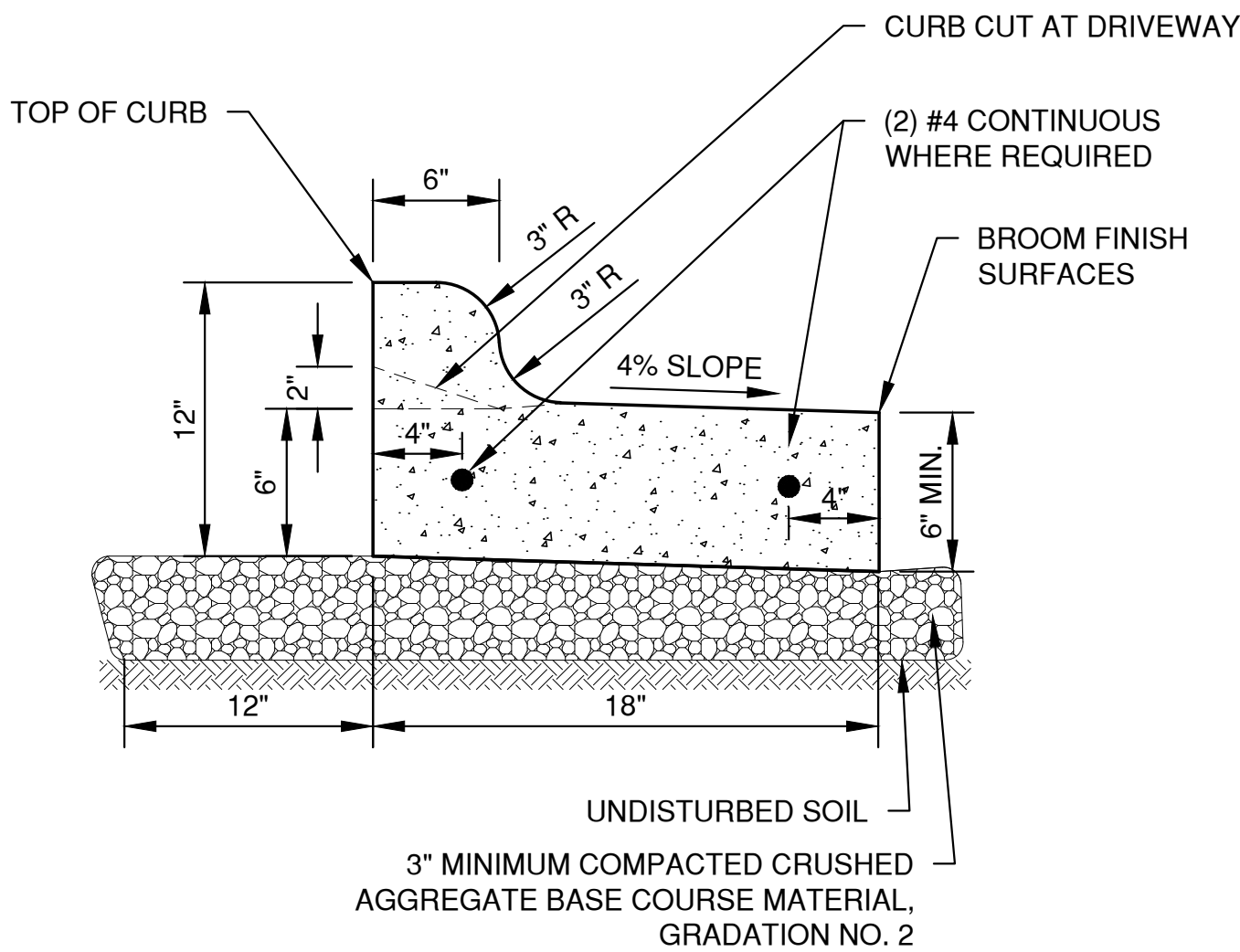
NOTE:
PROVIDE CONTRACTION JOINTS AT MAXIMUM 20' SPACING
BY SAW CUTTING OR INSERTION OF DIVIDER PLATES



CURB TIE-IN DETAIL
(PROPOSED TO EXISTING)

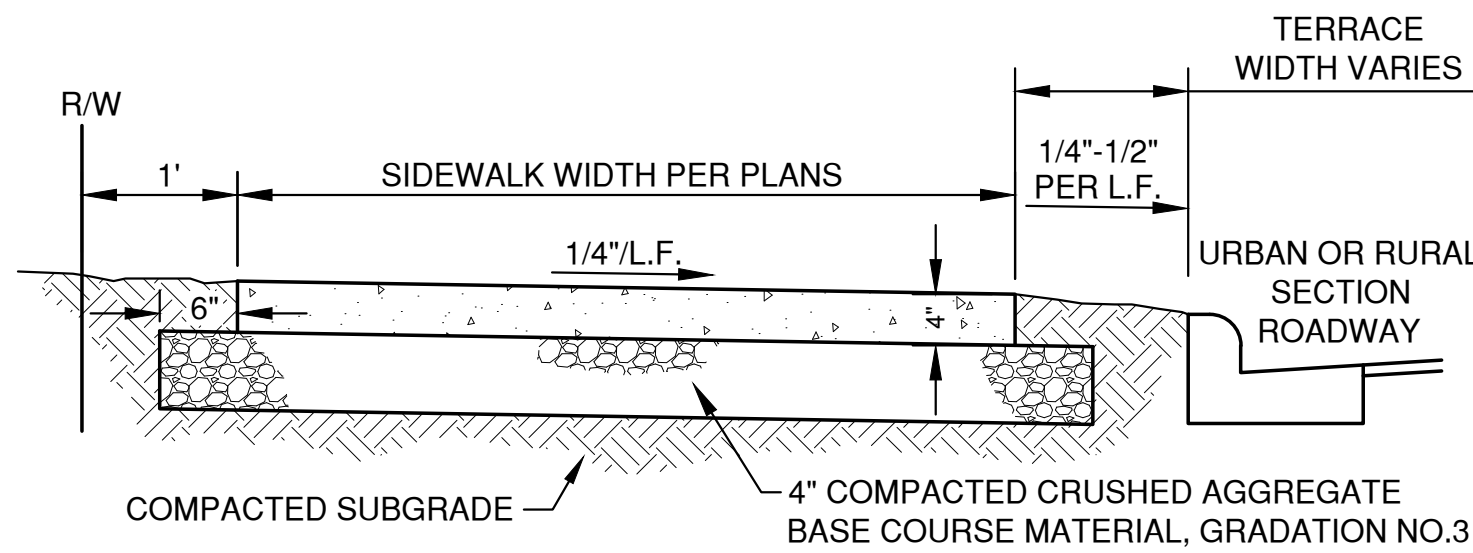


CURB TAPER DETAIL



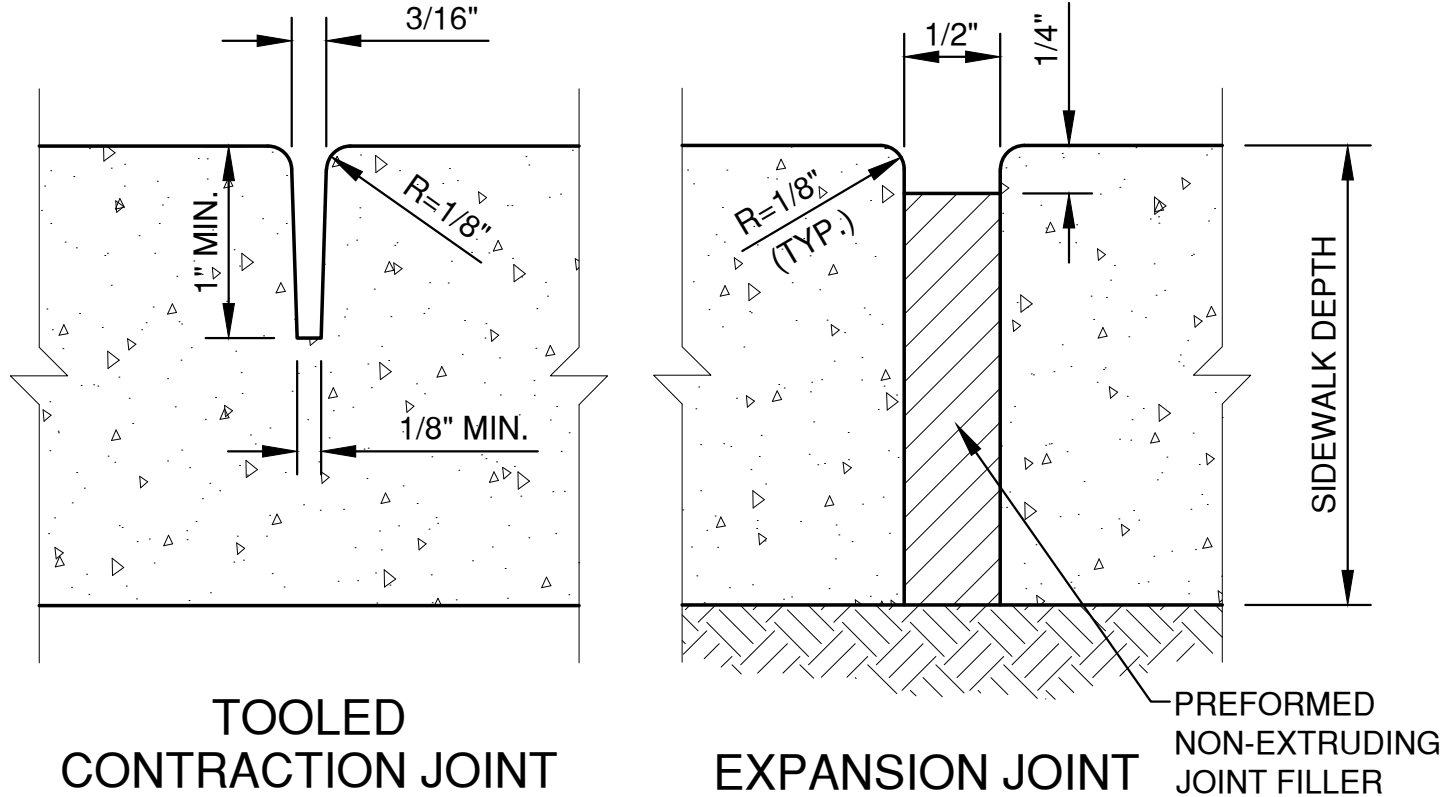
- NOTES:
1. PROVIDE 1" EXPANSION JOINTS AT 300' INTERVALS OR AS SPECIFIED. PROVIDE CONTRACTION JOINTS EVERY 30' OR AS DIRECTED.
 2. AT REMOVAL AND REPLACEMENT AREAS AND AT TIE-INS TO EXISTING CURB AND GUTTER, PROVIDE (2) #4 BARS, 18" LONG. DRILL AND GROUT INTO EXISTING CURB AND GUTTER 9". MATCH EXISTING SLOPE OF EXISTING GUTTER PAN.

SHEDDING CURB AND GUTTER



TYPICAL SECTION

NOTE:
REFER TO SPECIFICATIONS
FOR REINFORCEMENTS.

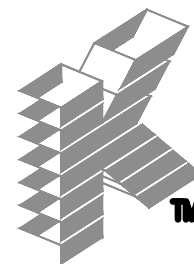


TOOLED
CONTRACTION JOINT

EXPANSION JOINT

WALK WIDTH	CONTRACTION JOINT SPACING		EXPANSION JOINT SPACING
	TRANSVERSE	LONGITUDINAL	
4'	4'	NOT REQ'D	100' MAX.
5'	5'	NOT REQ'D	100' MAX.
6'	6'	NOT REQ'D	100' MAX.
8'	4'	4'	100' MAX.
10'	5'	5'	100' MAX.
12'	6'	6'	100' MAX.

SIDEWALK DETAIL



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INLET PROTECTION DEVICES SHALL BE IN ACCORDANCE WITH WDNr TECHNICAL STANDARD 1060, STORM DRAIN INLET PROTECTION FOR CONSTRUCTION SITES.

WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.

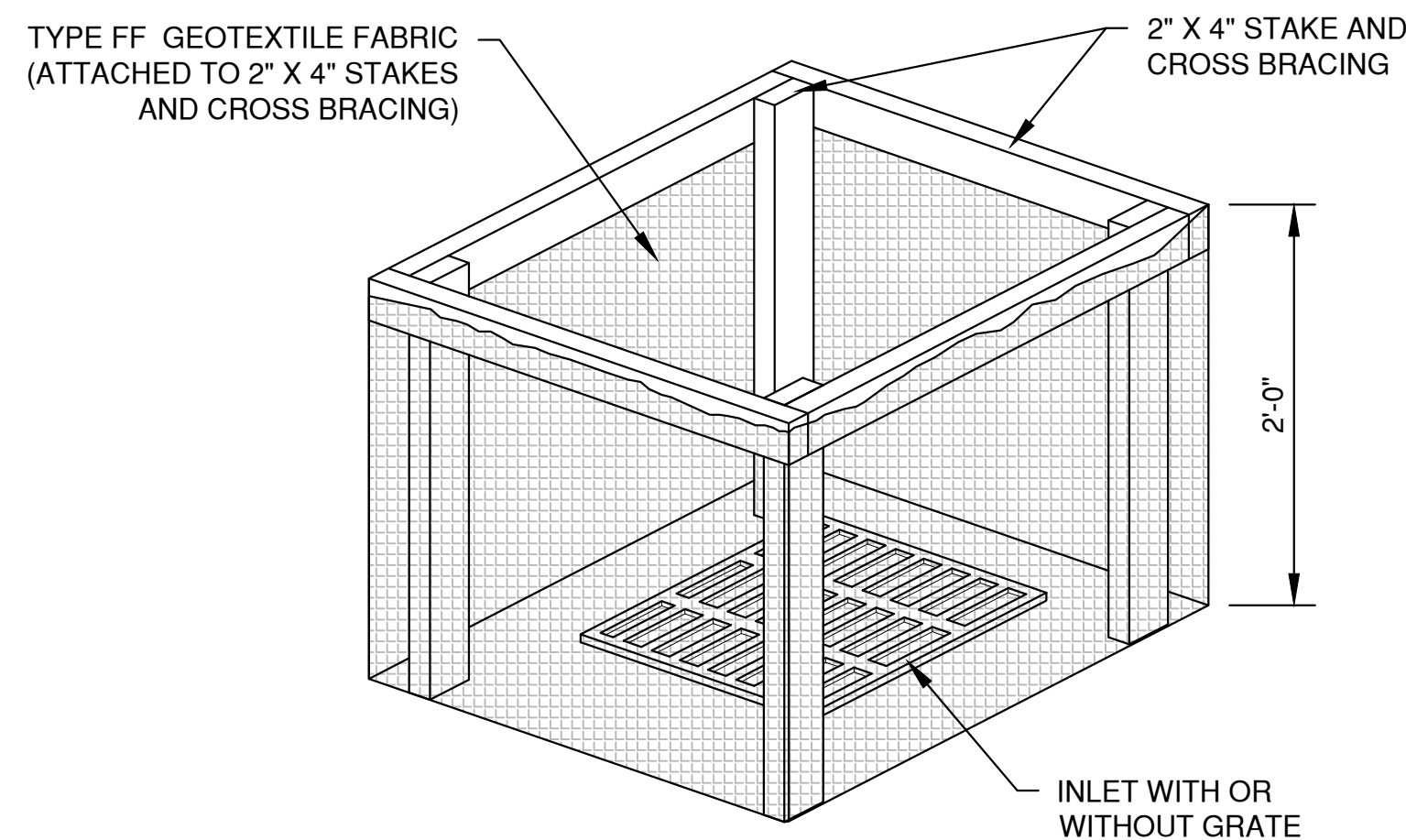
WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED IN THE FABRIC DOES NOT FALL INTO THE STRUCTURE. MATERIAL THAT HAS FALLEN INTO THE INLET SHALL BE IMMEDIATELY REMOVED.

TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3"
OF THE GRATE.

DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30" MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.

THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3". WHERE NECESSARY, CINCH THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE, THE TIES SHALL BE PLACED AT THE MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.

1. TAPER BOTTOM OF BAG TO MAINTAIN THREE INCHES OF CLEARANCE BETWEEN THE BAG AND THE STRUCTURE, MEASURED FROM THE BOTTOM OF THE OVERFLOW OPENINGS TO THE STRUCTURE WALL.
2. GEOTEXTILE FABRIC TYPE FF FOR FLAPS, TOP AND BOTTOM OF THE OUTSIDE OF FILTER BAG. FRONT, BACK AND BOTTOM OF FILTER BAG BEING ONE PIECE.
3. FRONT LIFTING FLAP IS TO BE USED WHEN REMOVING AND MAINTAINING FILTER BAG.
4. SIDE FLAPS SHALL BE A MAXIMUM OF TWO INCHES LONG. FOLD THE FABRIC OVER AND REINFORCE WITH MULTIPLE STITCHES.
5. FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2" X 4". THE REBAR, STEEL PIPE, OR WOOD SHALL BE INSTALLED IN THE REAR FLAP AND SHALL NOT BLOCK THE TOP HALF OF THE CURB FACE OPENING.



TYPE FF GEOTEXTILE FABRIC
(EXTEND FABRIC A MINIMUM OF
10" AROUND GRATE PERIMETER
FOR MAINTENANCE OR
REMOVAL)

FLAP POCKET
SEE NOTE 5

WOOD 2" X 4" EXTENDS 8" BEYOND
GRATE WIDTH ON BOTH SIDES,
LENGTH VARIES. SECURE TO
GRATE WITH PLASTIC TIES.

TYPE FF GEOTEXTILE FABRIC
(EXTEND FABRIC A MINIMUM OF
10" AROUND GRATE PERIMETER
FOR MAINTENANCE OR
REMOVAL)



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Greenfield, WI 53022	Phone (715) 848-3141
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12/01/15 2 INLET PROTECTION
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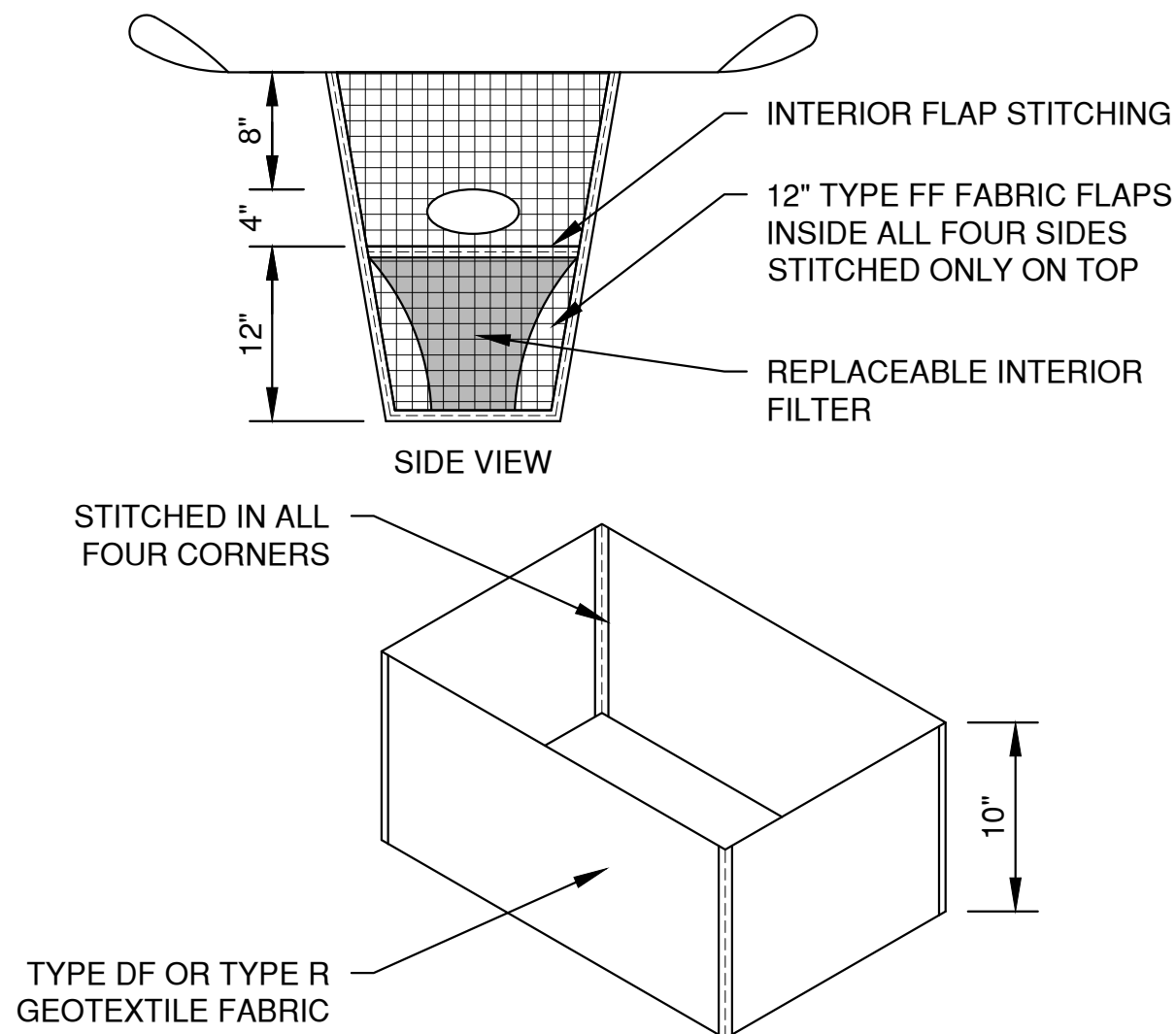
1. TAPER BOTTOM OF BAG TO MAINTAIN THREE INCHES OF CLEARANCE BETWEEN THE BAG AND THE STRUCTURE, MEASURED FROM THE BOTTOM OF THE OVERFLOW OPENINGS TO THE STRUCTURE WALL.
2. GEOTEXTILE FABRIC TYPE FF FOR FLAPS AND TOP HALF OF FILTER BAG. GEOTEXTILE FABRIC TYPE HR FOR BOTTOM HALF OF FILTER BAG. FRONT, BACK AND BOTTOM OF FILTER BAG BEING ONE PIECE.
3. FRONT LIFTING FLAP IS TO BE USED WHEN REMOVING AND MAINTAINING FILTER BAG.
4. SIDE FLAPS SHALL BE A MAXIMUM OF TWO INCHES LONG. FOLD THE FABRIC OVER AND REINFORCE WITH MULTIPLE STITCHES.
5. FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2" X 4". THE REBAR, STEEL PIPE, OR WOOD SHALL BE INSTALLED IN THE REAR FLAP AND SHALL NOT BLOCK THE TOP HALF OF THE CURB FACE OPENING.

MAINTENANCE NOTES:

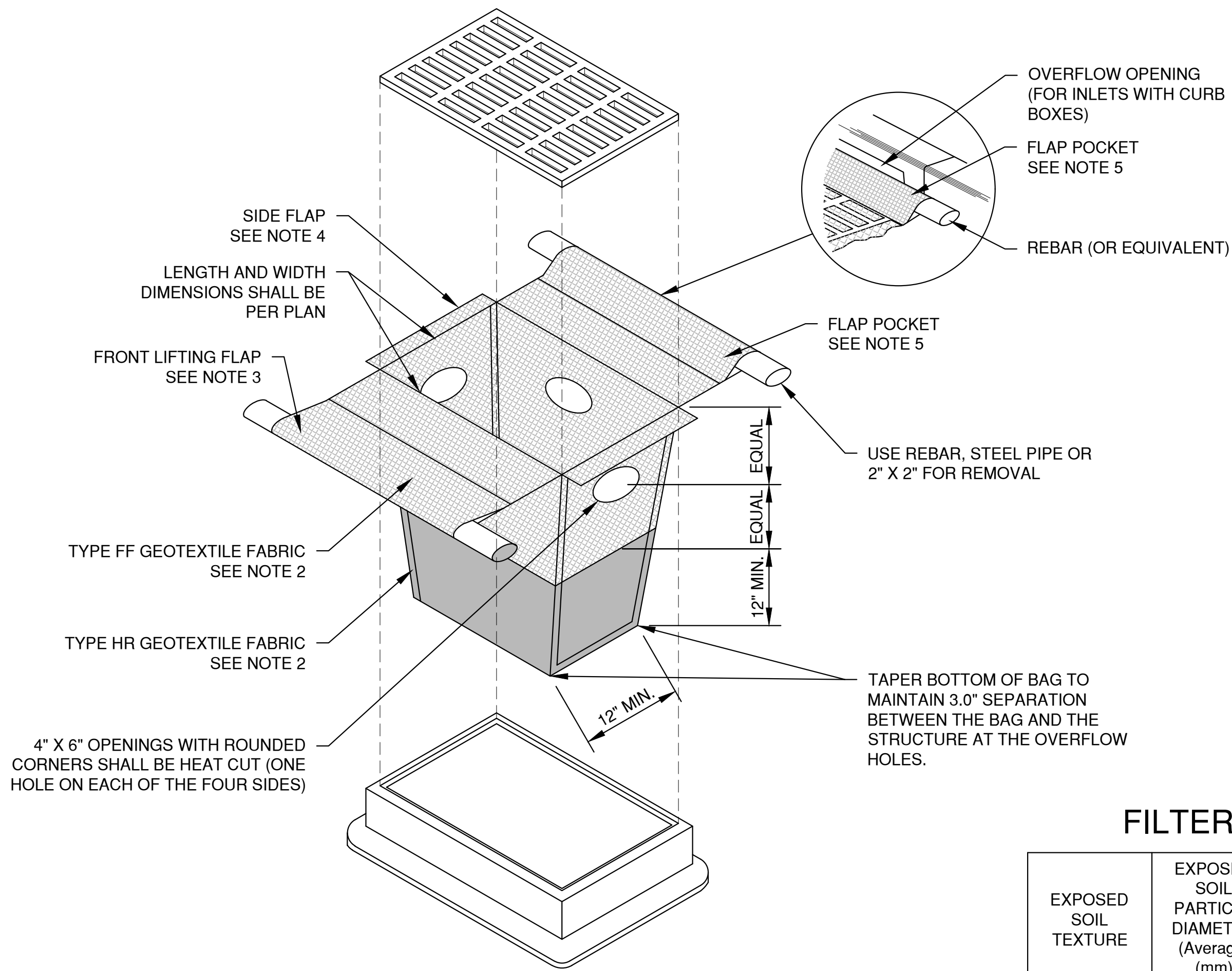
WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED IN THE FABRIC DOES NOT FALL INTO THE STRUCTURE. MATERIAL THAT HAS FALLEN INTO THE INLET SHALL BE IMMEDIATELY REMOVED.

NOTES:

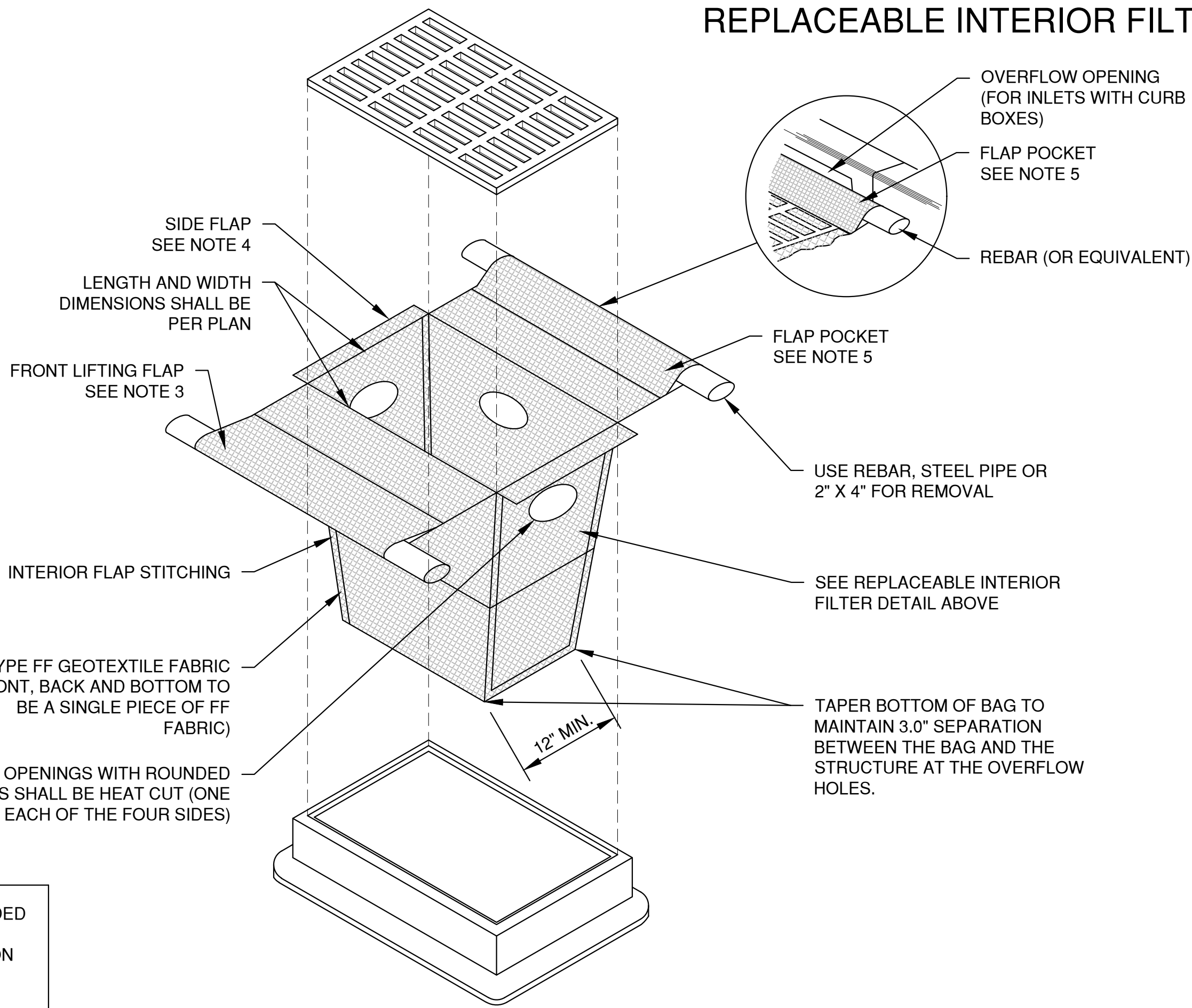
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REPLACEABLE INTERIOR FILTER



INLET PROTECTION, TYPE D-HR
(CAN BE INSTALLED IN INLETS WITH OR WITHOUT CURB BOXES)



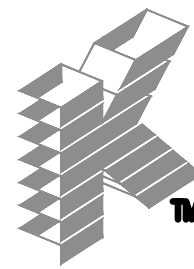
INLET PROTECTION, TYPE D-M
(CAN BE INSTALLED IN INLETS WITH OR WITHOUT CURB BOXES)

FILTER FABRIC TYPE

EXPOSED SOIL TEXTURE	EXPOSED SOIL PARTICLE DIAMETER (Average) (mm)	FILTER FABRIC TYPE*	RECOMMENDED INLET PROTECTION DEVICE TYPE
COARSE (SAND)	≥0.0625	FF	D, D-M
MEDIUM (SILT LOAM)	0.0624 - 0.005	DF	D, D-M
FINE (CLAY)	≤ 0.004	R	D-M
		HR	D-HR

* DF, R OR HR FILTERS MAY BE USED WHERE FF IS THE REQUIRED MINIMUM STANDARD. R OR HR MAY BE USED WHERE DF IS THE REQUIRED MINIMUM STANDARD.

** FOLLOW DESIGN CRITERIA OF WDNR TECHNICAL STANDARD 1060



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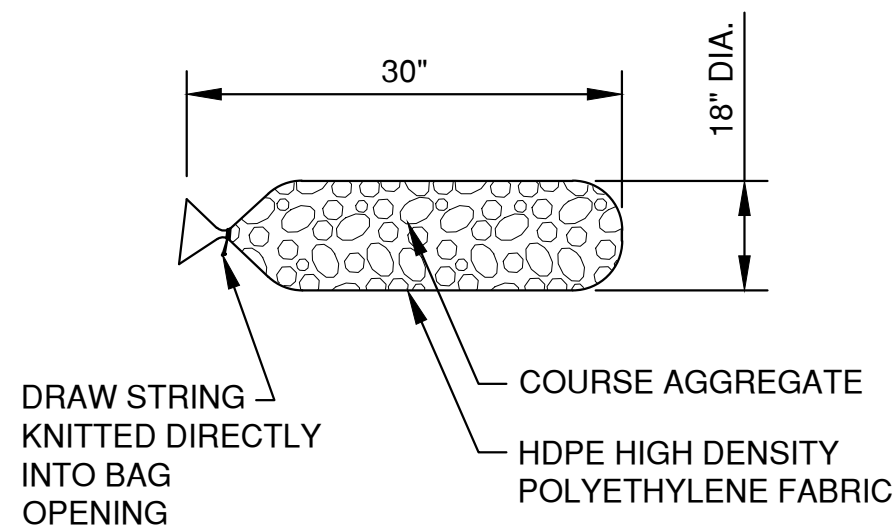
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LAYOUT: 3 DITCH CHECKS



FILTER BAG DETAIL

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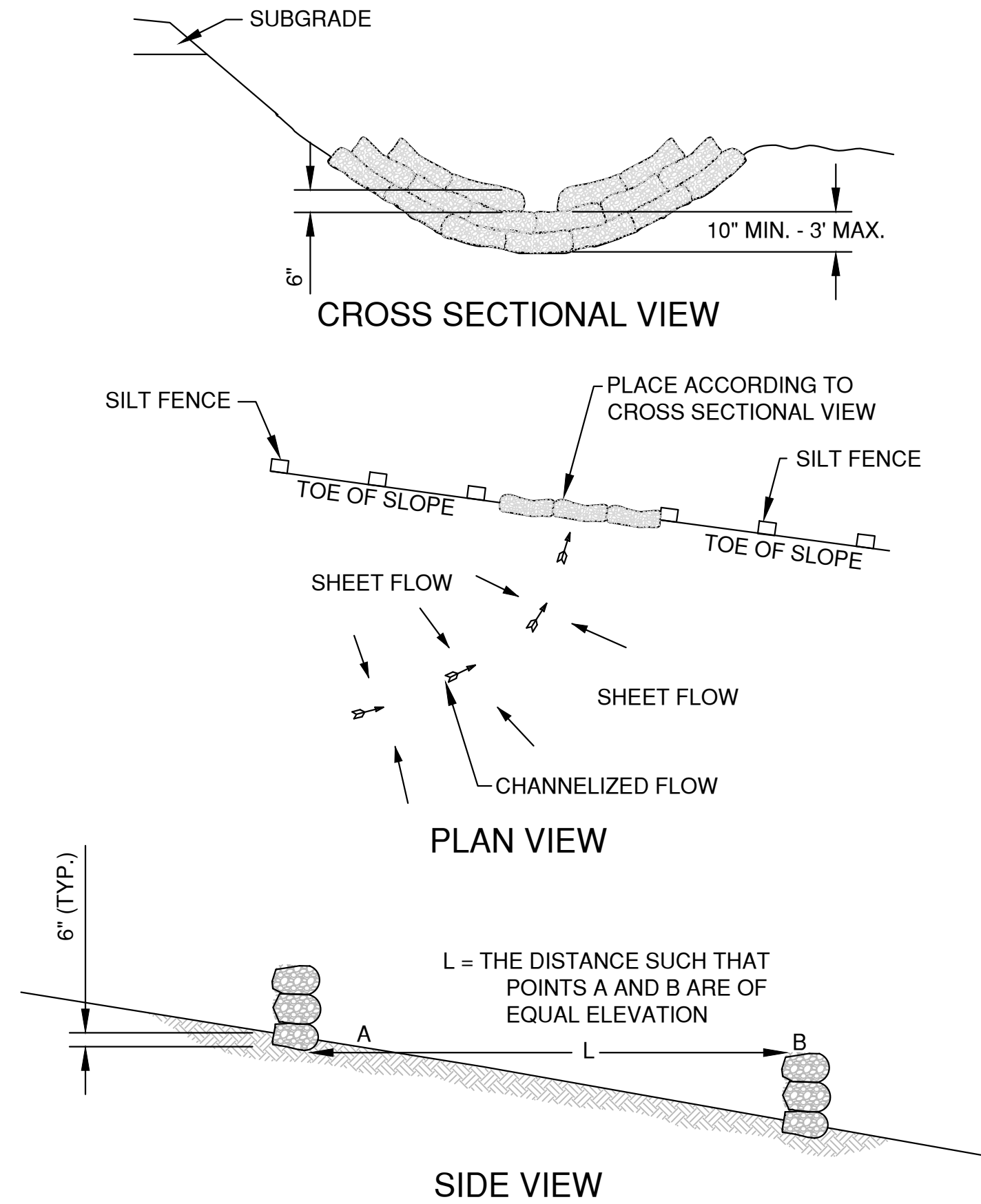
- 18" X 30" ROCK FILLED FILTER BAG SHALL BE COMPRISED OF THE FOLLOWING:

HDPE HIGH DENSITY POLYETHYLENE
HDPE HIGH DENSITY POLYETHYLENE DRAW STRING KNITTED DIRECTLY
INTO BAG OPENING.
80% FABRIC CLOSURE WITH APPARENT OPENING SIZE NO LARGER THAN
1/8" X 1/8"
ROLLED SEAM USING A MINIMUM OF 480 DENIER POLYESTER
SEWING YARN FOR STRENGTH AND DURABILITY.

- USE WELL GRADED COURSE AGGREGATE CONFORMING TO THE FOLLOWING
GRADATION REQUIREMENTS

SIEVE SIZE	SIZE NO. AASHTO No. 67 (1)
2 INCH (50 mm)	-
1 1/2 INCH (37.5mm)	-
1 INCH (25.0 mm)	100
3/4 INCH (19.0mm)	90-100
3/8 INCH (9.5mm)	20-55
No. 4 (4.75mm)	0-10
No. 8 (2.36mm)	0-5

(1) SIZE No. ACCORDING TO AASHTO M 43

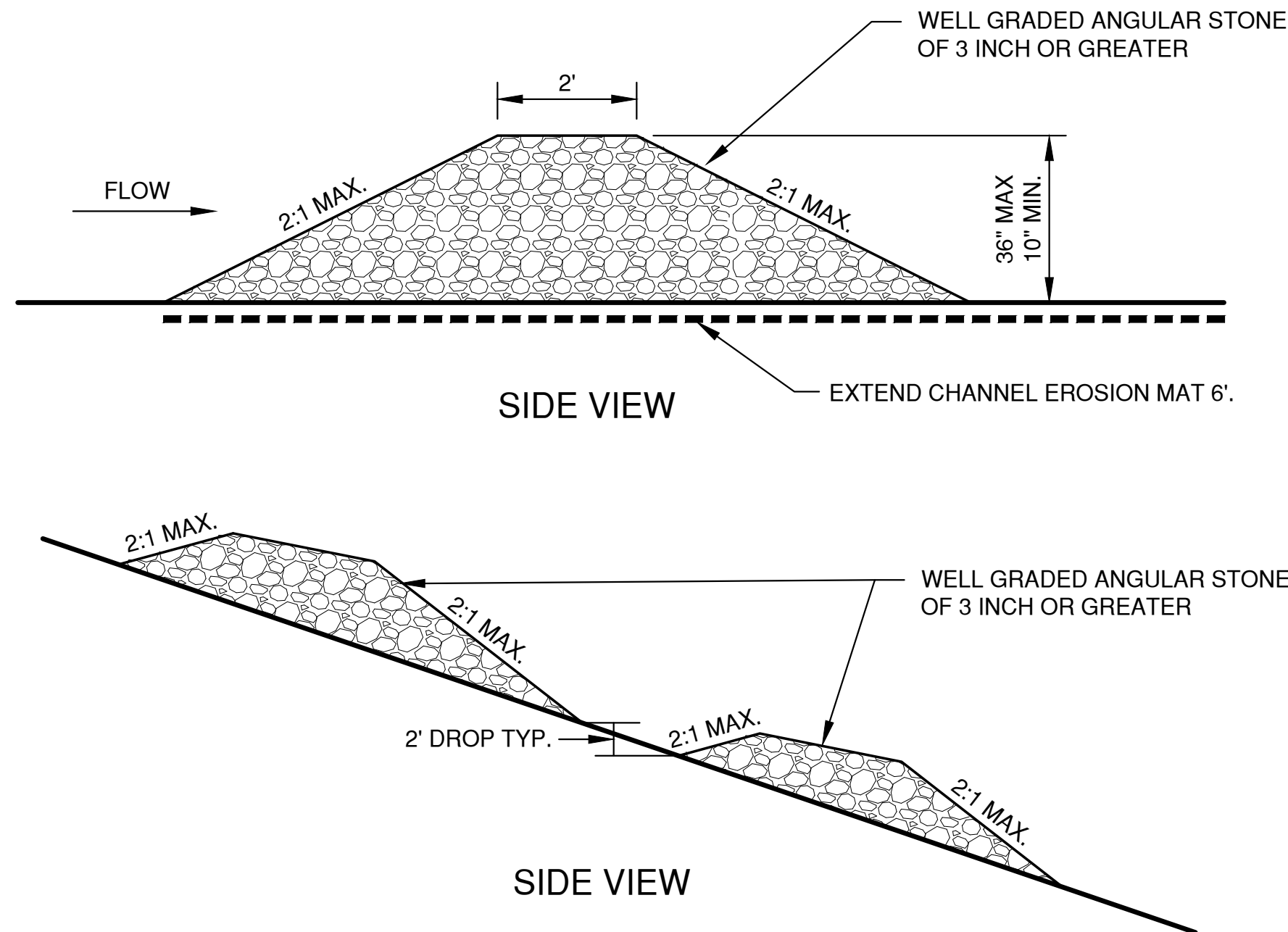


DITCH CHECK DETAIL

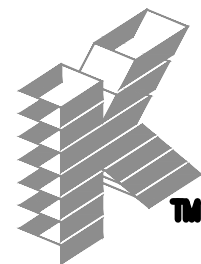
ROCK FILLED EROSION CONTROL BAGS

DITCH CHECK GENERAL NOTES:

- DITCH CHECKS SHALL BE CONSTRUCTED IN ACCORDANCE
WITH WDNR TECHNICAL STANDARD 1062.
- AT A MINIMUM, INSTALL ONE DITCH CHECK FOR EVERY 2 FEET
OF VERTICAL DROP.
- DITCH CHECKS SHALL BE PLACED SUCH THAT THE
RESULTING PONDING WILL NOT CAUSE AN INCONVENIENCE
OR DAMAGE TO ADJACENT AREAS.



TEMPORARY DITCH CHECK USING STONE



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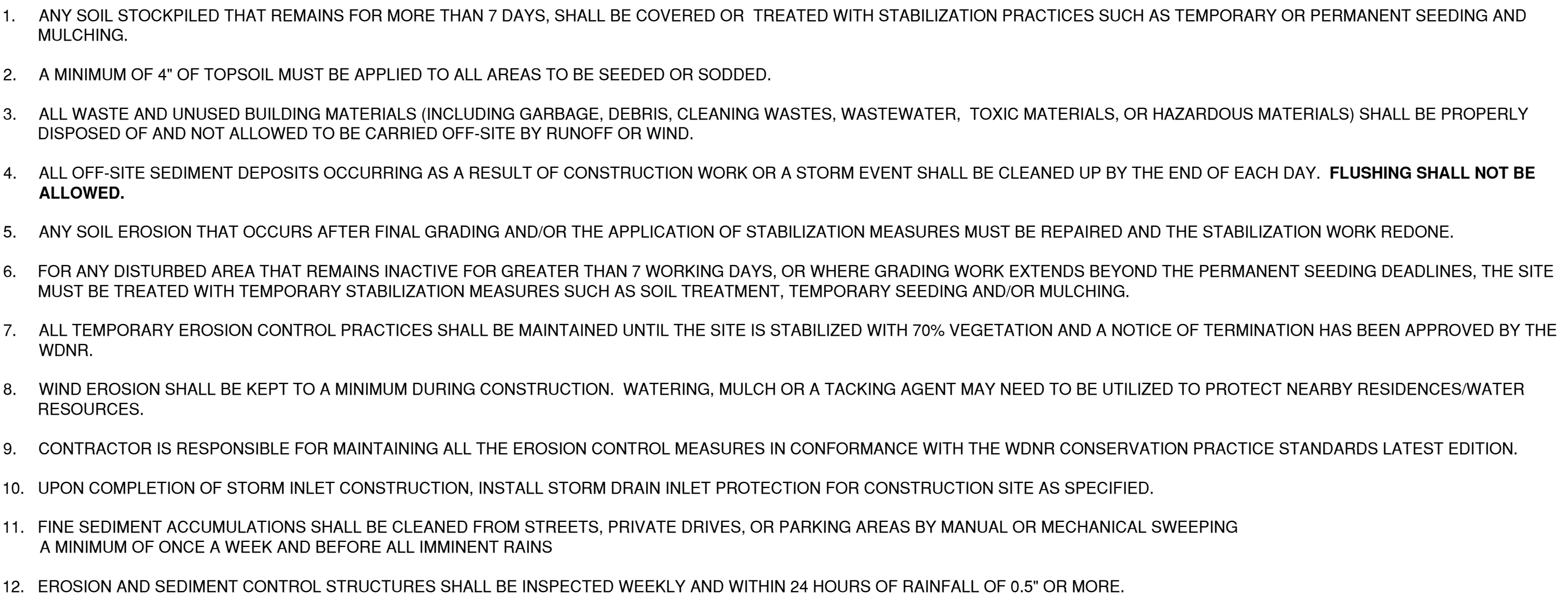
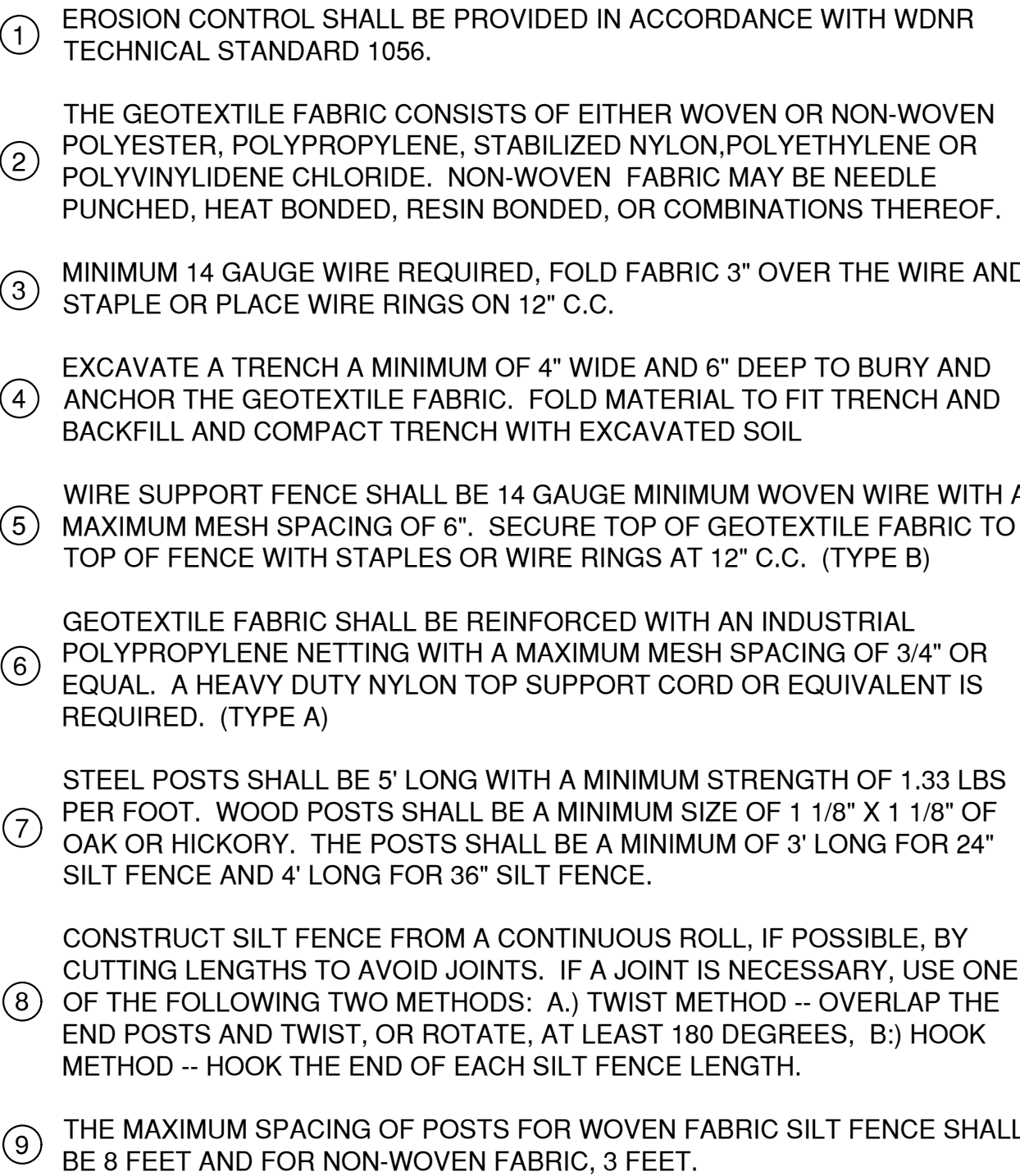
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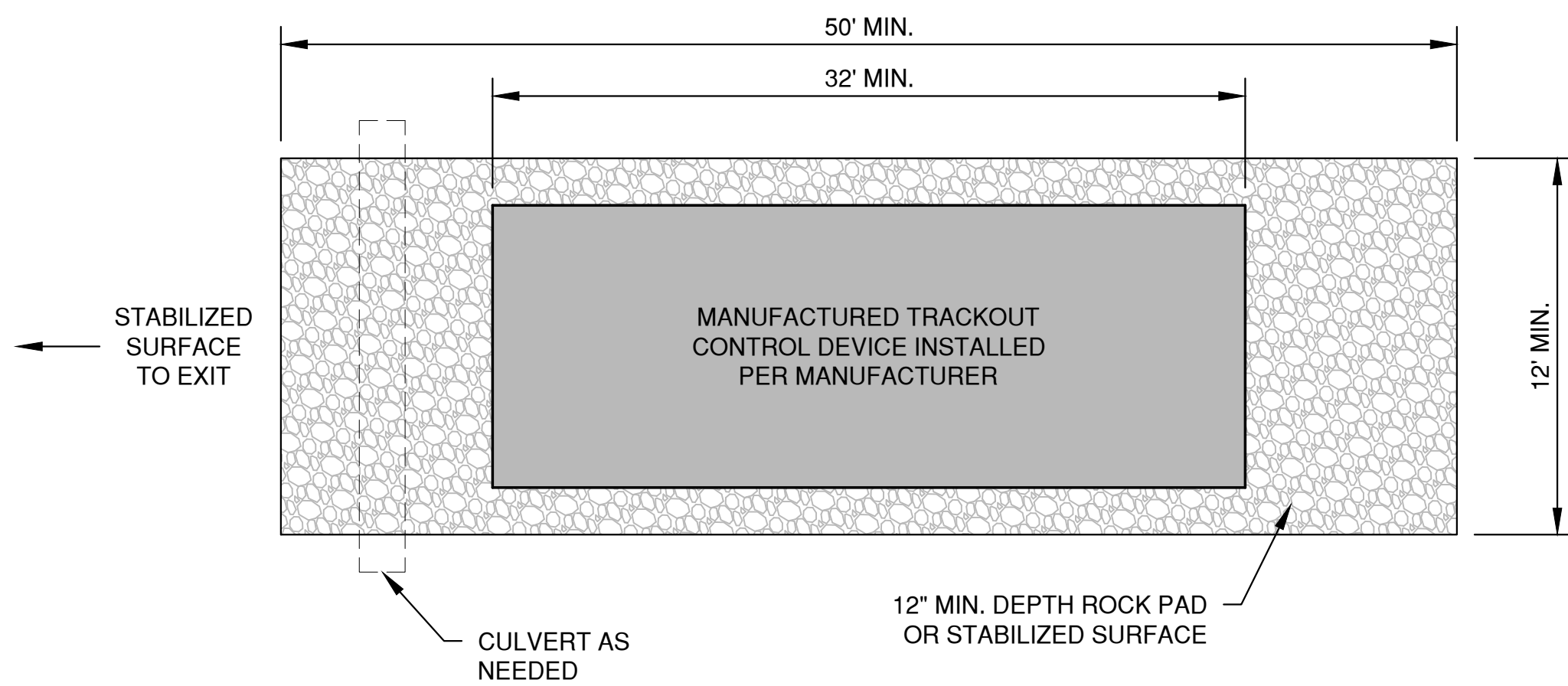
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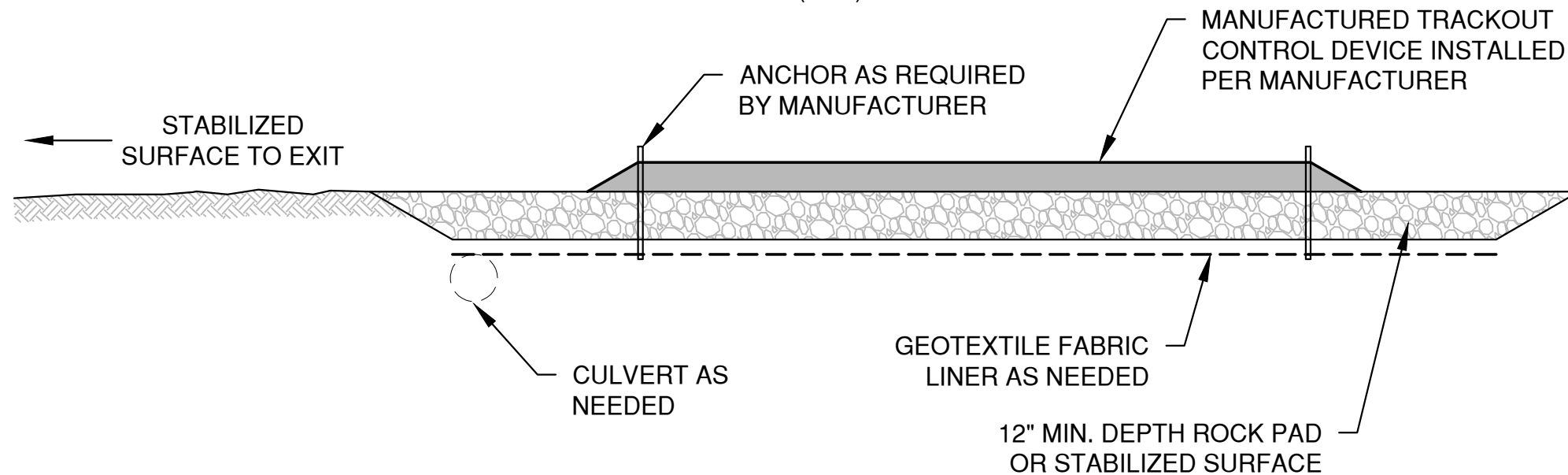
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* TRACKOUT CONTROL TO BE PROVIDED PER DETAILS BELOW AND IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1057



PLAN VIEW
(NTS)

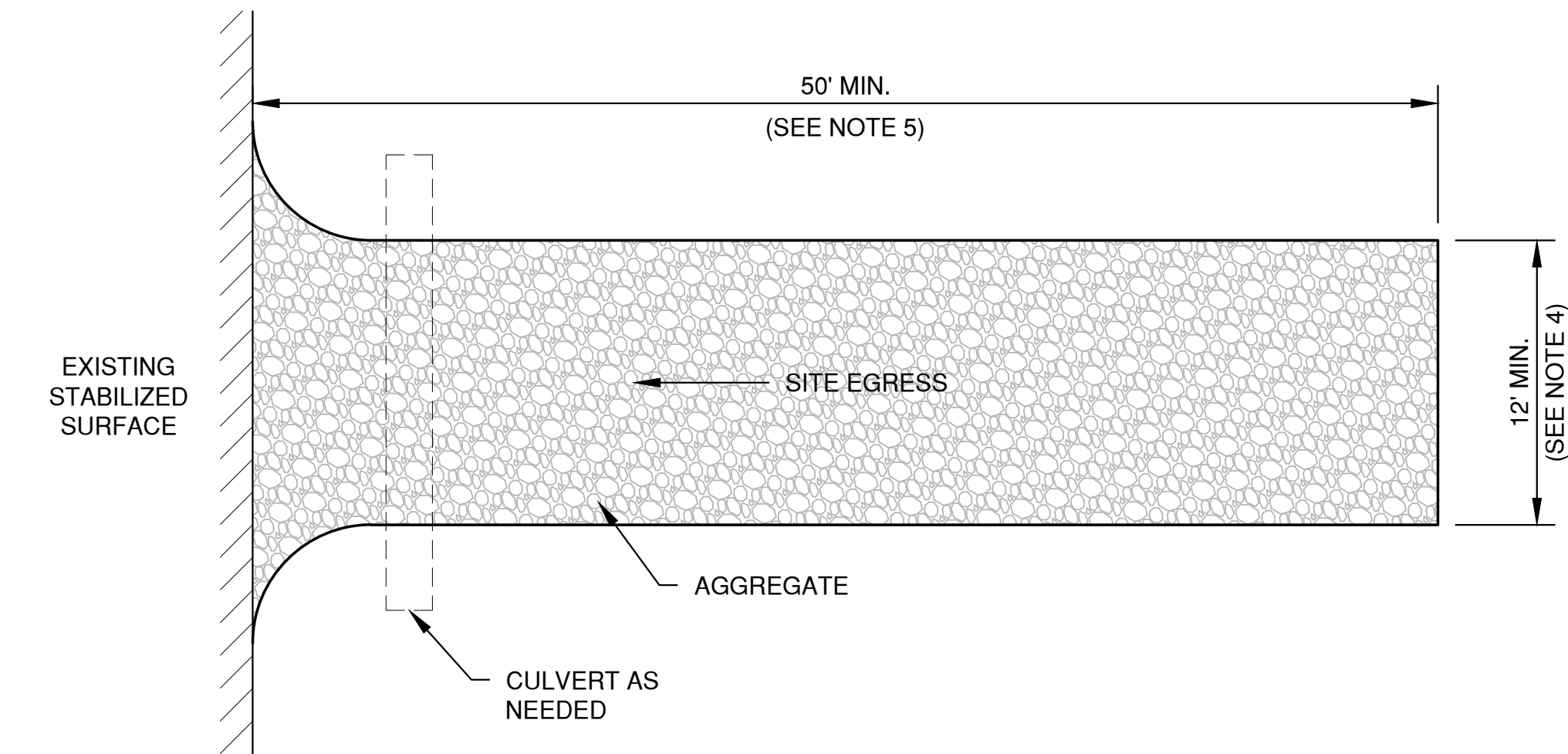


SECTION VIEW

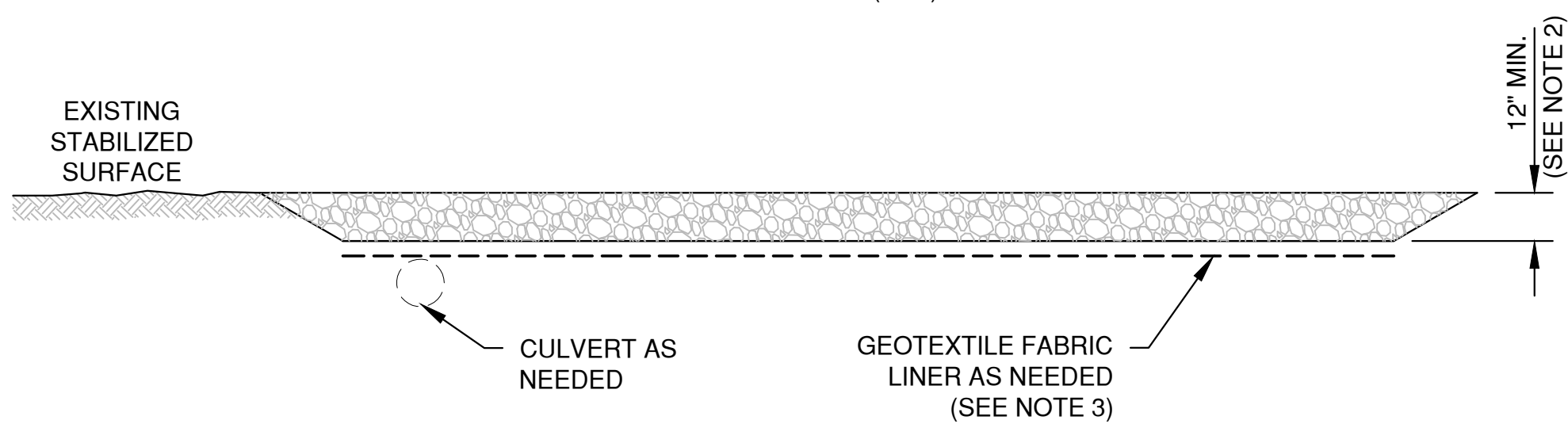
NOTES:

1. THIS DETAIL IS PROVIDED AS AN EXAMPLE. COMPLY WITH MANUFACTURER'S SPECIFICATIONS WHILE ALSO MEETING THE MINIMUM MANUFACTURED TRACKING PAD LENGTH AND WIDTH DESCRIBED IN THIS TECHNICAL STANDARD.
2. INSTALL SUCH THAT RUNOFF FLOWS TO AN APPROVED TREATMENT PRACTICE.
3. A THINNER STONE LAYER OR OTHER STABLE SURFACE MAY BE ACCEPTABLE SUCH THAT RUTTING IS MINIMIZED AS VEHICLES MOUNT OR DISMOUNT FROM THE MANUFACTURERS TRACKOUT CONTROL DEVICE.
4. SELECT FABRIC TYPE BASED ON SOIL CONDITIONS AND VEHICLES LOADING.
5. DIRECT ALL EXISTING VEHICLES OVER MANUFACTURED TRACKOUT CONTROL DEVICE. STONE TRACKING PAD INSTALLATION ACROSS REMAINING ACCESS WIDTH IS RECOMMENDED. A 12' MINIMUM CAN BE USED WHEN EXITING TRAFFIC IS RESTRICTED TO A DEDICATED EGRESS LANE.
6. IF MINIMUM INSTALLATION LENGTH IS NOT POSSIBLE DUE TO SITE GEOMETRY, INSTALL THE MAXIMUM LENGTH PRACTICABLE AND SUPPLEMENT WITH ADDITIONAL PRACTICES AS NEEDED.
7. ACCOMMODATE EXITING VEHICLES IN EXCESS OF MANUFACTURED TRACKOUT CONTROL DEVICE WEIGHT CAPACITY WITH OTHER TREATMENT PRACTICES.

MANUFACTURED TRACKOUT CONTROL DETAIL



PLAN VIEW
(NTS)



SECTION VIEW

NOTES:

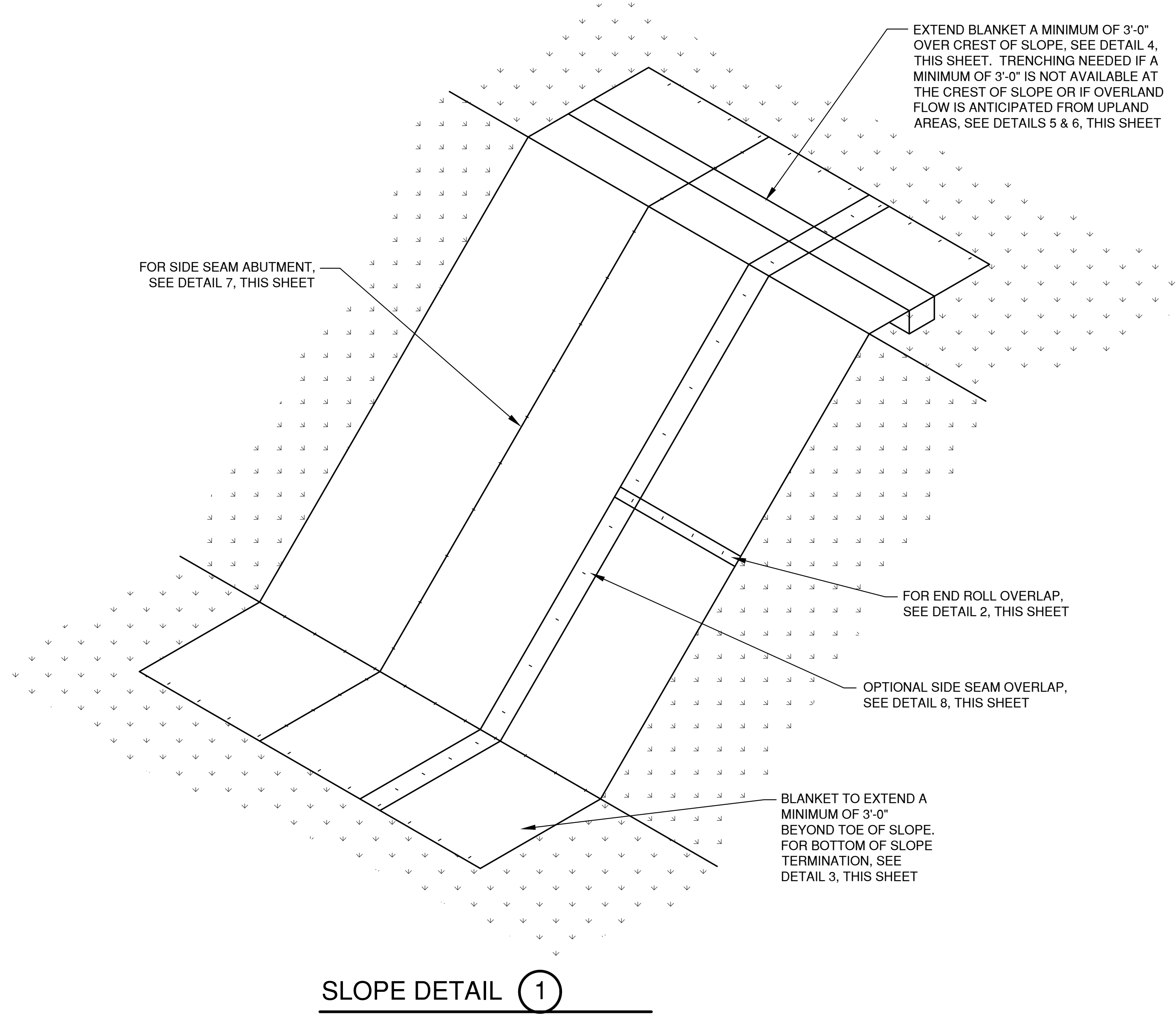
1. USE HARD, DURABLE, ANGULAR STONE OR RECYCLED CONCRETE, MEETING THE FOLLOWING GRADATION:

SIEVE SIZE:	PERCENT BY WEIGHT PASSING:
3"	100
2 1/2"	90-100
1 1/2"	25-60
3/4"	0-20
3/8"	0-5

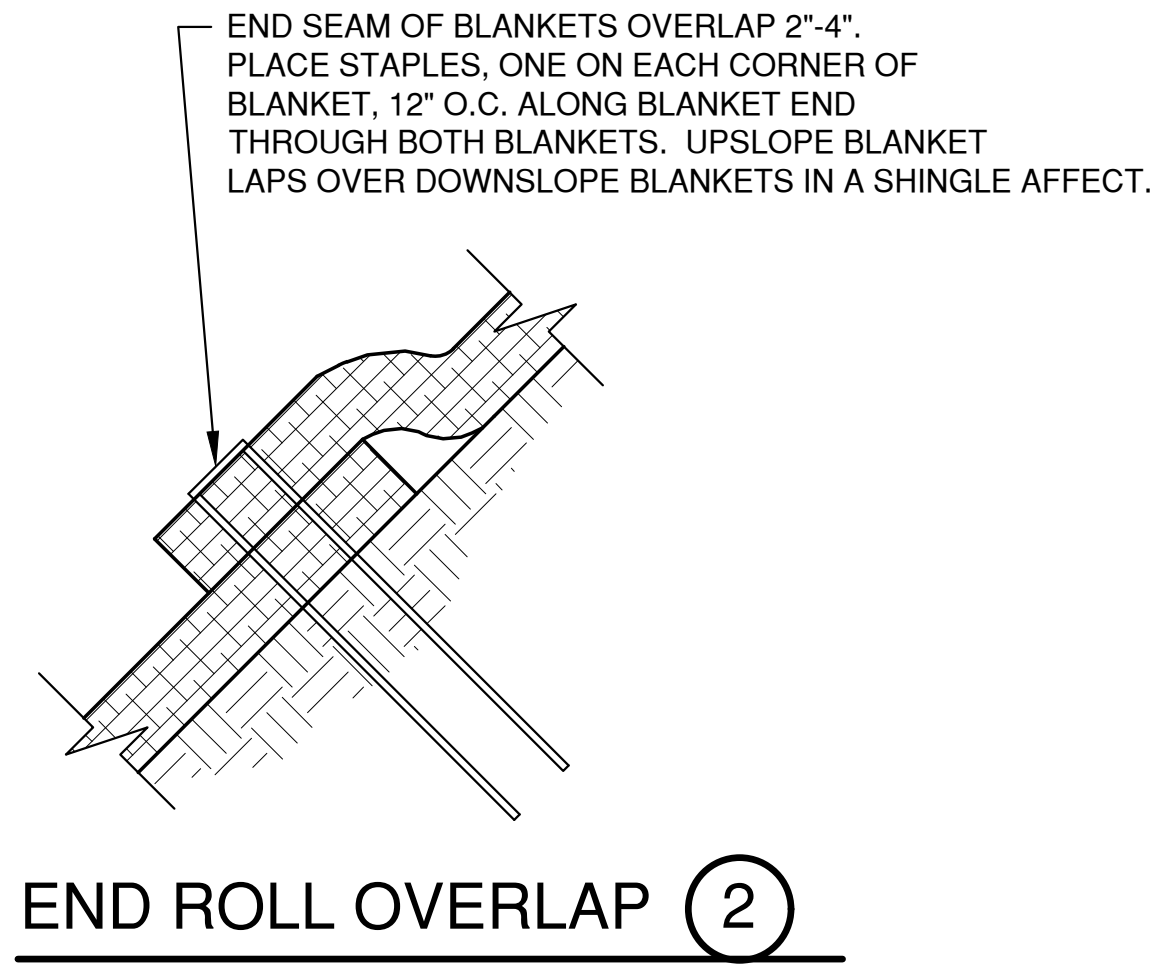
2. SLOPE THE STONE TRACKING PAD IN A MANNER TO DIRECT RUNOFF TO AN APPROVED TREATMENT PRACTICE.
3. SELECT FABRIC TYPE BASED ON SOIL CONDITIONS AND VEHICLES LOADING.
4. INSTALL TRACKING PAD ACROSS FULL WIDTH OF THE ACCESS POINT, OR RESTRICT EXISTING TRAFFIC TO A DEDICATED EGRESS LANE AT LEAST 12 FEET WIDE ACROSS THE TOP OF THE PAD.
5. IF A 50' PAD LENGTH IS NOT POSSIBLE DUE TO SITE GEOMETRY, INSTALL THE MAXIMUM LENGTH PRACTICABLE AND SUPPLEMENT WITH ADDITIONAL PRACTICES AS NEEDED.

STONE TRACKING PAD DETAIL

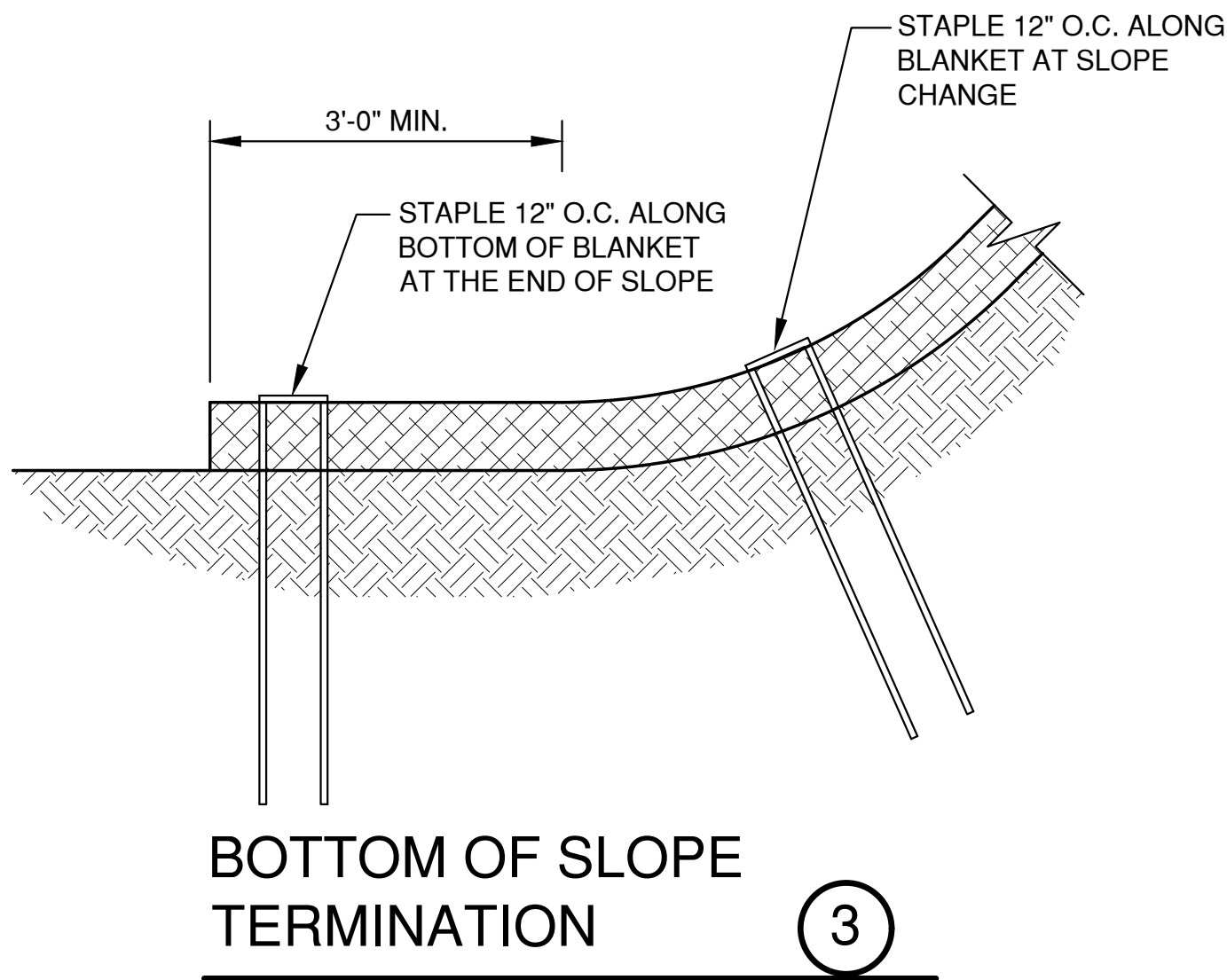
File: R:\2400\2400\2400030\Drawings\2400030SEC.dwg
Print Date: 04/11/2024 10:00:00 AM
LAYOUT: 6. SLOPE DATE:



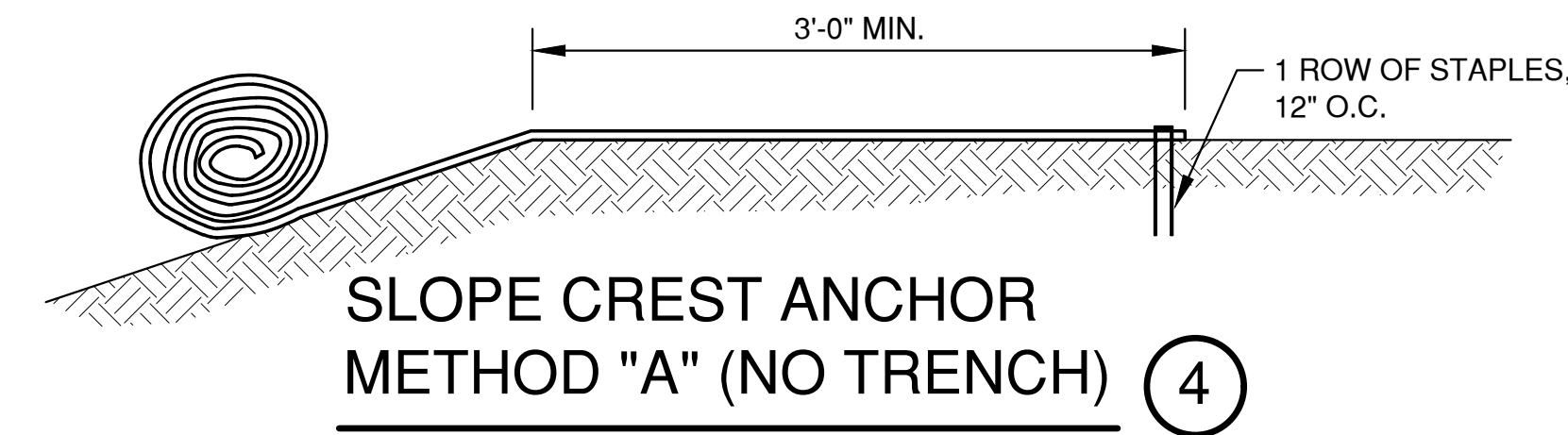
SLOPE DETAIL ①



END ROLL OVERLAP ②

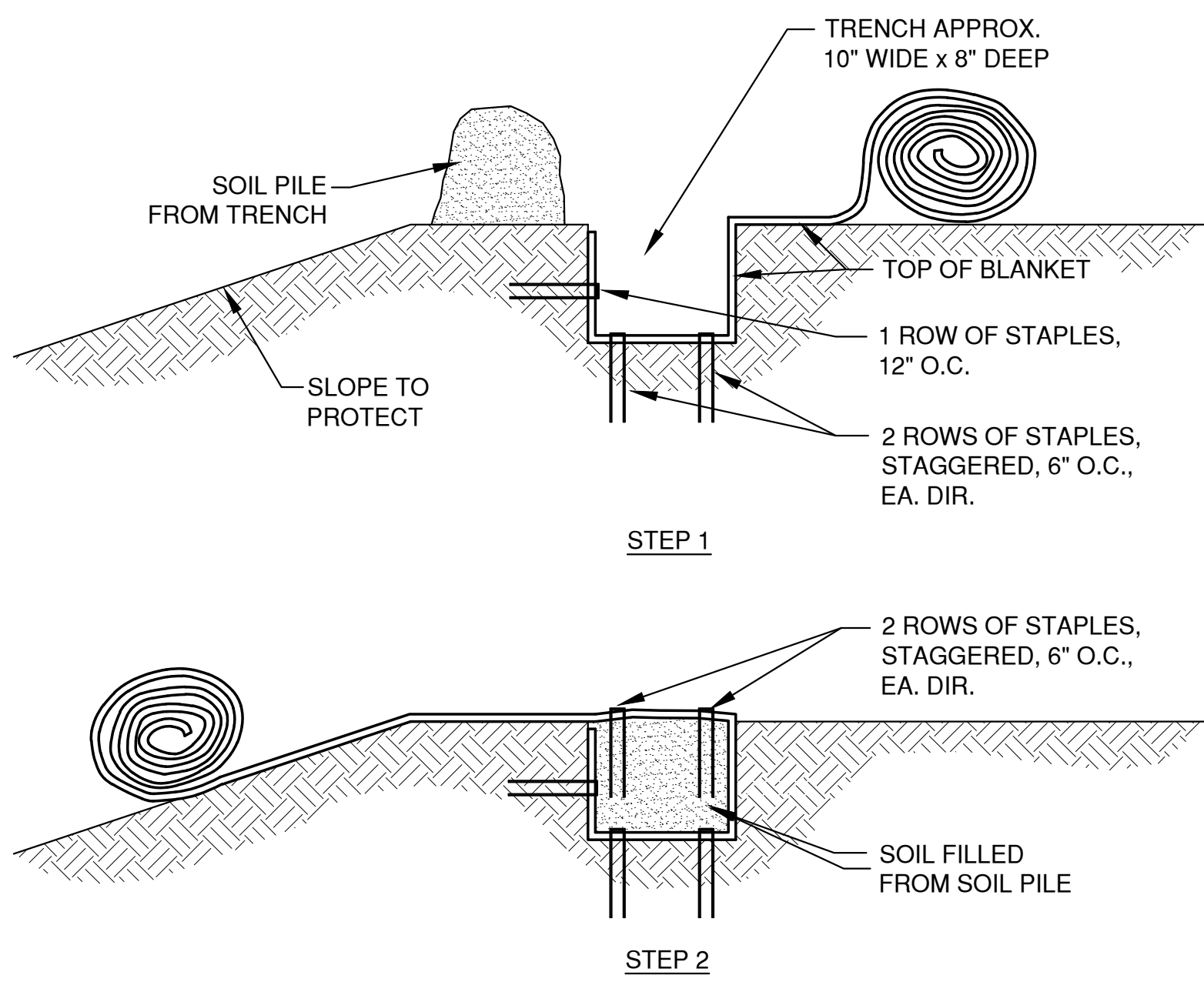


BOTTOM OF SLOPE TERMINATION ③

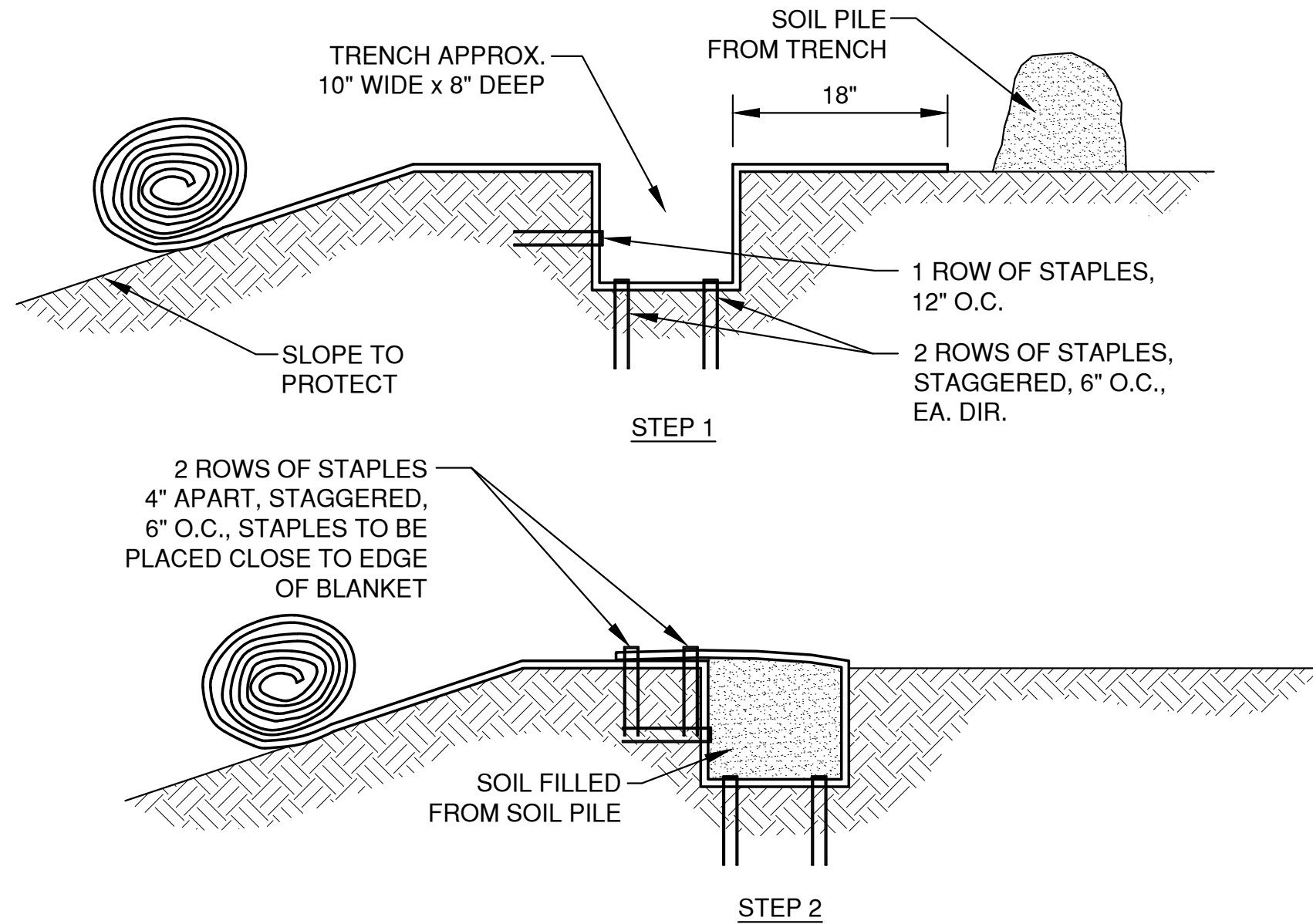


SLOPE CREST ANCHOR METHOD "A" (NO TRENCH) ④

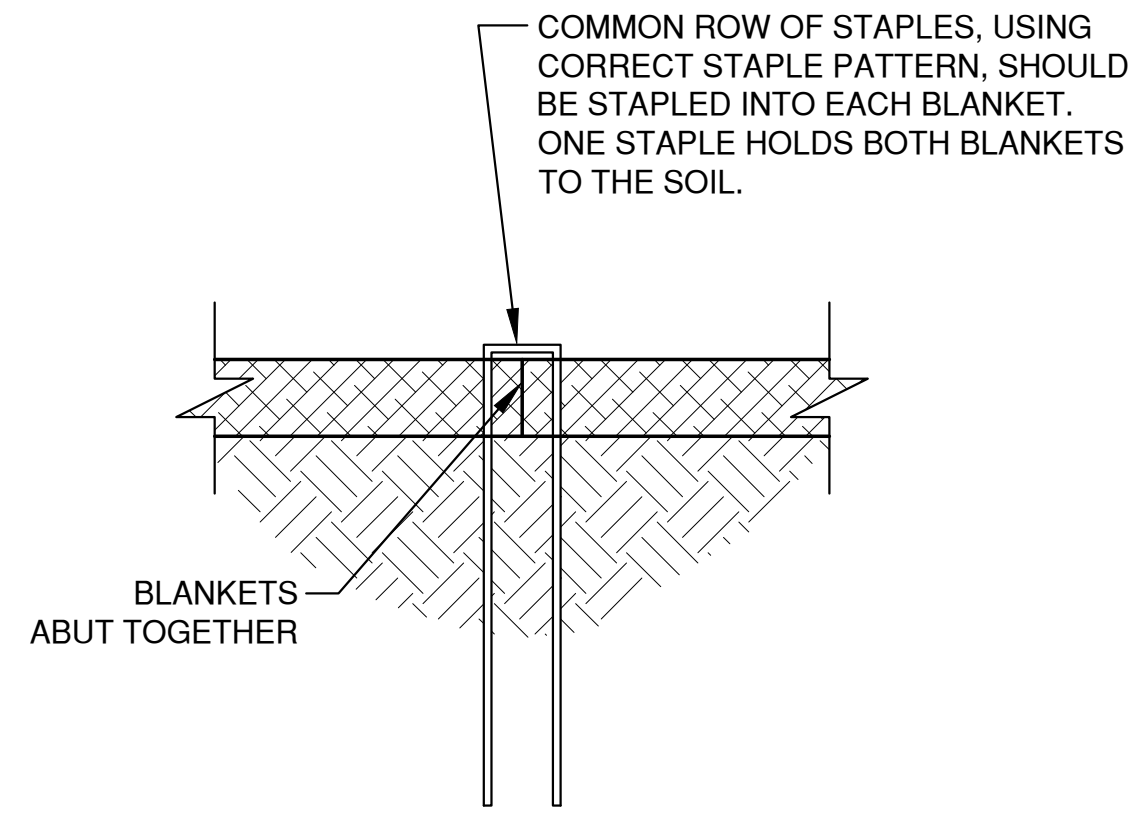
DO NOT NEED TO TRENCH BLANKET IN IF IT CAN BE EXTENDED A MINIMUM OF 3'-0" OVER THE CREST OF THE SLOPE.



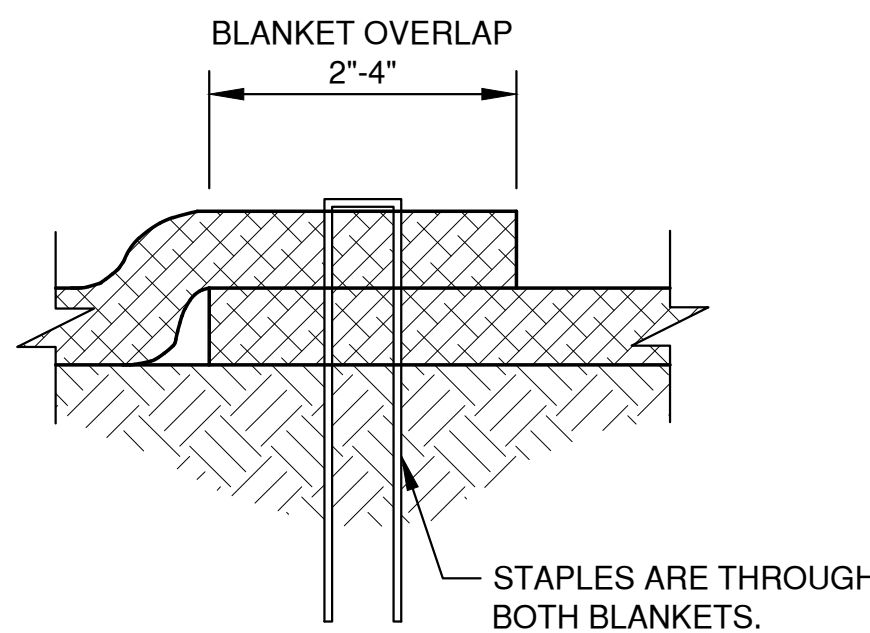
SLOPE TRENCHING METHOD "B" ⑤



SLOPE TRENCHING METHOD "C" ⑥

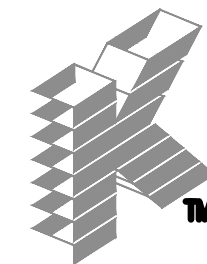


SIDE SEAM ABUT STAPLE DETAIL ⑦



SIDE SEAM OVERLAP STAPLE DETAIL ⑧

NOTES:
1. STAPLE PATTERNS ARE DEPENDENT ON SITE CONDITIONS. SEE MANUFACTURER STAPLE PATTERN GUIDE FOR DETAILS.



PLANNERS | ARCHITECTS | BUILDERS

FOX CITIES
1826 State Road 85
P.O. Box 820
Kaukauna, WI 54130
Phone (920) 766-5786
1-800-236-2534
Fax (920) 766-5504

MADISON
711 Lebo Dr.
Sun Prairie, WI 53560
Phone (608) 318-2336
Fax (608) 318-2337

MILWAUKEE
18204 W11800
Goldendale Rd
Germantown, WI 53022
Phone (262) 220-0710
1-800-236-2534
Fax (262) 220-0740

WAUSAU
8805 Liles Ave
Wausau, WI 54401
Phone (715) 848-3141
Fax (715) 848-3181

www.kellerbuilds.com

PROPOSED FOR:
CRANE ENGINEERING EXPANSION
VILLAGE OF KIMBERLY
OUTAGAMIE COUNTY, WISCONSIN

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PROJECT MANAGER:

DESIGNER:

DRAWN BY:

EXPEDITOR:

SUPERVISOR:

PRELIMINARY NO:

CONTRACT NO:

DATE:

SHEET: **C16.0**

PRELIMINARY - NOT FOR CONSTRUCTION



MILWAUKEE	WAUSAU
W204 N11800	5905 Llac Ave
Goldendale Rd	Wausau, WI 54401
Germantown, WI 53022	Phone (715) 848-3141
Phone (262) 250-9710	Fax (715) 848-3181
1-800-236-2634	
Fax (262) 250-9740	

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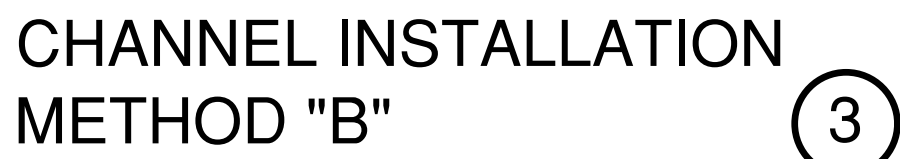
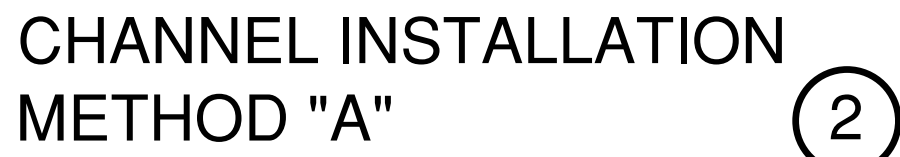
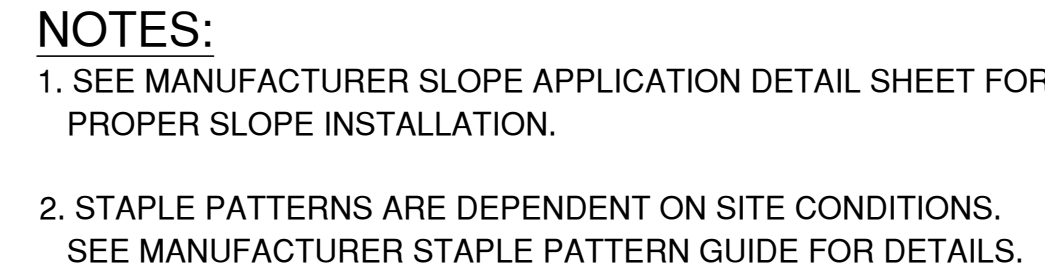
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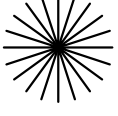
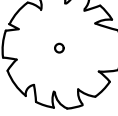
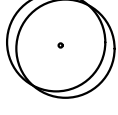


CHANNEL TRENCHING METHOD "A" (



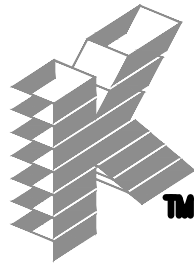
CHANNEL TRENCHING METHOD "B" (

TREE LEGEND

SYMBOL	COMMON NAME	PLANT SIZE	QUANTITY
	JAPANESE TREE LILAC	2" CALIPER	9
	PAPERBARK MAPLE	2" CALIPER	7
	RED MAPLE	2" CALIPER	3
	PURPLE PRINCE CRAB	2" CALIPER	3
	TOTAL		22

LEGEND

- CONCRETE PAVEMENT (S.F.)
- ASPHALT PAVEMENT (LIGHT)
- ASPHALT PAVEMENT (HEAVY)
- LANDSCAPE AREA
- GREEN SPACE
- PROPOSED 18" STANDARD SHEDDING CURB AND GUTTER
- TRAFFIC FLOW ARROW
- HANDICAPPED PARKING
- SIGN
- INDICATES NUMBER OF PARKING STALLS



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1626 State Road 85
P.O. Box 620
Kaukauna, WI 54130
Phone (920) 786-5786
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Fax (920) 786-5904

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711 Lake Dr.
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DRAWN BY:

EXPEDITOR:

SUPERVISOR:

PRELIMINARY NO:

CONTRACT NO:

DATE:

SHEET: **C18.0**

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REL Robert E. Lee
& Associates, Inc.
1250 Centennial Centre Blvd | Hobart, WI | 920-662-9641 | releelinc.com

SHEET INDEX

C1.0 CONCEPTUAL SITE PLAN
EX1.0 EXISTING FLOOR PLAN
EX2.0 EXISTING ELEVATIONS
A1.0 FLOOR PLAN
A1.1 FLOOR PLAN (ENLARGED)
A2.0 ELEVATIONS
A3.0 SECTIONS
S1.0 FOUNDATION PLAN

BUILDING & FIRE AREA
SQUARE FOOTAGES

FLOOR AREAS	EXISTING	NEW	SUB-TOTAL
SECOND FLOOR	----- S.F.	----- S.F.	----- S.F.
FIRST FLOOR	41,635 S.F.	43,462 S.F.	85,097 S.F.
CANOPIES (COLUMN SUPPORTED)	----- S.F.	----- S.F.	----- S.F.
BASEMENT	----- S.F.	----- S.F.	----- S.F.
BUILDING AREA SUB-TOTALS	----- S.F.	----- S.F.	----- S.F.
MEZZANINES	5,189 S.F.	----- S.F.	5,189 S.F.
FIRE AREA TOTALS	46,824 S.F.	43,462 S.F.	90,286 S.F.
REMODEL AREA TOTALS	----- S.F.	~% OF BUILDING AREA	

BUILDING CODE ANALYSIS

PROJECT ADDRESS
707 Ford St., Kimberly, WI 54136

APPLICABLE CODES
2015 International Building Code (w/ WI Amendments)
2015 IECC, 2015 IBC (Level 2 Alteration)

OCCUPANCY
B-Business, F2-Low Hazard Factory, S2-Low Hazard Storage
Accessory Use
NA
Incidental Use
NA
High-Piled Combustible Storage
Hazardous Materials
Multiple Control Areas

HEIGHT & AREA
Building Height: 22'-0"
Number of Stories: 1
Total Building Area: 83,468 S.F.
Total Fire Area: 88,657 S.F.
Mixed
Unlimited Area Building
NO
Maximum Allowed: 75'-0"
Maximum Allowed: 4
Maximum Allowed: 161,000 S.F.
Maximum Allowed: 161,000 S.F.

CONSTRUCTION TYPE
Construction Classification
Fire Separation Distance
IIB
>30'-0"

FIRE PROTECTION SYSTEMS
Assumed Sprinkler Type
Fire Alarm System
NFPA 13
NO

MEANS OF EGRESS
Occupant Load 295
Panic Hardware NO

STRUCTURAL DESIGN
Risk Category
Design Loads
Roof Live Load
Walk-on IMP Ceiling Live Load
Steel Framing
Collateral Load
Wood Truss
Top Chord Dead Load
Bottom Chord Load
Mezzanine/Second Floor/Basementoor/Mezz
Live Load
Point Load (Partition)
Snow Load
Criteria
Ground Snow Load (Pg)
Exposure Factor (Ce)
Thermal Factor (Ci)
Wind Loads
Wind Load
Surface Roughness
Exposure Category
Earthquake Load Criteria
Soil Site Class
Ss
St
115 MPH
B
B
D
0.056
0.035

PLUMBING SYSTEMS
Mens WC Required
Womens WC Required
Drinking Fountain Required
Other Source
Ambulatory Stall Required
3
3
3
NO
NO

MECHANICAL SYSTEMS
NO SINGLE PIECE OF EQUIPMENT OVER 400,000 BTU
NO BOILERS OVER 15PSI AND 10 HORSEPOWER

SITE INFORMATION

SITE CONTENT
Building Size
Hard Surface
Green Space
Parcel Size (Approx.)
Parking Provided
Area of Disturbance
~-- S.F.
~-- S.F.
~-- S.F.
~-- S.F.
~-- Stalls
~-- S.F.

ZONING
Property Zoning
Setbacks
Hard Surface Setback
Coverage Limit
Greenspace Requirement
Parking Required
Refuse Enclosure
RTU SCREENING
~
FY ~-~ SY ~-~ RY ~-~
~--
~--
~--
~--
YES/NO
YES/NO

PROPOSED FOR:

CRANE ENGINEERING

KIMBERLY,

WISCONSIN

Luminaire Schedule	Qty	Label	Description	LFP
Symbol	7	OK1-EX	LUMARK PRV-C60-D-UNV-T4-BZ + 30" SSS POLE (EXISTING)	0.900
3	OA1	LUMARK XTOR48-W		0.900
5	OA1	LUMARK XTOR48B-W		0.900
3	OK1	LUMARK PRV-C60-D-UNV-T4-BZ + 30" SSS POLE		0.900



ALL DIMENSIONS AND BEARINGS SHOWN ON THIS PLAN ARE INTERPRETED VALUES. BACKGROUND INFORMATION TAKEN FROM LOCAL GIS DATE. AERIAL IMAGERY AND/OR CLIENT PROVIDED INFORMATION. EASEMENTS, STREAMS AND ROADS ARE APPROXIMATE IN NATURE. FOLLOW UP INVESTIGATION WITH STATE AND LOCAL AUTHORITIES AND/OR WITH CERTIFIED SURVEY MAP DATA WHEN AVAILABLE IS REQUIRED.



Kel
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FOX CITIES
N216 State Road 55
P.O. Box 620
Kaukauna, WI 54130
PHONE (920) 766-3755 /
1-800-236-2534
FAX (920) 766-9004

MILWAUKEE
W204 N11509
Coldendale Rd
Carmel, WI 53022
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3	06.05.202
4	06.12.202
5	06.25.202
6	07.09.202

PROJECT MAN/
K. \

DESIGNER:
R.

INTERIOR DESI

DRAWN BY:

EXPEDITOR:

SUPERVISOR:

PRELIMINARY I

CONTRACT NO.

DATE:

SHEET:



4800 W PROSPECT AVENUE APPLETON, WI 54914
(920) 815-4060, (920) 815-4060 FAX WWW.WERNERELECTRIC.COM

CRANE ENGINEERING
KIMBERLY, WI

RECORDS INFO
DRAWN BY: CRH
Date: 11/1/2024
SCALE: 1"=40'
JOB #: 87932

SHEET DESCRIPTION
SITE
LIGHTING
LAYOUT

SHEET NO.

ES01

DESCRIPTION

The patented Lumark Crosstour™ LED Wall Pack Series of luminaires provides an architectural style with super bright, energy efficient LEDs. The low-profile, rugged die-cast aluminum construction, universal back box, stainless steel hardware along with a sealed and gasketed optical compartment make the Crosstour impervious to contaminants. The Crosstour wall luminaire is ideal for wall/surface, inverted mount for façade/canopy illumination, post/bollard, site lighting, floodlight and low level pathway illumination including stairs. Typical applications include building entrances, multi-use facilities, apartment buildings, institutions, schools, stairways and loading docks test.

SPECIFICATION FEATURES

Construction

Slim, low-profile LED design with rugged one-piece, die-cast aluminum hinged removable door and back box. Matching housing styles incorporate both a small and medium design. The small housing is available in 12W, 18W and 26W. The medium housing is available in the 38W model. Patented secure lock hinge feature allows for safe and easy tool-less electrical connections with the supplied push-in connectors. Back box includes three half-inch, NPT threaded conduit entry points. The universal back box supports both the small and medium forms and mounts to standard 3-1/2" to 4" round and octagonal, 4" square, single gang and masonry junction boxes. Key hole gasket allows for adaptation to junction box or wall. External fin design extracts heat from the fixture surface. One-piece silicone gasket seals door and back box. Minimum 5" wide pole for site lighting application. Not recommended for car wash applications.

Optical

Silicone sealed optical LED chamber incorporates a custom engineered mirrored anodized reflector providing high-efficiency illumination. Optical assembly includes impact-resistant tempered glass and meets IESNA requirements for full cutoff compliance. Available in seven lumen packages; 5000K, 4000K and 3000K CCT.

Electrical

LED driver is mounted to the die-cast housing for optimal heat sinking. LED thermal management system incorporates both conduction and natural convection to transfer heat rapidly away from the LED source. 12W, 18W, 26W and 38W series operate in -40°C to 40°C [-40°F to 104°F]. High ambient 50°C models available. Crosstour luminaires maintain greater than 89% of initial light output after 72,000 hours of operation. Three half-inch NPT threaded conduit entry points allow for thru-branch wiring. Back box is an authorized

electrical wiring compartment. Integral LED electronic driver is standard 0-10V dimming. 120-277V 50/60Hz or 347V 60Hz models.

Finish

Crosstour is protected with a Super durable TGIC carbon bronze or summit white polyester powder coat paint. Super durable TGIC powder coat paint finishes withstand extreme climate conditions while providing optimal color and gloss retention of the installed life. Options to meet Buy American and other domestic preference requirements.

Warranty

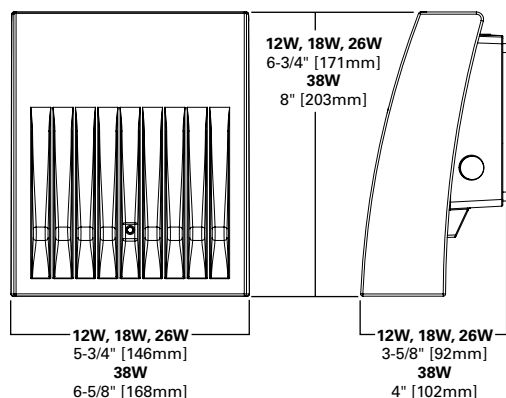
Five-year warranty.



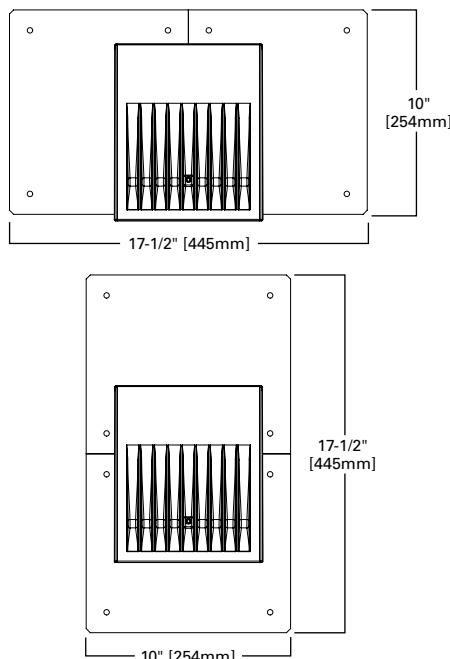
XTOR CROSSTOUR LED

APPLICATIONS:
WALL / SURFACE
POST / BOLLARD
LOW LEVEL
FLOODLIGHT
INVERTED
SITE LIGHTING

DIMENSIONS



ESCUTCHEON PLATES



CERTIFICATION DATA

Dark Sky Approved (Fixed mount, Full cutoff, and 3000K CCT only)
UL/cUL Wet Location Listed
LM79 / LM80 Compliant
ROHS Compliant
ADA Compliant
NOM Compliant Models
IP66 Ingress Protection Rated
Title 24 Compliant
DesignLights Consortium® Qualified*

TECHNICAL DATA

40°C Maximum Ambient Temperature
External Supply Wiring 90°C Minimum

EPA

Effective Projected Area (Sq. Ft.):
XTOR1B, XTOR2B, XTOR3B=0.34
XTOR4B=0.45

SHIPPING DATA:

Approximate Net Weight:
3.7 – 5.25 lbs. [1.7 – 2.4 kgs.]

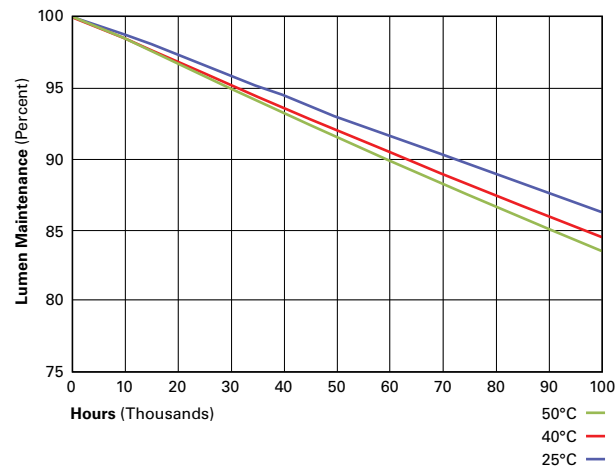
POWER AND LUMENS BY FIXTURE MODEL

LED Information	XTOR1B	XTOR1B-W	XTOR1B-Y	XTOR2B	XTOR2B-W	XTOR2B-Y	XTOR3B	XTOR3B-W	XTOR3B-Y	XTOR4B	XTOR4B-W	XTOR4B-Y
Delivered Lumens (Wall Mount)	1,418	1,396	1,327	2,135	2,103	1,997	2,751	2,710	2,575	4,269	4,205	3,995
Delivered Lumens (With Flood Accessory Kit) ¹	1,005	990	940	1,495	1,472	1,399	2,099	2,068	1,965	3,168	3,121	2,965
B.U.G. Rating ²	B1-U0-G0	B1-U0-G0	B1-U0-G0	B1-U0-G0	B1-U0-G0	B1-U0-G0	B1-U0-G0	B1-U0-G0	B1-U0-G0	B2-U0-G0	B2-U0-G0	B2-U0-G0
CCT (Kelvin)	5,000	4,000	3,000	5,000	4,000	3,000	5,000	4,000	3,000	5,000	4,000	3,000
CRI (Color Rendering Index)	70	70	70	70	70	70	70	70	70	70	70	70
Power Consumption (Watts)	12W	12W	12W	18W	18W	18W	26W	26W	26W	38W	38W	38W

NOTES: 1 Includes shield and visor. 2 B.U.G. Rating does not apply to floodlighting.

LUMEN MAINTENANCE

Ambient Temperature	TM-21 Lumen Maintenance (72,000 Hours)	Theoretical L70 (Hours)
XTOR1B Model		
25°C	> 90%	255,000
40°C	> 89%	234,000
50°C	> 88%	215,000
XTOR2B Model		
25°C	> 89%	240,000
40°C	> 88%	212,000
50°C	> 87%	196,000
XTOR3B Model		
25°C	> 89%	240,000
40°C	> 88%	212,000
50°C	> 87%	196,000
XTOR4B Model		
25°C	> 89%	222,000
40°C	> 87%	198,000
50°C	> 87%	184,000



CURRENT DRAW

Voltage	Model Series			
	XTOR1B	XTOR2B	XTOR3B	XTOR4B
120V	0.103A	0.15A	0.22A	0.34A
208V	0.060A	0.09A	0.13A	0.17A
240V	0.053A	0.08A	0.11A	0.17A
277V	0.048A	0.07A	0.10A	0.15A
347V	0.039A	0.06A	0.082A	0.12A

ORDERING INFORMATION

Sample Number: XTOR2B-W-WT-PC1

Series ¹	LED Kelvin Color	Housing Color	Options (Add as Suffix)	Accessories (Order Separately) ⁸
XTOR1B =Small Door, 12W XTOR2B =Small Door, 18W XTOR3B =Small Door, 26W XTOR4B =Medium Door, 38W BAA-XTOR1B =Small Door, 12W, Buy American Act Compliant ⁷ TAA-XTOR1B =Small Door, 12W Trade Agreements Act Compliant ⁷ BAA-XTOR2B =Small Door, 18W, Buy American Act Compliant ⁷ TAA-XTOR2B =Small Door, 18W, Trade Agreements Act Compliant ⁷ BAA-XTOR3B =Small Door, 26W, Buy American Act Compliant ⁷ TAA-XTOR3B =Small Door, 26W, Trade Agreements Act Compliant ⁷ BAA-XTOR4B =Medium Door, 38W, Buy American Act Compliant ⁷ TAA-XTOR4B =Medium Door, 38W, Trade Agreements Act Compliant ⁷	[Blank] =Bright White (Standard), 5000K W =Neutral White, 4000K Y =Warm White, 3000K	[Blank] =Carbon Bronze (Standard) WT =Summit White BK =Black BZ =Bronze AP =Grey GM =Graphite Metallic DP =Dark Platinum	PC1 =Photocontrol 120V ² PC2 =Photocontrol 208-277V ^{2,3} 347V =347V ⁴ HA =50°C High Ambient ⁴	WG/XTOR =Wire Guard ⁵ XTORFLD-KNC =Knuckle Floodlight Kit ⁶ XTORFLD-TRN =Trunnion Floodlight Kit ⁶ XTORFLD-KNC-WT =Knuckle Floodlight Kit, Summit White ⁶ XTORFLD-TRN-WT =Trunnion Floodlight Kit, Summit White ⁶ EWP/XTOR =Escutcheon Wall Plate, Carbon Bronze EWP/XTOR-WT =Escutcheon Wall Plate, Summit White

NOTES:

- DesignLights Consortium® Qualified and classified for both DLC Standard and DLC Premium, refer to www.designlights.org for details.
- Photocontrols are factory installed.
- Order PC2 for 347V models.
- Thru-branch wiring not available with HA option or with 347V. XTOR3B not available with HA and 347V or 120V combination.
- Wire guard for wall/surface mount. Not for use with floodlight kit accessory.
- Floodlight kit accessory supplied with knuckle (KNC) or trunnion (TRN) base, small and large top visors and small and large impact shields.
- Only product configurations with these designated prefixes are built to be compliant with the Buy American Act of 1933 (BAA) or Trade Agreements Act of 1979 (TAA), respectively. Please refer to [DOMESTIC PREFERENCES](#) website for more information. Components shipped separately may be separately analyzed under domestic preference requirements.
- Accessories sold separately will be separately analyzed under domestic preference requirements. Consult factory for further information.

STOCK ORDERING INFORMATION

Domestic Preferences ¹	12W Series	18W Series	26W Series	38W Series
[Blank] =Standard	XTOR1B =12W, 5000K, Carbon Bronze	XTOR2B =18W, 5000K, Carbon Bronze	XTOR3B =26W, 5000K, Carbon Bronze	XTOR4B =38W, 5000K, Carbon Bronze
BAA =Buy American Act	XTOR1B-WT =12W, 5000K, Summit White	XTOR2B-W =18W, 4000K, Carbon Bronze	XTOR3B-W =26W, 4000K, Carbon Bronze	XTOR4B-W =38W, 4000K, Carbon Bronze
TAA =Trade Agreements Act	XTOR1B-PC1 =12W, 5000K, 120V PC, Carbon Bronze	XTOR2B-WT =18W, 5000K, Summit White	XTOR3B-WT =26W, 5000K, Summit White	XTOR4B-WT =38W, 5000K, Summit White
	XTOR1B-W =12W, 4000K, Carbon Bronze	XTOR2B-PC1 =18W, 5000K, 120V PC, Carbon Bronze	XTOR3B-PC1 =26W, 5000K, 120V PC, Carbon Bronze	XTOR4B-PC1 =38W, 5000K, 120V PC, Carbon Bronze
		XTOR2B-W-PC1 =18W, 4000K, 120V PC, Carbon Bronze	XTOR3B-W-PC1 =26W, 4000K, 120V PC, Carbon Bronze	XTOR4B-W-PC1 =38W, 4000K, 120V PC, Carbon Bronze
		XTOR2B-347V =18W, 5000K, Carbon Bronze, 347V	XTOR3B-347V =26W, 5000K, Carbon Bronze, 347V	XTOR4B-347V =38W, 5000K, Carbon Bronze, 347V
		XTOR2B-WT-PC1 =18W, 5000K, 120V PC, Summit White	XTOR3B-PC2 =26W, 5000K, 208-277V PC, Carbon Bronze	

NOTES:

- Only product configurations with these designated prefixes are built to be compliant with the Buy American Act of 1933 (BAA) or Trade Agreements Act of 1979 (TAA), respectively. Please refer to [DOMESTIC PREFERENCES](#) website for more information. Components shipped separately may be separately analyzed under domestic preference requirements.

DESCRIPTION

The patented Lumark Crosstour™ MAXX LED wall pack series of luminaires provides low-profile architectural style with super bright, energy-efficient LEDs. The rugged die-cast aluminum construction, back box with secure lock hinges, stainless steel hardware along with a sealed and gasketed optical compartment make Crosstour impervious to contaminants. The Crosstour MAXX wall luminaire is ideal for wall/surface, inverted mount for facade/canopy illumination, perimeter and site lighting. Typical applications include pedestrian walkways, building entrances, multi-use facilities, industrial facilities, perimeter parking areas, storage facilities, institutions, schools and loading docks.

SPECIFICATION FEATURES

Construction

Low-profile LED design with rugged one-piece, die-cast aluminum back box and hinged removable door. Matching housing styles incorporate both a full cutoff and refractive lens design. Full cutoff and refractive lens models are available in 58W, 81W and 102W. Patent pending secure lock hinge feature allows for safe and easy tool-less electrical connections with the supplied push-in connectors. Back box includes four 1/2" NPT threaded conduit entry points. The back box is secured by four lag bolts (supplied by others). External fin design extracts heat from the fixture surface. One-piece silicone gasket seals door and back box. Not recommended for car wash applications.

Optical

Silicone sealed optical LED chamber incorporates a custom engineered reflector providing high-efficiency illumination. Full cutoff models integrate an impact-resistant molded refractive prism optical lens assembly meeting requirements for Dark Sky compliance. Refractive lens models incorporate a molded lens

assembly designed for maximum forward throw. Solid state LED Crosstour MAXX luminaires are thermally optimized with eight lumen packages in cool 5000K, neutral 4000K, or warm 3000K LED color temperature (CCT).

Electrical

LED driver is mounted to the die-cast aluminum housing for optimal heat sinking. LED thermal management system incorporates both conduction and natural convection to transfer heat rapidly away from the LED source. 58W, 81W and 102W models operate in -40°C to 40°C [-40°F to 104°F]. High ambient 50°C [122°F] models available in 58W and 81W models only. Crosstour MAXX luminaires maintain greater than 89% of initial light output after 72,000 hours of operation. Four half-inch NPT threaded conduit entry points allow for thru-branch wiring. Back box is an authorized electrical wiring compartment. Integral LED electronic driver incorporates surge protection. 120-277V 50/60Hz, 480V 60Hz, or 347V 60Hz electrical operation. 480V is compatible for use with 480V Wye systems only.

Emergency Egress

Optional integral cold weather battery emergency egress includes emergency operation test switch (available in 58W and 81W models only), an AC-ON indicator light and a premium extended rated sealed maintenance-free nickel-metal hydride battery pack. The separate emergency lighting LEDs are wired to provide redundant emergency lighting. Listed to UL Standard 924, Emergency Lighting.

Finish

Crosstour MAXX is protected with a super TGIC carbon bronze or summit white polyester powder coat paint. Super TGIC powder coat paint finishes withstand extreme climate conditions while providing optimal color and gloss retention of the installed life. Options to meet Buy American and other domestic preference requirements.

Warranty

Five-year warranty.



XTOR CROSSTOUR MAXX LED

APPLICATIONS:
WALL / SURFACE
INVERTED
SITE LIGHTING



CERTIFICATION DATA

UL/cUL Wet Location Listed
Dark Sky Approved (Fixed mount, Full cutoff, and 3000K CCT only)
DesignLights Consortium® Qualified*
LM79 / LM80 Compliant
ROHS Compliant
NOM Compliant Models
3G Vibration Tested
UL924 Listed (CBP Models)
IP66 Rated

TECHNICAL DATA

40°C Ambient Temperature
External Supply Wiring 90°C Minimum

EPA

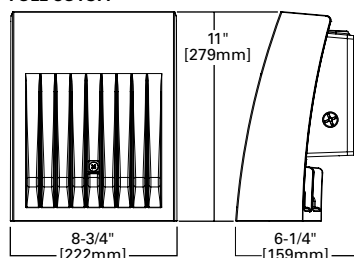
Effective Projected Area (Sq. Ft.):
XTOR6B, XTOR8B, XTOR12B=0.54

SHIPPING DATA:

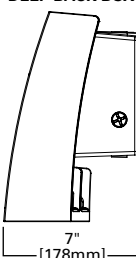
Approximate Net Weight:
12-15 lbs. [5.4-6.8 kgs.]

DIMENSIONS

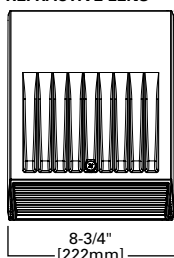
FULL CUTOFF



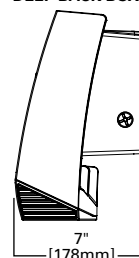
DEEP BACK BOX



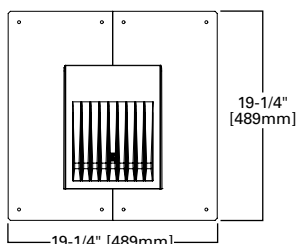
REFRACTIVE LENS



DEEP BACK BOX



ESCUTCHEON PLATES



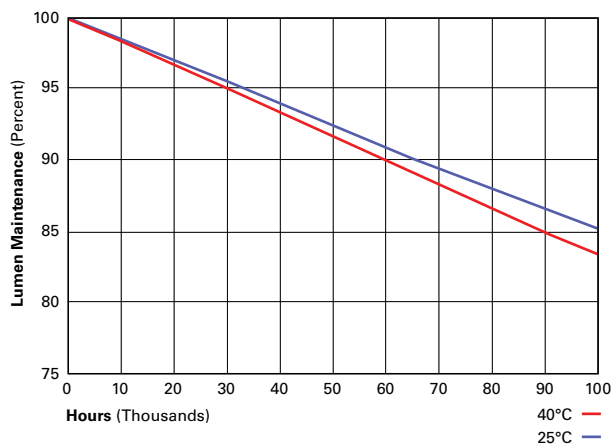
POWER AND LUMENS BY FIXTURE MODEL

58W Series						
LED Information	XTOR6B	XTOR6BRL	XTOR6B-W	XTOR6BRL-W	XTOR6B-Y	XTOR6BRL-Y
Delivered Lumens	6,129	6,225	6,038	6,133	5,611	5,826
B.U.G. Rating	B1-U0-G1	B2-U4-G3	B1-U0-G1	B2-U4-G3	B1-U0-G1	B2-U4-G3
CCT (Kelvin)	5000K	5000K	4000K	4000K	3000K	3000K
CRI (Color Rendering Index)	70	70	70	70	70	70
Power Consumption (Watts)	58W	58W	58W	58W	58W	58W
81W Series						
LED Information	XTOR8B	XTOR8BRL	XTOR8B-W	XTOR8BRL-W	XTOR8B-Y	XTOR8BRL-Y
Delivered Lumens	8,502	8,635	8,373	8,504	7,748	8,079
B.U.G. Rating	B2-U0-G1	B2-U4-G3	B2-U0-G1	B2-U4-G3	B2-U0-G1	B2-U4-G3
CCT (Kelvin)	5000K	5000K	4000K	4000K	3000K	3000K
CRI (Color Rendering Index)	70	70	70	70	70	70
Power Consumption (Watts)	81W	81W	81W	81W	81W	81W
102W Series						
LED Information	XTOR12B	XTOR12BRL	XTOR12B-W	XTOR12BRL-W	XTOR12B-Y	XTOR12BRL-Y
Delivered Lumens	12,728	13,458	12,539	13,258	11,861	12,595
B.U.G. Rating	B2-U0-G1	B2-U4-G3	B2-U0-G1	B2-U4-G3	B2-U0-G1	B2-U4-G3
CCT (Kelvin)	5000K	5000K	4000K	4000K	3000K	3000K
CRI (Color Rendering Index)	70	70	70	70	70	70
Power Consumption (Watts)	102W	102W	102W	102W	102W	102W

EGRESS Information	XTOR6B and XTOR8B Full Cutoff CBP Egress LED	XTOR6B and XTOR8B Refractive Lens CBP Egress LED
Delivered Lumens	509	468
B.U.G. Rating	N.A.	N.A.
CCT (Kelvin)	4000K	4000K
CRI (Color Rendering Index)	65	65
Power Consumption (Watts)	1.8W	1.8W

LUMEN MAINTENANCE

Ambient Temperature	TM-21 Lumen Maintenance (72,000 Hours)	Theoretical L70 (Hours)
XTOR6B Model		
25°C	> 90%	246,000
40°C	> 88%	217,000
50°C	> 88%	201,000
XTOR8B Model		
25°C	> 89%	219,000
40°C	> 87%	195,000
50°C	> 86%	181,000
XTOR12B Model		
25°C	> 89%	222,000
40°C	> 87%	198,000



CURRENT DRAW

Voltage	Model Series				
	XTOR6B	XTOR8B	XTOR12B	XTOR6B-CBP (Fixture/Battery)	XTOR8B-CBP (Fixture/Battery)
120V	0.51	0.71	0.94	0.60/0.25	0.92/0.25
208V	0.25	0.39	0.52	--	--
240V	0.25	0.35	0.45	--	--
277V	0.22	0.31	0.39	0.36/0.21	0.50/0.21
347V	0.19	0.25	0.33		--
480V	0.14	0.19	0.24		--

ORDERING INFORMATION

Sample Number: XTOR6B-W-WT-PC1

Domestic Preferences ¹⁷	Series ¹	LED Kelvin Color	Housing Color	Options (Add as Suffix)
[Blank]=Standard BAA=Buy American Act TAA=Trade Agreements Act	Full Cutoff XTOR6B=58W XTOR8B=81W XTOR12B=102W Refractive Lens XTOR6BRL=58W XTOR8BRL=81W XTOR12BRL=102W	[Blank]=Bright White (Standard) 5000K W=Neutral, 4000K Y=Warm, 3000K	[Blank]=Carbon Bronze (Standard) WT=Summit White BK=Black BZ=Bronze AP=Grey GM=Graphite Metallic DP=Dark Platinum	347V=347V ^{2, 3, 4, 5} 480V=480V ^{2, 3, 4, 5, 6} PC1=Photocontrol 120V ⁷ PC2=Photocontrol 208-277V ^{7, 8} MS-L20=Motion Sensor for ON/OFF Operation ^{2, 3, 9, 10} MS/DIM-L20=Motion Sensor for Dimming Operation ^{2, 3, 9, 10, 11, 12, 13} CBP=Cold Weather Battery Pack ^{2, 3, 14, 15, 16} HA=50°C High Ambient ¹⁶
Accessories (Order Separately) ¹⁸				
WG-XTORMX=Crosstour MAXX Wire Guard PB120V=Field Installed 120V Photocontrol PB277V BUTTON PC=Field Installed 208-277V Photocontrol ⁸			EWP/XTORMX=Escutcheon Wall Plate, Carbon Bronze EWP/XTORMX-WT=Escutcheon Wall Plate, Summit White FSIR-100=Wireless Configuration Tool for Occupancy Sensor ¹³	

NOTES:

- DesignLights Consortium® Qualified and classified for both DLC Standard and DLC Premium, refer to www.designlights.org for details.
- Not available with HA option.
- Deep back box is standard for 347V, 480V, CBP, MS-L20 and MS/DIM-L20.
- Not available with CBP option.
- Thru-branch wiring not available with HA option or with 347V.
- Only for use with 480V Wye systems. Per NEC, not for use with ungrounded systems, impedance grounded systems or corner grounded systems (commonly known as Three Phase Three Wire Delta, Three Phase High Leg Delta and Three Phase Corner Grounded Delta systems).
- Not available with MS-L20 and MS/DIM-L20 options.
- Use PC2 with 347V or 480V option for photocontrol. Factory wired to 208-277V lead.
- For use in downlight orientation only. Optimal coverage at mounting heights of 9'-20'.
- 120V thru 277V only.
- Factory set to 50% power reduction after 15-minutes of inactivity. Dimming driver included.
- Includes integral photo sensor.
- The FSIR-100 configuration tool is required to adjust parameters including high and low modes, sensitivity, time delay, cutoff, and more. Consult your lighting representative at Cooper Lighting Solutions for more information.
- 120V or 277V operation only.
- Operating temperatures -20°C to 25°C.
- Not available in XTOR12B or XTOR12BRL models.
- Only product configurations with these designated prefixes are built to be compliant with the Buy American Act of 1933 (BAA) or Trade Agreements Act of 1979 (TAA), respectively. Please refer to [DOMESTIC PREFERENCES](#) website for more information. Components shipped separately may be separately analyzed under domestic preference requirements.
- Accessories sold separately will be separately analyzed under domestic preference requirements. Consult factory for further information.

STOCK ORDERING INFORMATION

Domestic Preferences ¹	58W Series	81W Series	102W Series
[Blank]=Standard	Full Cutoff		
BAA=Buy American Act	XTOR6B=58W, 5000K, Carbon Bronze	XTOR8B=81W, 5000K, Carbon Bronze	XTOR12B=102W, 5000K, Carbon Bronze
TAA=Trade Agreements Act	XTOR6B-PC1=58W, 5000K, 120V PC, Carbon Bronze	XTOR8B-PC1=81W, 5000K, 120V PC, Carbon Bronze	
	XTOR6B-WT= 58W, 5000K, Summit White	XTOR8B-WT=81W, 5000K, Summit White	
	XTOR6B-W=58W, 4000K, Carbon Bronze	XTOR8B-PC2=81W, 5000K, 208-277V PC, Carbon Bronze	
	XTOR6B-PC2= 58W, 5000K, 208-277V PC, Carbon Bronze	XTOR8B-347V=81W, 5000K, Carbon Bronze, 347V	
	Refractive Lens		
	XTOR6BRL=58W, 5000K, Refractive Lens, Carbon Bronze	XTOR8BRL=81W, 5000K, Refractive Lens, Carbon Bronze	XTOR12BRL=102W, 5000K, Refractive Lens, Carbon Bronze
	XTOR6BRL-PC1=58W, 5000K, Refractive Lens, 120V PC, Carbon Bronze	XTOR8BRL-PC1=81W, 5000K, Refractive Lens, 120V PC, Carbon Bronze	XTOR12BRL-W=102W, 4000K, Refractive Lens, Carbon Bronze
	XTOR6BRL-WT=58W, 5000K, Refractive Lens, Summit White	XTOR8BRL-WT=81W, 5000K, Refractive Lens, Summit White	XTOR12BRL-347V=102W, 5000K, Refractive Lens, Carbon Bronze, 347V
	XTOR6BRL-W=58W, 4000K, Refractive Lens, Carbon Bronze	XTOR8BRL-PC2=81W, 5000K, Refractive Lens, 208-277V PC, Carbon Bronze	
	XTOR6BRL-PC2=58W, 5000K, Refractive Lens, 208-277V PC, Carbon Bronze	XTOR8BRL-W=81W, 4000K, Refractive Lens, Carbon Bronze	
	XTOR6BRL-347V=58W, 5000K, Refractive Lens, Carbon Bronze, 347V	XTOR8BRL-347V = 81W, 5000K, Refractive Lens, Carbon Bronze, 347V	

NOTES:

- Only product configurations with these designated prefixes are built to be compliant with the Buy American Act of 1933 (BAA) or Trade Agreements Act of 1979 (TAA), respectively. Please refer to [DOMESTIC PREFERENCES](#) website for more information. Components shipped separately may be separately analyzed under domestic preference requirements.

Project		Catalog #		Type	
Prepared by		Notes		Date	



Lumark

Prevail LED

Area / Site Luminaire

Product Features



Interactive Menu

- Ordering Information page 2
- Mounting Details page 3, 4
- Optical Configurations page 5
- Product Specifications page 5
- Energy and Performance Data page 6, 7
- Control Options page 8

Product Certifications



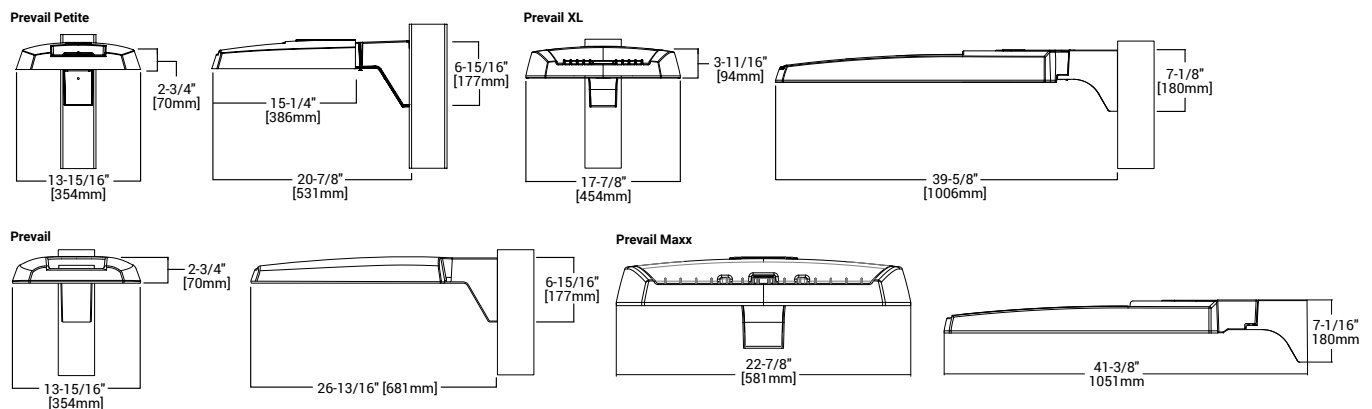
Quick Facts

- Lumen packages range from 4,800 - 84,000 lumens (35W - 588W)
- Replaces 70W up to 1,000W HID equivalents
- Efficacies up to 160 lumens per watt
- Energy and maintenance savings up to 85% versus HID solutions
- Standard universal quick mount arm with universal drill pattern

Connected Systems

- WaveLinX PRO Wireless
- WaveLinX LITE Wireless

Dimensional Details




NOTES:
1. Visit <https://www.designlights.org/search/> to confirm qualification. Not all product variations are DLC qualified.
2. IDA Certified for 3000K CCT and warmer only.

Ordering Information

SAMPLE NUMBER: PRV-XL-C75-D-UNV-T4-SA-BZ

Product Family ^{1,2}	Light Engine ⁴	Color Temperature	Driver	Voltage	Distribution	Mounting	Color				
PRV-P =Prevail Petite BAA-PRV-P =Prevail Petite BAA Compliant ³ TAA-PRV-P =Prevail Petite TAA Compliant ³	C10 =(1 LED) 4,900 Nominal Lumens C15 =(1 LED) 6,900 Nominal Lumens C20 =(1 LED) 9,800 Nominal Lumens C25 =(1 LED) 11,800 Nominal Lumens	740 =70CRI, 4000K 727 =70CRI, 2700K 730 =70CRI, 3000K 750 =70CRI, 5000K 8540 =85CRI, 4000K	D =Dimming (0-10V)	UNV =Universal (120-277V) H =High Voltage, 347-480V 8 =480V ⁵ 9 =347V DV =DuraVolt (277-480V) ^{5,6}	T2 =Type II T3 =Type III T4 =Type IV T5 =Type V	SA =QM Standard Versatile Arm MA =QM Mast Arm FMA = Fixed Mast Arm ²⁷ WM =QM Wall Mount Arm ADJA-WM =Adjustable Arm-Wall Mount ²⁹ ADJA =Adjustable Arm-Pole Mount ²⁹ ADJS =Adjustable Arm-Slipfitter, 3" vertical tenon ²⁹ SP2 =Adjustable Arm-Slipfitter, 2 3/8" vertical tenon ^{27,29}	BZ =Bronze AP =Grey BK =Black DP =Dark Platinum GM =Graphite Metallic WH =White				
PRV =Prevail BAA-PRV =Prevail BAA Compliant ³ TAA-PRV =Prevail TAA Compliant ³	C15 =(1 LED) 7,100 Nominal Lumens C25 =(2 LEDs) 13,100 Nominal Lumens C40 =(2 LEDs) 17,100 Nominal Lumens C60 =(2 LEDs) 20,000 Nominal Lumens										
PRV-XL =Prevail XL BAA-PRV-XL =Prevail XL BAA Compliant ³ TAA-PRV-XL =Prevail XL TAA Compliant ³	C75 =(4 LED) 26,100 Nominal Lumens C100 =(4 LED) 31,000 Nominal Lumens C125 =(4 LED) 36,000 Nominal Lumens C150 =(6 LED) 41,100 Nominal Lumens C175 =(6 LED) 48,600 Nominal Lumens										
PRV-M =Prevail Maxx BAA-PRV-M =Prevail Maxx BAA Compliant ³ TAA-PRV-M =Prevail MaxxTAA Compliant ³	C200 =(9 LED) 48,000 Nominal Lumens C225 =(9 LED) 56,000 Nominal Lumens C250 =(9 LED) 65,000 Nominal Lumens C275 =(9 LED) 73,000 Nominal Lumens										
Options (Add as Suffix)			Accessories (Order Separately) ^{20,21}								
7030 =70 CRI / 3000K CCT ⁷ 7050 =70 CRI / 5000K CCT ⁷ CC =Coastal Construction finish ¹⁰ HSS =House Side Shield ⁸ L90 =Optics Rotated 90° Left R90 =Optics Rotated 90° Right 10K =10kV/10kA UL 1449 Fused Surge Protective Device 20MSP =20kV MOV Surge Protective Device 20K =20kV UL 1449 Fused Surge Protective Device HA =50°C High Ambient Temperature ⁹ PR =NEMA 3-PIN Twistlock Photocontrol Receptacle ¹¹ PR7 =NEMA 7-PIN Twistlock Photocontrol Receptacle ¹¹ FADC =Field Adjustable Dimming Controller ³⁰ MS/DIM-L08 =Dimming Motion and Daylight Sensor, IR Remote Programmable, < 8' Mounting Height ^{12,13} MS/DIM-L20 =Dimming Motion and Daylight Sensor, IR Remote Programmable, 8' - 20' Mounting Height ^{12,13} MS/DIM-L40 =Dimming Motion and Daylight Sensor, IR Remote Programmable, 21' - 40' Mounting Height ^{12,13}			SPB1 =Dimming Motion and Daylight Sensor, Bluetooth Programmable, < 8' Mounting Height ^{12,14} SPB2 =Dimming Motion and Daylight Sensor, Bluetooth Programmable, 8' - 20' Mounting Height ^{12,14} SPB4 =Dimming Motion and Daylight Sensor, Bluetooth Programmable, 21' - 40' Mounting Height ^{12,14,27,28} WPS2XX =WaveLinX Pro, SR Driver, Dimming Motion and Daylight, WAC Programmable, 7' - 15' Mounting ^{12,15,16,17} WPS4XX =WaveLinX Pro, SR Driver, Dimming Motion and Daylight, WAC Programmable, 15' - 40' Mounting ^{12,15,16,17} WLS2XX =WaveLinX Lite, SR Driver, Dimming Motion and Daylight, Bluetooth Programmable, 7' - 15' Mounting ^{12,15,16,17} WLS4XX =WaveLinX Lite, SR Driver, Dimming Motion and Daylight, Bluetooth Programmable, 15' - 40' Mounting ^{12,15,16,17} (See Table Below) =LumenSafe Integrated Network Security Camera ^{18,19}			PRVSA-XX =Standard Arm Mounting Kit ²² PRVMA-XX =Mast Arm Mounting Kit ²² PRVWM-XX =Wall Mount Kit ²² PRV-ADJA-XX =Adjustable Arm - Pole Mount Kit ²² PRV-ADJS-XX =Adjustable Arm - Slipfitter Kit ²² PRV-ADJA-WM-XX =Adjustable Arm - Wall Mount Kit ²² PRVXLSA-XX =Standard Arm Mounting Kit ²⁸ PRVXLMA-XX =Mast Arm Mounting Kit ²⁸ PRVXLWM-XX =Wall Mount Kit ²⁸ PRV-XL-ADJA-XX =Adjustable Arm - Pole Mount Kit ²⁸ PRV-XL-ADJS-XX =Adjustable Arm - Slipfitter Kit ²⁸ PRV-XL-ADJA-WM-XX =Adjustable Arm - Wall Mount Kit ²⁸ PRV-M-ADJA-XX =Adjustable Arm - Pole Mount Kit ²⁷ PRV-M-ADJS-XX =Adjustable Arm - Slipfitter Kit ²⁷ PRV-M-ADJA-WM-XX =Adjustable Arm - Wall Mount Kit ²⁷ MA1010-XX =Single Tenon Adapter for 3-1/2" O.D. Tenon MA1011-XX =2@180° Tenon Adapter for 3-1/2" O.D. Tenon			MA1017-XX =Single Tenon Adapter for 2-3/8" O.D. Tenon MA1018-XX =2@180° Tenon Adapter for 2-3/8" O.D. Tenon SRA238 =Tenon Adapter from 3" to 2-3/8" PRV/COB-FDV =Full Drop Visor ²³ PRVXL/COB-FDV =Full Drop Visor ¹⁸ HS/VERD =House Side Shield Kit ^{8,24} VGS-F/B = Vertical Glare Shield Kit, Front/Back ²⁴ VGS-SIDE =Vertical Glare Shield Kit, Side ²⁴ OA/RA1013 =Photocontrol Shorting Cap OA/RA1014 =NEMA Photocontrol - 120V OA/RA1016 =NEMA Photocontrol - Multi-Tap 105-285V OA/RA1201 =NEMA Photocontrol - 347V OA/RA1027 =NEMA Photocontrol - 480V FSIR-100 =Wireless Configuration Tool for Occupancy Sensor ²⁵ WOLC-7P-10A =WaveLinX Outdoor Control Module (7-PIN) ²⁶		
NOTES: 1. DesignLights Consortium® Qualified. Refer to www.designlights.org Qualified Products List under Family Models for details. 2. Customer is responsible for engineering analysis to confirm pole and fixture compatibility for all applications. Refer to installation instructions I8500002EN and pole white paper WP513001EN for additional support information. 3. Only product configurations with these designated prefixes are built to be compliant with the Buy American Act of 1933 (BAA) or Trade Agreements Act of 1979 (TAA), respectively. Please refer to DOMESTIC.PREFERENCES website for more information. Components shipped separately may be separately analyzed under domestic preference requirements. 4. Standard 4000K CCT and 70CRI. 5. 480V not to be used with ungrounded or impedance grounded systems. 6. DuraVolt drivers feature added protection from power quality issues such as loss of neutral, transients and voltage fluctuations. Visit www.signify.com/duravolt for more information. 7. Use dedicated IES files on product website for non-standard CCTs. 8. House Side Shield not suitable with T5 distribution. Not available with PRV-C60 lumen package. 9. Not available with PRV-C60 lumen package. Not available with PRV-P-C25 lumen package. 10. Coastal construction finish salt spray tested to over 5,000-hours per ASTM B117, with a scribe rating of 9 per ASTM D1654. 11. If DuraVolt (DV) is specified, use a photocontrol that matches the input voltage used. 12. Controls system is not available in combination with a photocontrol receptacle (PR & PER7) or another controls system (MS or SPB). Option not available with DuraVolt (DV) voltage option. 13. Utilizes the Wattstopper sensor FSP-211. Sensor color white unless specified otherwise via PDR. To field-configure, order FSIR-100 accessory separately. 14. Utilizes the Wattstopper sensor FSP-3XX series. Sensor color determined by product finish. See Sensor Color Reference Table. Field-configures via mobile application. See Controls section for details. 15. Sensor passive infrared (PIR) may be overly sensitive when operating below -20°C (-4°F).											
16. For the device to be field-configurable, requires WAC Gateway components WAC-PoE and WPOE-120 in appropriate quantities. Only compatible with WaveLinX system and software and requires system components to be installed for operation. See website for more WaveLinX application information. 17. Replace XX with sensor color (WH, BZ, or BK). 18. Only available in PRV-XL configurations C75, C100, C125, C150, or C175. 19. Not available with 347V, 480V, DV, or HA options. Consult LumenSafe system product pages for additional details and compatability information. 20. Replace XX with paint color. 21. For BAA or TAA requirements, Accessories sold separately will be separately analyzed under domestic preference requirements. Consult factory for further information. 22. Not for use with PRV-XL or PRV-M configurations. 23. Only for use with PRV. Not applicable to PRV-M, PRV-XL, or PRV-P. 24. Must order one per optic/LED when ordering as a field-installable accessory (1, 2, 4, 6 or 9). 25. This tool enables adjustment to Motion Sensor (MS) parameters including high and low modes, sensitivity, time delay, cutoff and more. Consult your lighting representative for more information. 26. Requires 7-PIN NEMA twistlock photocontrol receptacle (PR & PER7) option. The WOLC-7 cannot be used in conjunction with other controls systems (MS or LWR). Operates on 120-347V input voltages. 27. Only for use with PRV-M configurations. 28. Only for use with PRV-XL configurations. 29. Fixed for PRV-M. 30. Cannot be used with PR7 or other motion response control options											

LumenSafe Integrated Network Security Camera Technology Options (Add as Suffix)

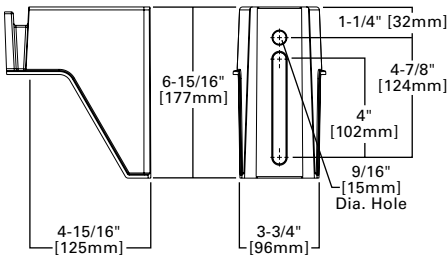
Product Family	Camera Type	Data Backhaul		
L =LumenSafe Technology 	H =Dome Camera, High Res Z =Dome Camera, Remote PTZ	C =Cellular, Customer Installed SIM Card A =Cellular, Factory Installed AT&T SIM Card	V =Cellular, Factory Installed Verizon SIM Card S =Cellular, Factory Installed Sprint SIM Card	E =Ethernet Networking

Stock Ordering Information

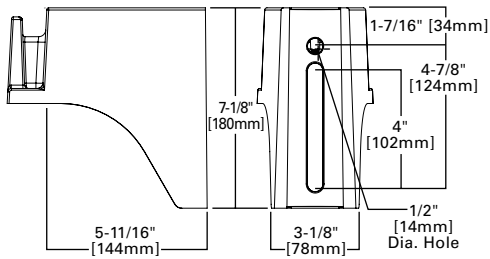
Product Family ¹	Light Engine	Voltage	Distribution
PRVS =Prevail	C15 =(1 LED) 7,100 Nominal Lumens C25 =(2 LEDs) 13,100 Nominal Lumens C40 =(2 LEDs) 17,100 Nominal Lumens C60 =(2 LEDs) 20,000 Nominal Lumens	UNV =Universal (120-277V) 347 =347V ²	T3 =Type III T4 =Type IV
PRVS-XL =Prevail XL	C75 =(4 LED) 26,100 Nominal Lumens C100 =(4 LED) 31,000 Nominal Lumens C125 =(4 LED) 36,000 Nominal Lumens C150 =(6 LED) 41,100 Nominal Lumens C175 =(6 LED) 48,600 Nominal Lumens		
NOTES: 1. All stock configurations are standard 4000K/70CRI, bronze finish, and include the standard versatile mounting arm. 2. Only available in PRVS configurations C15, C25, C40 or C60.			

Mounting Details

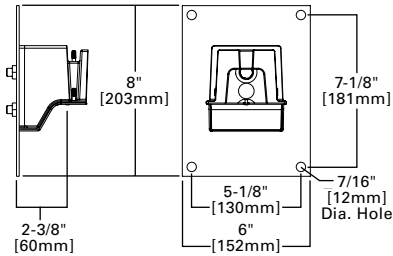
SA=QM Pole Mount Arm (PRV & PRV-P)



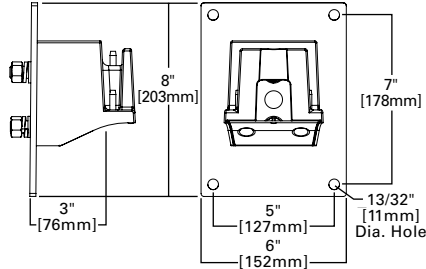
SA=QM Pole Mount Arm (PRV-XL)



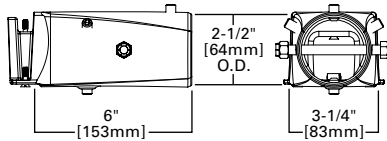
WM=QM Wall Mount Arm (PRV & PRV-P)



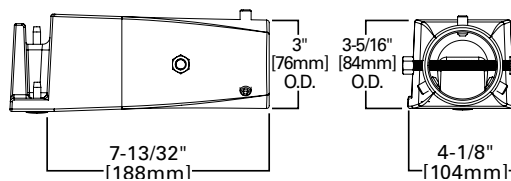
WM=QM Wall Mount Arm (PRV-XL)



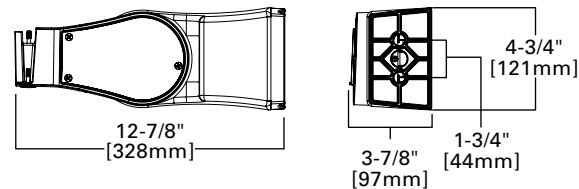
MA=QM Mast Arm (PRV & PRV-P)



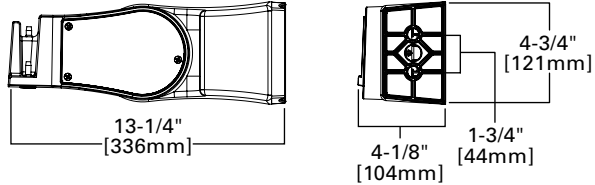
MA=QM Mast Arm (PRV-XL)



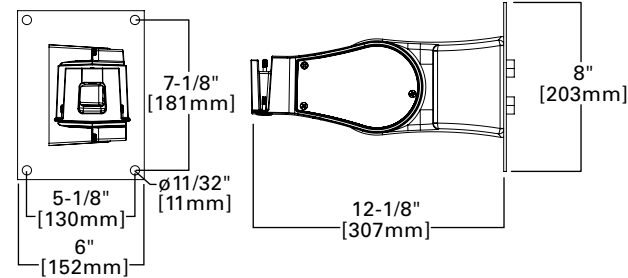
ADJA=Adjustable Arm Pole Mount (PRV & PRV-P)



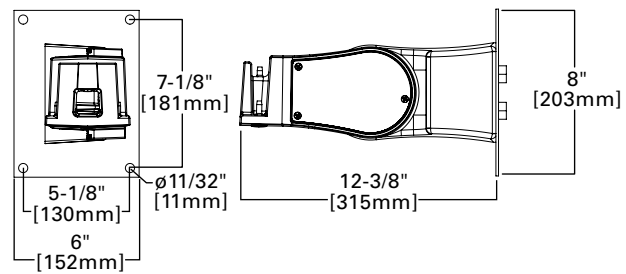
ADJA=Adjustable Arm Pole Mount (PRV-XL)



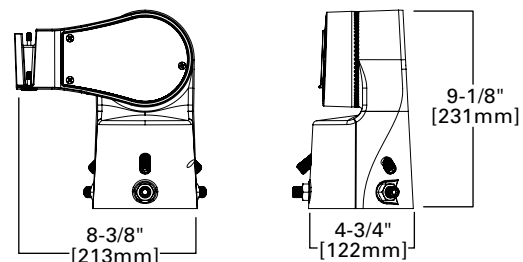
ADJA-WM=Adjustable Arm Wall Mount (PRV & PRV-P)



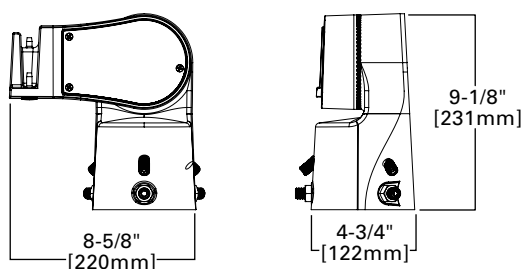
ADJA-WM=Adjustable Arm Wall Mount (PRV-XL)



ADJS=Adjustable Slipfitter 3 (PRV & PRV-P)

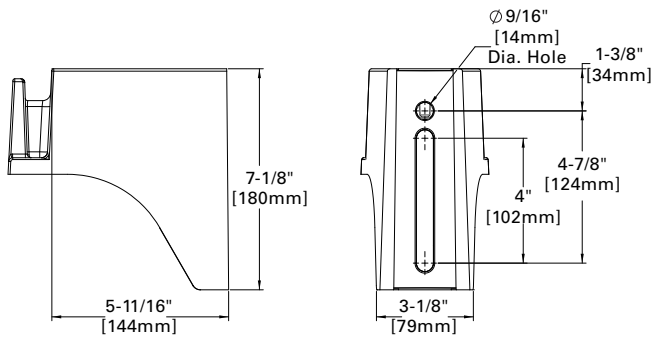


ADJS=Adjustable Slipfitter 3 (PRV-XL)

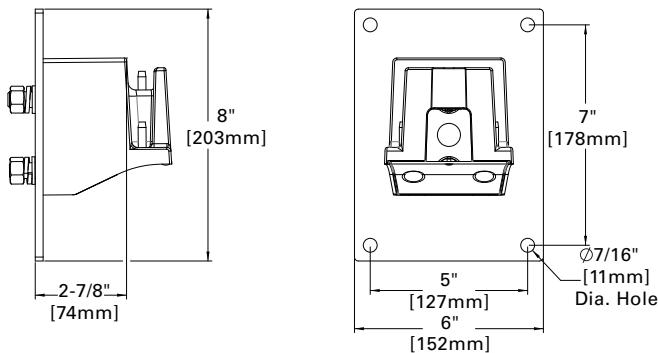


Mounting Details

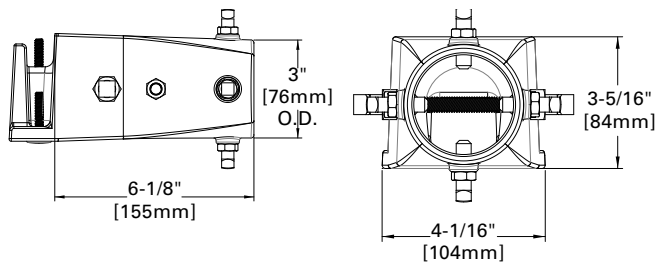
SA=QM Pole Mount Arm (PRV-M)



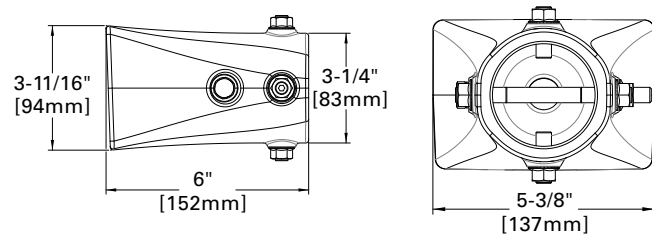
WM=QM Wall Mount Arm (PRV-M)



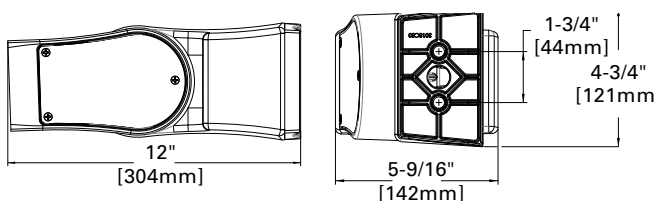
MA=QM Mast Arm (PRV-M)



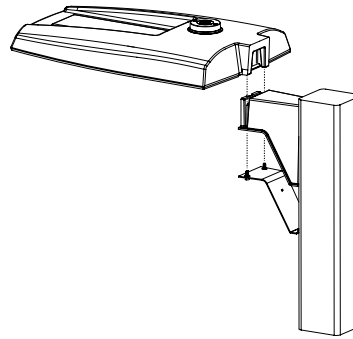
FMA=Fixed Mast Arm (PRV-M)



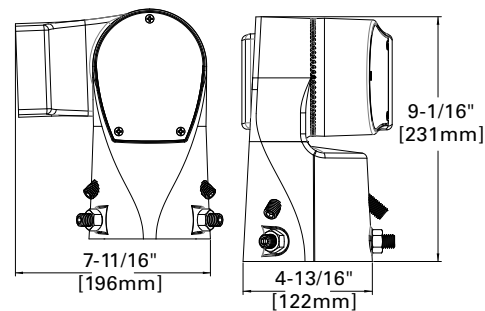
DM=Direct Pole Mount Arm (PRV-M)



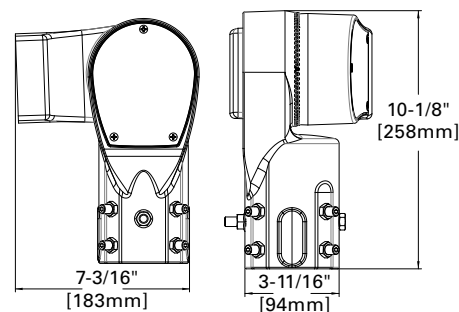
Versatile Mount System



ADJS=Adjustable Slipfitter (PRV-M)




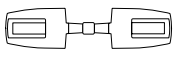
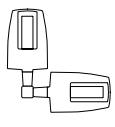
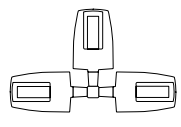
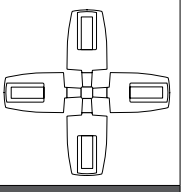
SP2=Adjustable Slipfitter 2-3/8" (PRV-M)



Mounting Details

Mounting Configurations and EPAs

NOTE: For 2 PRV's mounted at 90°, requires minimum 3" square or 4" round pole for fixture clearance. For 2 PRV-XL's mounted at 90°, requires minimum 4" square or round pole for fixture clearance. Customer is responsible for engineering analysis to confirm pole and fixture compatibility for applications.

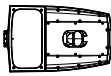
						
Housing Size	Tilt Angle (Degrees)	Arm Mount Single	Arm Mount 2 @ 180°	Arm Mount 2 @ 90°	Arm Mount 3 @ 90°	Arm Mount 4 @ 90°
Prevail Petite	0°	0.54	1.08	0.84	1.38	1.38
	60°	1.68	1.85	2.42	3.15	3.30
Prevail	0°	0.92	1.35	1.42	1.63	1.63
	60°	2.20	2.40	3.05	3.88	4.07
	60° + Full Drop Visor	2.20	2.40	3.25	4.28	4.47
Prevail XL	0°	1.12	2.25	2.13	2.52	2.52
	60°	3.99	4.30	5.26	6.51	6.79
	60° + Full Drop Visor	3.99	4.30	5.59	7.17	7.49
Prevail Maxx	0°	1.28	2.56	1.7	2.69	2.69
	60°	5.09	5.52	6.34	7.49	7.81

Optical Configurations

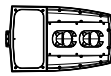
PRV-P-C10/C15/C20/C25
(4,900/6,900/9,800/11,800
Nominal Lumens)



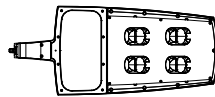
PRV-C15
(7,100 Nominal Lumens)



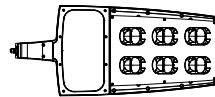
PRV-C25/C40/C60
(13,100/17,100/20,000
Nominal Lumens)



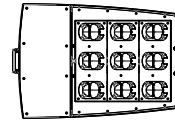
PRV-XL-C75/C100/C125
(26,100/31,000/36,300 Nominal Lumens)



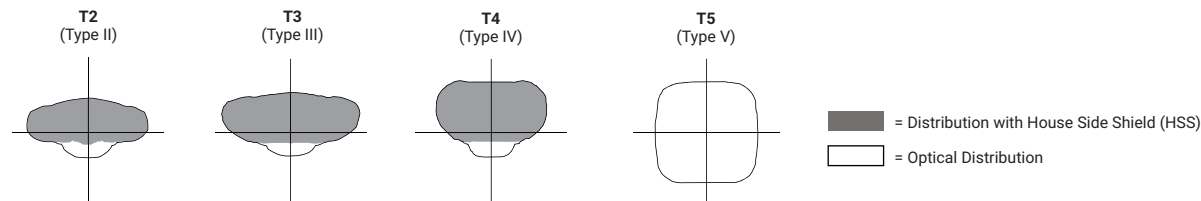
PRV-XL-C150/C175
(41,100/48,600 Nominal Lumens)



PRV-M-PA6X
(50,000/60,000/70,000/80,000 Nominal Lumens)



Optical Distributions



Product Specifications

Construction

- Single-piece die-cast aluminum housing
- Tethered die-cast aluminum door

Optics

- Dark Sky Approved (3000K CCT and warmer only)
- Precision molded polycarbonate optics

Electrical

- 40°C minimum operating temperature
- 40°C maximum operating temperature
- >.9 power factor
- <20% total harmonic distortion
- Class 1 electronic drivers have expected life of 100,000 hours with <1% failure rate
- 0-10V dimming driver is standard with leads external to the fixture
- Standard MOV surge protective device designed to withstand 10kV of transient line surge
- Luminaire available with the field adjustable dimming controller (FADC) to manually adjust wattage and reduce the total lumen output and light levels. Comes pre-set to the highest position at the lumen output selected.

Mounting

- Versatile, patented, standard mount arm accommodates multiple drill patterns ranging from 1-1/2" to 4-7/8" (Type M drilling recommended for new installations)
- A knock-out on the standard mounting arm enables round pole mounting
- Adjustable pole and wall mount arms adjust in 5° increments from 0° to 60°; Downward facing orientation only (Type N drilling required for ADJA mount)
- Adjustable slipfitter arm adjusts in 5° increments from -5° to 85°; Downward facing orientation only
- Adjustable Arms: 1.5G vibration rated
- Prevail and Prevail Petite: 3G vibration rated
- Prevail XL Mast Arm: 3G vibration rated
- Prevail XL Standard Arm: 1.5G vibration rated

Typical Applications

- Parking lots, Walkways, Roadways and Building Areas

Finish

- Five-stage super TGIC polyester powder coat paint, 2.5 mil nominal thickness
- Finish is compliant to 3,000 hour salt spray standard (per ASTM B117)

Shipping Data

- Prevail Petite: 18 lbs. (7.94 kgs.)
- Prevail: 20 lbs. (9.09 kgs.)
- Prevail XL: 45 lbs. (20.41 kgs.)
- Prevail Maxx: 49 lbs. (22.23 kgs.)

Warranty

- Five year limited warranty, consult website for details. www.cooperlighting.com/legal

Energy and Performance Data

Power and Lumens



View PRV-P IES files



View PRV IES files



View PRV-XL IES files

Product Family		Prevail Petite				Prevail				Prevail XL					Prevail Maxx			
Light Engine		C10	C15	C20	C25	C15	C25	C40	C60	C75	C100	C125	C150	C175	C200	C225	C250	C275
Power (Watts)		35	49	73	94	52	96	131	153	176	217	264	285	346	346	418	487	588
Input Current @ 120V (A)		0.29	0.41	0.61	0.79	0.43	0.80	1.09	1.32	1.50	1.84	2.21	2.38	2.92	2.89	3.49	4.06	4.90
Input Current @ 277V (A)		0.13	0.18	0.27	0.35	0.19	0.35	0.48	0.57	0.66	0.82	0.97	1.04	1.25	1.26	1.51	1.72	2.06
Input Current @ 347V (A)		0.11	0.16	0.23	0.29	0.17	0.30	0.41	0.48	0.54	0.66	0.79	0.84	1.02	1.00	1.21	1.40	1.70
Input Current @ 480V (A)		0.08	0.12	0.17	0.22	0.12	0.22	0.30	0.35	0.40	0.48	0.57	0.62	0.74	0.73	0.88	1.00	1.21
Distribution ¹																		
Type II	4000K Lumens	4,775	6,717	9,542	11,521	7,123	13,205	17,172	20,083	26,263	31,231	36,503	41,349	48,876	50,349	59,444	68,447	79,322
	BUG Rating	B1-U0-G1	B1-U0-G1	B2-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G3	B3-U0-G4	B4-U0-G4	B4-U0-G4	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B5-U0-G5
	Lumens per Watt	138	137	131	122	137	138	131	131	149	144	138	145	141	146	142	141	135
	3000K Lumens ¹	4,869	6,595	9,369	11,312	6,994	12,965	16,860	19,718	25,786	30,664	35,840	40,598	47,989	49,437	58,368	67,208	77,886
Type III	4000K Lumens	4,782	6,727	9,556	11,538	7,111	13,183	17,144	20,050	26,120	31,061	36,304	41,124	48,610	50,162	59,223	68,193	79,027
	BUG Rating	B1-U0-G2	B1-U0-G2	B2-U0-G3	B2-U0-G3	B1-U0-G2	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B5-U0-G5	B5-U0-G5
	Lumens per Watt	138	137	131	123	137	137	131	131	148	143	138	144	140	145	142	140	135
	3000K Lumens ¹	4,695	6,605	9,383	11,329	6,982	12,944	16,832	19,686	25,646	30,497	35,645	40,377	47,727	49,254	58,151	66,958	77,596
Type IV	4000K Lumens	4,880	6,865	9,752	11,774	7,088	13,140	17,087	19,984	26,098	31,035	36,274	41,089	48,569	50,575	59,711	68,754	79,678
	BUG Rating	B1-U0-G2	B1-U0-G2	B2-U0-G3	B2-U0-G3	B1-U0-G3	B2-U0-G4	B2-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B5-U0-G5
	Lumens per Watt	141	140	134	125	136	137	130	131	148	143	137	144	140	146	143	141	136
	3000K Lumens ¹	4,792	6,740	9,575	11,561	6,959	12,901	16,777	19,621	25,624	30,471	35,615	40,343	47,687	49,659	58,630	67,510	78,235
Type V	4000K Lumens	5,067	7,128	10,126	12,226	7,576	14,045	18,264	21,360	28,129	33,450	39,097	44,287	52,349	53,531	63,201	72,773	84,335
	BUG Rating	B3-U0-G2	B3-U0-G2	B4-U0-G3	B4-U0-G3	B3-U0-G3	B4-U0-G3	B4-U0-G4	B5-U0-G4	B5-U0-G5	B5-U0-G5	B5-U0-G5	B5-U0-G5	B5-U0-G5	B5-U0-G5	B5-U0-G5	B5-U0-G5	B5-U0-G5
	Lumens per Watt	146	145	139	130	146	146	139	140	160	154	148	155	151	155	151	150	144
	3000K Lumens ¹	4,975	6,999	9,942	12,004	7,438	13,790	17,932	20,972	27,618	32,843	38,387	43,483	51,398	52,562	62,057	71,455	82,808

NOTES:

1. For 3000K, 5000K or HSS data, refer to published IES files.

Lumen Maintenance

Configuration	TM-21 Lumen Maintenance (50,000 Hours)	Theoretical L70 (Hours)
Prevail and Prevail Petite at 25°C	91.30%	> 194,000
Prevail and Prevail Petite at 40°C	87.59%	> 134,000
Prevail XL at 25°C	91.40%	> 204,000
Prevail XL at 40°C	89.41%	> 158,000
Prevail Maxx at 25°C	91.40%	> 204,000
Prevail Maxx at 40°C	89.41%	> 158,000

Lumen Multiplier

Ambient Temperature	Lumen Multiplier
10°C	1.02
15°C	1.01
25°C	1.00
40°C	0.99

Sensor Color Reference Table (SPBx)

Housing Finish	Sensor Color
AP=Grey	Grey
BZ=Bronze	Bronze
BK=Black	Black
DP=Dark Platinum	Grey
GM=Graphite Metallic	Black
WH=White	White

FADC Settings

FADC Position	Lumen Multiplier
1	25%
2	46%
3	55%
4	62%
5	72%
6	77%
7	82%
8	85%
9	90%
10	100%

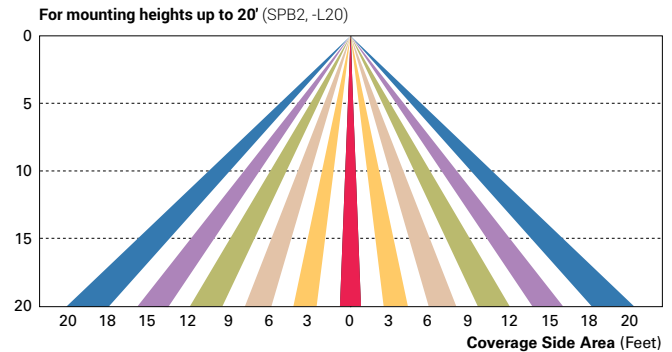
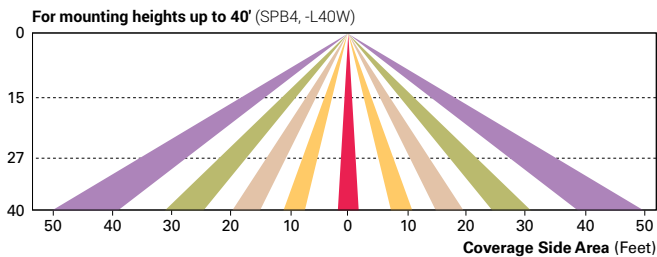
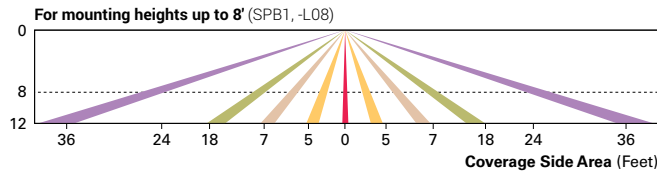
Note: +/-5% typical value

Control Options

0-10V This fixture provides 0-10V dimming wire leads for use with a lighting control panel or other control method.

Photocontrol (PR and PR7) Photocontrol receptacles provide a flexible solution to enable “dusk-to-dawn” lighting by sensing light levels. Advanced control systems compatible with NEMA 7-PIN standards can be utilized with the PR7 receptacles.

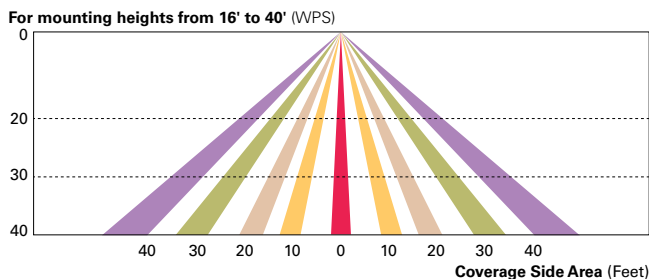
Dimming Occupancy Sensor (SPB, MS/DIM-LXX) These sensors are factory installed in the luminaire housing. When the SPB or MS/DIM sensor options are selected, the luminaire will dim down after five minutes of no activity detected. When activity is detected, the luminaire returns to full light output. These occupancy sensors include an integral photocell for “dusk-to-dawn” control or “daylight harvesting.” Factory default is enabled for the MS sensors and disabled for the SPB. SPB motion sensors require the Sensor Configuration mobile application by Wattstopper to change factory default dimming level, time delay, sensitivity and other parameters. Available for iOS and Android devices. The SPB sensor is factory preset to dim down to approximately 10% power with a time delay of five minutes.



WaveLinx Wireless Control and Monitoring System Available in 7-PIN or 4-PIN configurations, the WaveLinx Outdoor control platform operates on a wireless mesh network based on IEEE 802.15.4 standards enabling wireless control of outdoor lighting. At least one Wireless Area Controller (WAC) is required for full functionality and remote communication (including adjustment of any factory pre-sets).

WaveLinx Outdoor Control Module (WOLC-7P-10A) A photocontrol that enables astronomic or time-based schedules to provide ON, OFF and dimming control of fixtures utilizing a 7-PIN receptacle. The out-of-box functionality is ON at dusk and OFF at dawn.

WaveLinx Wireless Sensor (WPS2 and WPS4) These outdoor sensors offer passive infrared (PIR) occupancy sensing and a photocell for closed-loop daylight sensing. These sensors are factory preset to dim down to approximately 50 percent power after 15 minutes of no activity detected, and the photocell for “dusk-to-dawn” control is default enabled. A variety of sensor lenses are available to optimize the coverage pattern for mounting heights from 7'-40'.



LumenSafe (LD) The LumenSafe integrated network camera is a streamlined, outdoor-ready camera that provides high definition video surveillance. This IP camera solution is optimally designed to integrate into virtually any video management system or security software platform of choice. No additional wiring is needed beyond providing line power to the luminaire. LumenSafe features factory-installed power and networking gear in a variety of networking options allowing security integrators to design the optimal solution for active surveillance.



Village of Kimberly Request for Plan Commission Recommendation

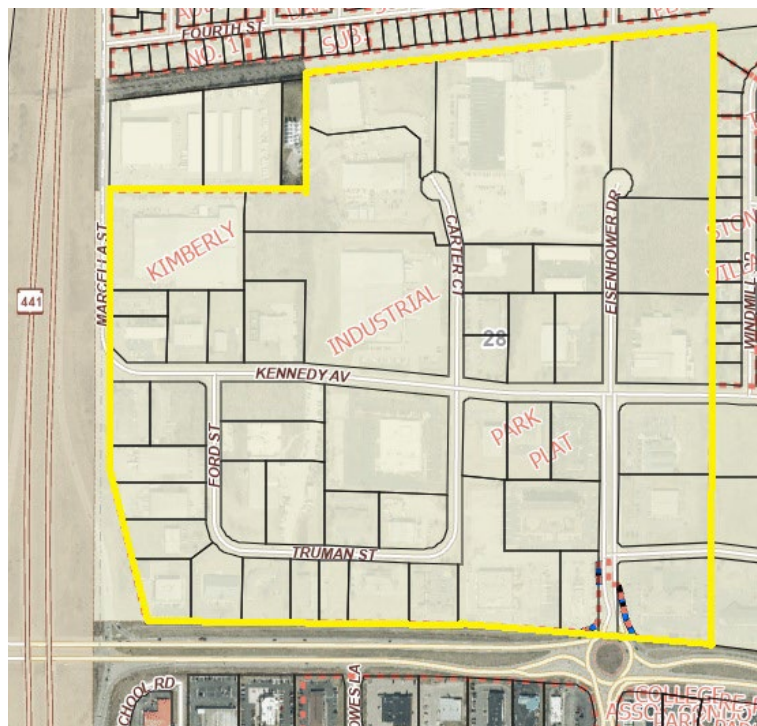
ITEM DESCRIPTION: Affidavit of Correction – Kimberly Industrial Park Plat – 30-Foot Front Yard Setback

REPORT PREPARED BY: Sam Schroeder, Community Development Director

REPORT DATE: November 19, 2024

EXPLANATION: The Kimberly Industrial Park Plat, encompassing roughly 100 acres in the southwest corner of the Village abutting State Highway 441 and County Highway CE was created in 1986. Prior to the adoption, the Village Board also adopted a set of more restrictive covenants for the plat above and beyond the restrictions of the zoning code. One of these restrictive covenants, being that of the 30-foot front yard setback was listed and recorded on the plat. While this is a past practice that many surveyors and communities did, codes as well as the covenants do change over time. Currently, the Villages I-1, limited industrial district, which the entire plat is zoned, does not require any front yard setback as an example.

Staff is recommending the Plan Commission, and the Village Board adopt an affidavit of correction to the plat to remove the reference of the 30-foot setback. Removing the reference on the plat, does not change the restriction per say as the covenants and the zoning code are still in full effect. It does, however, remove the possibilities of inconsistencies amongst these documents.



RECOMMENDED ACTION: Staff recommends approval of the affidavit of correction removing the 30-foot front yard setback restriction from the Kimbelry Industrial Park Plat as presented.

AFFIDAVIT OF CORRECTION

State of Wisconsin)
)ss
Winnebago County)

I, Douglas E. Woelz, Wisconsin Professional Land Surveyor No. S-2327, hereby certify that the Kimberly Industrial Park Plat recorded on the 22nd day of July, 1986, in Cabinet E of Plats on Page 10 as Document No. 891343; and the following Certified Survey Maps (CSM):
CSM No. 519, recorded on the 8th day of March, 1989, in Vol. 3 of Certified Survey Maps on Pg. 519 as Document No. 954761;
CSM No. 527, recorded on the 2nd day of May, 1989, in Vol. 3 of Certified Survey Maps on Pg. 527 as Document No. 957789;
CSM No. 533, recorded on the 7th day of June, 1989, in Vol. 3 of Certified Survey Maps on Pg. 533 as Document No. 960148;
CSM No. 1040, recorded on the 28th day of August, 1991, in Vol. 6 of Certified Survey Maps on Pg. 1040 as Document No. 1013986;
CSM No. 1073, recorded on the 25th day of September, 1991, in Vol. 6 of Certified Survey Maps on Pg. 1073 as Document No. 1016209;
CSM No. 1416, recorded on the 22nd day of September, 1992, in Vol. 8 of Certified Survey Maps on Pg. 1416 as Document No. 1052286;
CSM No. 3582, recorded on the 30th day of August, 1999, in Vol. 19 of Certified Survey Maps on Pg. 3582 as Document No. 1340144;
CSM No. 4061, recorded on the 5th day of June, 2001, in Vol. 22 of Certified Survey Maps on Pg. 4061 as Document No. 1410470; CSM No. 8690, recorded on the 28th day of May, 2024, as Document No. 2314948; all in the Register of Deeds of Outagamie County, Wisconsin, are to be modified as follows:

RETURN TO:
McMahon Associates, Inc.
Attn: Douglas Woelz
1445 McMahon Drive
Neenah, WI 54956

SEE ATTACHED SHEET 2
(Parcel Identification Number)

The plat of Kimberly Industrial Park Plat created a 30' Building Setback line, measured from the street right-of-way lines as portrayed on said plat and as shown or referenced on the aforementioned Certified Survey Maps.

At the request of the Village of Kimberly, any reference to the "30' Building Setback" and its restrictions are hereby removed in their entirety.

This _____ day of _____, 2024.

Douglas E. Woelz, S-2327

State of Wisconsin)
)ss
Winnebago County)

Personally came before me this _____ day of _____, 2024, the above-named Douglas E. Woelz, to me known to be the person who executed the aforesaid affidavit and acknowledged the same.

Notary Public Signature, State of Wisconsin

Notary Public Name (Typed or Printed)

My commission expires _____

Village of Kimberly Approval

We hereby certify that this Affidavit of Correction was approved and accepted by the Village of Kimberly on this _____ day of _____, 2024.

Charles A. Kuen, Village President

Jennifer Weyenberg, Village Clerk

Parcel Identification Numbers:

250191100, 250191101, 250191200, 250191201, 250191300, 250191301, 250191302, 250191400, 250191500, 250191501, 250191600, 250191700, 250191800, 250191801, 250191803, 250192100, 250192200, 250192201, 250192600, 250192700, 250192800, 250192900, 250193000, 250193100, 250193200, 250193400, 250193500, 250193600, 250193700, 250193800, 250193900, 250194000, 250194100, 250194101, 250194200, 250194300, 250194400, 250194401, 250194500, 250194502, 250194503, 250194504, 250195000, 250195100, 250195200, 250195201, 250195300



Village of Kimberly Request for Plan Commission Recommendation

ITEM DESCRIPTION: Clubhouse Remodel Site & Building Plan Review – 345 N Main Street

REPORT PREPARED BY: Sam Schroeder, Community Development Director

REPORT DATE: November 19, 2024

EXPLANATION: Patrick DeJesus, owner of the former Clubhouse located at 345 N. Main St has proposed a plan to remodel the first floor into a wine venue with cocktail service and entertainment. The existing building sits on parcel 250-0927-12, totaling 0.8 acres. The parcel is zoned B1-Business General. A use such as this is a permitted use within this zoning classification.

Attached to this staff report includes:

1. Site Plan Review Application
2. Project Description
3. Plan Drawings

Scope of Construction – Reference Project Description and Plans for additional insight.

1. First floor, 2,809sf, building alteration to an assembly use specifically a wine venue with cocktail service and entertainment.
2. No on-site parking exists or is being proposed. The previous parking area to the north is owned by the Village of Kimberly with no agreements in place. Per 525-64G(1), non-residential uses north of Kimberly Ave on Main Street are exempt from on-site parking requirements.
3. The project entails minimal exterior modifications – there is a planned exit on the east façade to provide access to an outdoor space in the rear (eastside) of the building. The outdoor patio as drawn is anticipated to be constructed in the initial phase substantially similar to what is drawn in the renderings. The wine shack as noted would need further considerations at which time it would be constructed.
4. The front sidewalk area that is damaged will be replaced with stamped concrete and an added step.
5. All new decorative landscaping is being proposed to the site including mechanical screening.
6. The applicant is proposing a 6ft tall decorative cedar fence to the east between the business lot and future residential development. A split rail open fence would designate separation between the commercial lot to the north.
7. The applicant has proposed multiple dumpster/refuse locations in hopes to find the best location. Per the covenants, all refuse shall be located off of Clubhouse Lane and on the east portion of the property.
8. Building lighting will remain the same with minor accent lighting to be added around the site.
9. The proposed use would require a liquor license for both interior and outdoor use. The Applicant has stated that outdoor use would be considered in the future and not part of this application.

The staff zoning review identified the proposed project complies with applicable ordinances.

Staff has completed a review of the site for compliance with the Kimberly Municipal Code whereas the proposed project substantially meets code and notes the following:

1. **Dumpster/Refuse.** Dumpster and refuse shall be located at the southeast portion of the property off of Clubhouse Lane as required by the covenants. Area shall be fully screened from off-site view with fencing and landscaping.
2. **Landscaping.** Additional landscaping shall be provided along the 6-foot cedar fence to provide a visual and sound buffer to the future residential lots.
3. **Signage.** A signage proposed shall meet the municipal code.
4. **Lighting.** Any lighting in the front of the building should be nominal accent lighting and take into consideration the proximity to residential properties.
5. **Easement.** There is an existing 25-foot sanitary sewer and storm sewer easement along the east side of the property. No permanent structures should be built over this easement area and any fencing or landscaping installed is the responsibility of the owner if the utilities in the easement area ever needed to be restored.
6. **Sidewalk.** Prior to occupancy of the first floor, the sidewalk along Clubhouse Lane for the entire length of the property shall be installed.
7. **Building Code/Inspections.** Building plan approval and inspection will be completed by the State of Wisconsin, unless delegation authority is completed by the Village of Kimberly.

RECOMMENDED ACTION: Staff recommends approval of the site plan and architectural components of the redevelopment of the Clubhouse development at 345 N. Main Street as presented, contingent upon the following:

1. Liquor license is approved by the Village Board.
2. Dumpster/Refuse shall be located off of Clubhouse Lane and shall be fully screened from off-site view.
3. Additional landscaping subject to staff approval shall be installed along the residential property line to the east.
4. The sidewalk along the full southern portion of the property along Clubhouse Lane shall be installed and meet code prior to occupancy of the first floor.
5. Any major site modifications including a future wine shack shall require further review.



VILLAGE OF KIMBERLY

Site Review Application

Submit to:

Planning & Zoning
515 W. Kimberly Ave.
Kimberly WI 54136
920-788-7500

Applicant Information

Petitioner: Patrick DeJesus Date: 10/06/2024

Petitioner Address: 345 N. Main Street City: Kimberly State: WI Zip: 54136

Telephone #: (630) 699-8950 Fax: () email: Patrick.DeJesus@Stellantis.com

Status of Petitioner (please check one): ☒ Owner ☐ Representative ☐ Tenant ☐ Prospective Buyer

Petitioner's Signature (required): Patrick DeJesus

Owner Information

Owner(s): Same As Above Date: 10/06/2024

Owner(s) Address: City: State: Zip:

Telephone #: () Fax: () email:

Ownership Status (please check one): ☐ Individual ☐ Trust ☐ Partnership ☐ Corporation

Property Owner Consent (required):

By signature hereon, I/We acknowledge that Village officials and/or employees may, in the performance of their functions and duties, enter upon the property to inspect or gather other information necessary to process this application. I also understand that all meeting dates are tentative and may be postponed by the Village for incomplete submissions or other administrative reasons.

Property Owner's Signature: Patrick DeJesus Date: 10/06/2024

Site Information

Address/Location of Proposed Project: 345 N. Main Street Kimberly WI Zoning: B

Proposed Project or Use: Wine Bar First Floor

Current or last Use of Property: Office space for the mill.

Land Uses Surrounding this Address: North: Old Clubhouse Parking Lot

South: Residential (Approx 100 Feet Away)

East: Retention Pond & Residential Duplex (Approx 400 feet)

West: Residential Housing (Approx 150 feet)

- It is recommended that the applicant meet with Village Department staff prior to submittal to review the project and submitted materials.
- Application Fees must be submitted with the application.

Submittal Requirements – Must accompany the application to be complete.

- A narrative of the proposed building or addition including:
 - Proposed use of the property
 - ☐ Existing use of the property
 - ☐ Effects on adjoining properties to include: noise, hours of operation, glare, odor, fumes, vibration, etc.
 - ☐ Compatibility of the proposed use with adjacent and other properties in the area.
 - ☐ Traffic generation
 - ☐ Any other information pertinent to adequate understanding of the intended use and its relation to nearby properties
- Complete site plans including:
 - ☐ Two (2) legible scaled and dimensioned drawings/prints of site plan and building elevations (when applicable.)
 - ☐ Two (2) 8 ½" x 11 (minimum) to 11" x 17" (maximum) reduction of the site plan and building elevations (when applicable.)
 - ☐ All existing and proposed buildings, structures, and paved areas, including building entrances, walks, drives, decks, patios, fences, walls.
 - ☐ Location of all outdoor storage and refuse disposal areas and the design and materials used for construction
 - ☐ Location and dimension of all on-site parking (and off-site parking provisions if they are to be employed
 - ☐ Location, height, design, illumination power and orientation of all exterior lighting on the property including a photometrics plan.
 - ☐ Location of all exterior mechanical equipment and utilities and elevations of proposed screening devices where applicable (i.e. visible from a public street or residential use or district). Mechanical equipment includes, but is not limited to; HVAC equipment, electrical transformers and boxes, exhaust flues, plumbing vents, gas regulators, generators.

Existing Property and Proposed Use/Impact

The property located at 345 North Main Street, Kimberly, Wisconsin—known as “The Clubhouse”—is currently utilized for residential purposes. The second floor serves as an owner-occupied 3-bedroom residential unit which is separated from the first floor, which consists of an open office space that is currently vacant.

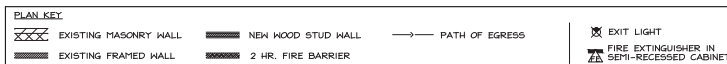
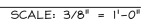
The proposed use of the building's vacant first floor space is to convert it into a wine venue with cocktail service and entertainment. This is expected to have a positive impact on surrounding properties. The site is currently zone B & is bordered by vacant village owned zone B properties to the North & East with residential properties to both the South & West side of the property. The proposed use aligns well with the ongoing riverfront development, promoting both community engagement and revitalization of the area.

Impact on Adjoining Properties:

- **Noise:** Noise levels will be kept low with appropriate sound management, ensuring no disturbance to adjacent residences. I plan on having seasonal outdoor entertainment (Live Music) on the weekends June -through September. All live entertainment will be located within the proposed fenced area of the east side. Please see submitted concept renderings.
- **Operation Hours:** Wednesday & Thursday 4pm-9pm, Friday 4pm-10pm, Saturday noon-10pm & Sunday noon-6pm (Seasonal Hours for Sunday June-September)
 - ❖ **Peak Hours of Operation:** The wine bar peak hours are expected to be between 6-8 p.m. limiting any late-night disruption.
- **Glare and Lighting:** No Change to the Clubhouse exterior fixed lighting from its current use. The Outdoor lighting fits well with the building proposed future use there will be No glare or spillover onto neighboring properties. I will be adding landscape lighting along the sidewalks leading up to each entry of the Clubhouse. The lights will be warm white in color & will not cause any disturbance or glare to the adjacent properties.
- **Fumes and Ventilation:** The proposed use will not involve significant food preparation, minimizing odors and fumes. (Only a warming kitchen no hood ventilation will be installed)
- **Vibration:** No heavy equipment or activities that generate vibration are anticipated.
- **Traffic Generation:**

Traffic levels are anticipated to be moderate and manageable, with most activity concentrated during peak evening and weekend hours. The proposed use complements the walkable nature of the riverfront area, encouraging both local pedestrian traffic and limited vehicle use. Parking availability will be subject to further discussion. I plan to use the available public parking spaces on Main Street. A better option would be to utilize the existing village owned parking lot that borders the southside of the Clubhouse property. (Lease or buy option). I'm currently discussing this with Danni.
- **Location of all outdoor storage and refuse disposal areas:**
 - ❖ I listed two location I feel would fit best for refuse disposal storage and noted them on the site plan. Open for planning commission recommendation or other options.
 - Location One NW corner of existing property line Off of Main Street.
 - Location Two SE Corner of existing property line Off of Clubhouse Lane.
 - Option: To temporary place at the NW entrance of the old clubhouse parking lot until potential lease or purchase is finalized.
 - 6 ft High cedar wood fencing will be constructed to surround/hide the refuse area from public view.
- **Location of all exterior mechanical equipment:** No additional exterior equipment will be added.D





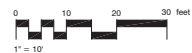
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SHEET
A1

<u>CODE</u>	<u>COMMON NAME</u>	<u>QT</u>
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TREES



LANDSCAPE ARCHITECTURE
DEVELOPMENT
INSTRUCTION
HARD WINNING DESIGN
AND INSTALLATION

84 CTY RD KK
LETON, WI 54915-9484
PHONE 920-733-8223
920-733-3262
K.SCHWALZLANDSCAPING.COM

DO NOT SCALE
©2021, Schenck Custom Landscaping, Inc.



The Clubhouse
345 N. Main St.
Kimberly, WI 54136

10/2022

SED: 1/23, 9/24, 10/24

NE NO.: 30-600-2060

$$E: \mathbb{R}^2 \rightarrow \mathbb{R}^2, \quad (x, y) \mapsto (x, y)$$

DCV

KEY TITLE

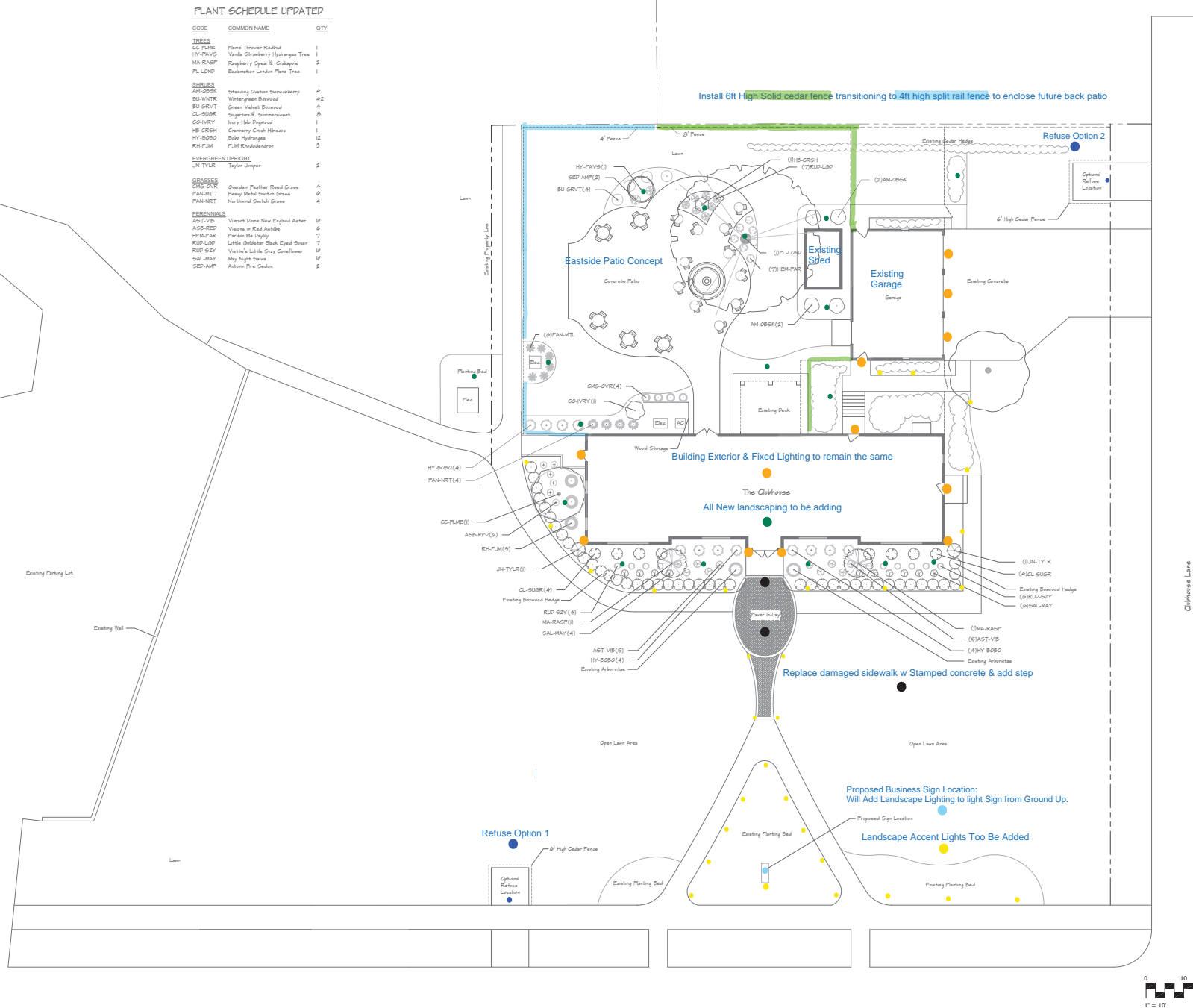
Landscape Plan

LET NO. 4-1

#	FILE NO.
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CODE	COMMON NAME	QT
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PREES		
CG-PLME	Plane Thruver Redtail	1
CG-PLME	Plane Thruver Redtail	1
MA-FLAP	Valley Strawberry Hydrangea Tree	1
MA-FLAP	Valley Strawberry Hydrangea Tree	1
FL-LAND	Evolution Landscapes Plant	2
SHRUBS		
AM-DESK	Shandy Orange Serranberry	4
BU-WINTER	Wintergreen Broom	4
BU-WINTER	Wintergreen Broom	4
CL-SLUGR	Sigteral's Serranberry	2
CO-HVRY	Very Holly Daygon	1
CO-HVRY	Cashewberry Holly Daygon	1
HY-SO20	Shady Holly Daygon	12
HY-SO20	Shady Holly Daygon	12
RH-PLUM	F.M. Rhododendron	5
RH-PLUM	F.M. Rhododendron	5
EVERGREEN UPRIGHT		
NY-TYLR	Taylor Juniper	2
NY-TYLR	Taylor Juniper	2
GRASSES		
CG-OVGR	Ovalleaf North Star Grass	6
CG-OVGR	Ovalleaf North Star Grass	6
PAN-NRT	Northstar Star Grass	4
PAN-NRT	Northstar Star Grass	4
PERENNIALS		
ACT-VIB	Vibrant Deep New England Aster	10
ACT-VIB	Vibrant Deep New England Aster	10
HEM-PAF	Heavenly Pink Daylily	7
HEM-PAF	Heavenly Pink Daylily	7
RUD-LUP	Little Dandelion Black Eyed Grass	7
RUD-LUP	Little Dandelion Black Eyed Grass	7
SAL-MAY	May Night Blue Eyes Cresslover	10
SAL-MAY	May Night Blue Eyes Cresslover	10
SED-AMP	Autumn Pine Sedum	10
SED-AMP	Autumn Pine Sedum	10

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ideas, designs, arrangements and plans
and by the drawing set owned by, and the
property of Schmidt Custom Landscaping.
If these ideas, arrangements or plans and
the drawing set are used by anyone other



The Clubhouse
345 N. Main St.
Kimberly, WI 54136

SED: 1/23, 9/24, 10/24

$$E: \mathbb{I}^2 = \mathbb{I}^1 - \partial^2$$

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The Clubhouse Next Phase



The Clubhouse Wine Bar



Wine On Tap!
Inspired by the brewery model
but uniquely tailored for wine

- Back Patio Concept (Eastside) To Be Added Summer 2026
- I will submit final design & site plan prior to installation.









Future Outdoor Wine Shack Bar Concept plans will be submitted prior to Construction. Estimated Installation Year 5 (2030)